



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**March 11, 1996**

**Elvidio Diniz, PE  
Resource Technology Inc.  
2129 Osuna Road NE Suite 200  
Albuquerque, NM 87113**

**RE: ENGINEER'S CERTIFICATION FOR COMFORT INN MOTEL (H-11/D29A)  
RECEIVED MARCH 11, 1996 FOR CERTIFICATE OF OCCUPANCY  
ENGINEER'S STAMP DATED 3/6/96**

**Dear Mr. Diniz:**

**Based on the information included in the submittal referenced above, City Hydrology accepts the Engineer's Certification. Contact Vicki Chavez at Code Administration to obtain the permanent Certificate of Occupancy for 5712 Iliff NW.**

**If I can be of further assistance, You may contact me at 768-2727.**

**Sincerely,**

**John P. Curtin, P.E.  
Civil Engineer, Hydrology**

**c: Andrew Garcia  
Dinesh C Kholund, 2412 Carlisle NE 87110**

*Notified Vicki Chavez  
on 3-11-96. JPC*

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Comfort Inn ZONE ATLAS/DRNG. FILE #: H-11/029A

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 2 Santa Rita West Subdivision

CITY ADDRESS: 5712 I.H. NW Albuquerque

ENGINEERING FIRM: Resource Technology Inc CONTACT: Elvidio Dimiz

ADDRESS: 2129 Osuna NE Suite 200 PHONE: 345-3115

OWNER: Dinesh C. Kholwad CONTACT: \_\_\_\_\_

ADDRESS: 2412 Carlisle NE PHONE: 836-0011

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3/7/96

BY: David DeHoff

MAR 11 1996

94115892

## DRAINAGE COVENANT

J4133163

0604

1883

This Drainage Covenant, between DINESH C. KHOLWAD ("Owner"), whose address is 2412, CARLISLE NE ALBUQUERQUE NM, and the City of Albuquerque, New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the owner of certain real property described as:  
LOT 2 SANTA RITA WEST SUBDIVISION  
in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain Drainage Facilities on the Property, and the parties wish to enter into this Agreement to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage Facility" within the Property at Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. H-11/D29A:  
LOT 2 SANTA RITA WEST SUBDIVISION  
5712 ILIFF NW, ALBUQUERQUE NM 87120

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within 30 days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

(Approved by Legal Dept.  
as to form only 06/90)

FEB 26 1996



7. Liability of City for Repair after Notice or as Result of Emergency.  
 The City shall not be liable to the Owner for any damage resulting from the City's repair or maintenance following notice to the Owner as required in this agreement or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City.

8. Indemnification. Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Agreement may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer, or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this agreement shall be construed to relieve the Owner, his heirs, assigns, and successors from an assessment against Owner's Property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of given formal written notice to the Owner, Owner's address is:

2412 CARLISLE NE  
ALBUQUERQUE, NEW MEXICO

Notice may be given to the Owner either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three days after the notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by given written notice of the change by Certified Mail, return receipt requested, to the City Public Works Department, P.O. Box 1293, Albuquerque, New Mexico, 87103.

12. Term. This Agreement shall continue until terminated by the City pursuant to Section 9 above.

Document needs to be  
 re-recorded with signatures.  
 Previous Recording did not  
 have signatures

(Approved by Legal Dept.  
 as to form only 06/90)

*[Signature]*

13. Binding on Owner's Property. The covenants and obligations of the Owner said forth herein shall be binding on Owner, his heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running the Owner's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supercedes any and all other agreements or understanding, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

OWNER:

By: [Signature]  
Its: OWNER  
Dated: 9-21-94

STATE OF NEW MEXICO )  
 ) ss  
COUNTY OF BERNALILLO )

this  
The foregoing instrument was acknowledged before me on this 21st day of September, 1994, [by name of person:] DINESH KHOLWAD, [title or capacity, for instance "president" or "owner":] OWNER of [Subdivider:] \_\_\_\_\_.

Gloria J. Gagnon  
Notary Public

My Commission Expires:  
2-25-95

OFFICIAL SEAL  
GLORIA J. GAGNON  
NOTARY PUBLIC - STATE OF NEW MEXICO  
Notary Bond Filed With Secretary of State  
My Commission Expires 2-25-95

CITY OF ALBUQUERQUE:

\* Approved:  
By: [Signature]  
Title: For State of New Mexico  
Dated: 11/30/94  
FILED FOR RECORD

94 NOV -7 PM 1:56 (EXHIBIT A ATTACHED)

94-31604-208  
JUDY C. WOODWARD  
CO. CLERK & RECORDER

(Approved by Legal Dept.  
as to form only 06/90)









# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**February 22, 1996**

**Elvidio Diniz, PE  
Resource Technology Inc.  
2129 Osuna Road NE Suite 200  
Albuquerque, NM 87113**

**RE: ENGINEER'S CERTIFICATION FOR COMFORT INN MOTEL (H-11/D29A)  
RECEIVED FEBRUARY 8, 1996 FOR CERTIFICATE OF OCCUPANCY  
ENGINEER'S STAMP DATED 2/2/96**

**Dear Mr. Diniz:**

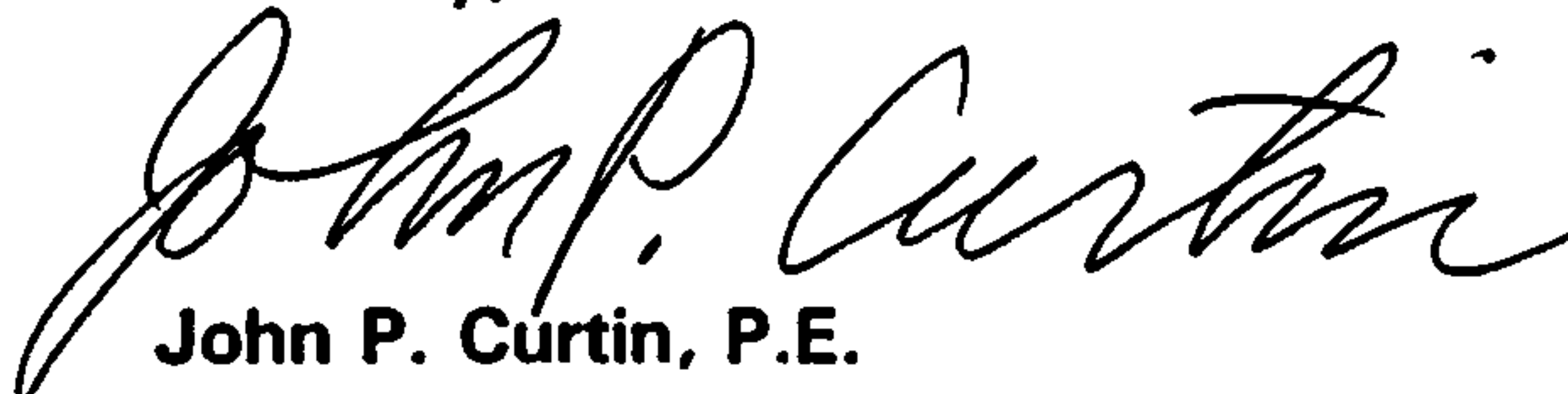
**Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed before the Certification will be accepted for a permanent certificate of Occupancy:**

**The Bench Mark data is missing from the Plan. Indicate the location, description, and elevation of the Albuquerque Control Survey Vertical Datum and the temporary on-site bench mark on the Plan. Indicate the complete Mean Sea Level designation of the finish building floor elevations. When both proposed & as-built elevation are indicated at the same spot, put a line through the proposed elevation.**

**The drainage covenant is incomplete. The legal description (including recording data), facility description and Exhibit A are missing. Complete the covenant, execute it and submit it for processing.**

**If you have any questions about this project, You may contact me at 768-2727.**

**Sincerely,**

  
**John P. Curtin, P.E.  
Civil Engineer, Hydrology**

**c: Andrew Garcia  
Dinesh C Kholund, 2412 Carlisle NE 87110**

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Comfort Inn G&D Plan ZONE ATLAS/DRNG. FILE #: H-11/1029A  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Lot 2, Santa Rita West Subdivision  
CITY ADDRESS: 5712 Iliff NW Albuquerque NM  
ENGINEERING FIRM: Resource Technology Inc CONTACT: David DeHoff  
ADDRESS: 2129 Osuna NE 87113 PHONE: 345-3115  
OWNER: Dinesh C Kholwad CONTACT: \_\_\_\_\_  
ADDRESS: 2412 Carlisle NE PHONE: \_\_\_\_\_  
ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ SUBDIVISION CERTIFICATION  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

2/2/96

BY:

David DeHoff

FEB - 8 1996



•

"partnership":] DINGSH C. KHOLUAD

("Owner").

NEW MEXICO

in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility.  
The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:

The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit

and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's Property and constitute covenants running with the Owner's



Property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with the concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

OWNER:

By: [Signature]

Its: owner

Dated: 9. 7. 94.

STATE OF N.M. )  
 ) ss  
COUNTY OF Bernalillo )

The foregoing instrument was acknowledged before me this 7th day of September, 1994, by [name of person signing:] DINESH C. KHOLWAD, [title or capacity, for instance, "President" or "Owner":] owner of [name of the entity which owns the Property if other than the individual signing, for instance, the name of the corporation, partnership, or joint venture:] \_\_\_\_\_.

Gloria J. Gagnon  
Notary Public

My Commission Expires:  
2-25-95

CITY OF ALBUQUERQUE:

Accepted:

By: \_\_\_\_\_  
Title: \_\_\_\_\_  
Dated: \_\_\_\_\_

[EXHIBIT A ATTACHED]



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**January 16, 1996**

**Elvidio Diniz, PE  
Resource Technology Inc.  
2129 Osuna Rd NE Suite 200  
Albuquerque, NM 87113**

**RE: ENGINEER'S CERTIFICATION FOR COMFORT INN MOTEL (H-11/D29A)  
RECEIVED JANUARY 4, 1996 FOR CERTIFICATE OF OCCUPANCY  
ENGINEER'S STAMP DATED 12/29/95**

**Dear Mr. Diniz:**

**Based on the information included in the submittal referenced above, City Hydrology accepts the Engineer's Certification for a 30 day Temporary Certificate of Occupancy. The following comments must be addressed before the Certification will be accepted for a permanent certificate of Occupancy:**

**The DPM checklist requires that the Engineer certify substantial compliance instead of general compliance. As part of the Legend, indicate how as-built elevations will be noted. There must be an as-built elevation for the FF.**

**Include a copy of the recorded Drainage Covenant for the detention pond in the next submittal. The Covenant must be executed by both the City and the Owner.**

**If you have any questions about this project, You may contact me at 768-2727.**

**Sincerely,**

**John P. Curtin, P.E.  
Civil Engineer, Hydrology**

**c: Andrew Garcia**



PROJECT TITLE: GRADING & DRAINAGE PLAN FOR COMFORT INN ZONE ATLAS/DRNG. FILE #: H-11/D29A

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 5 SANTA RITA WESTCITY ADDRESS: 5712, ILIFF NW, ALBUQUERQUE NMENGINEERING FIRM: RESOURCE TECHNOLOGY INC. CONTACT: ELVIDIO DINIZADDRESS: 2129 OSUNA RD NE SUITE 200 PHONE: 345-3115OWNER: DINESH KHOLWAD CONTACT: DINESH KHOLWADADDRESS: 2412 CARLISLE PHONE: \_\_\_\_\_ARCHITECT: ROGER GINELLI & ASSOC. CONTACT: ROGER GINELLIADDRESS: P.O. BOX 965, TIJERAS NM PHONE: 281-1065

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (PARTIAL)  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

JAN 4

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ SUBDIVISION CERTIFICATION  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: JANUARY 2, 1996BY: ELVIDIO DINIZ

Called Vicki for  
 30 day Temp C.O.  
 On 1-16-96.

JPC



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 21, 1994

Benny Gabaldon  
Resource Technology, Inc.  
2129 Osuna Rd NE Ste 200  
Albuquerque, N.M. 87113

RE: GRADING & DRAINAGE PLAN FOR COMFORT INN MOTEL (H-11/D29A)  
RECEIVED SEPTEMBER 9, 1993 FOR BUILDING PERMIT APPROVAL  
ENGINEER'S STAMP DATED 9/7/94

Dear Mr. Gabaldon:

Based on the information included in the submittal referenced above, City Hydrology approves this project for Building Permit.

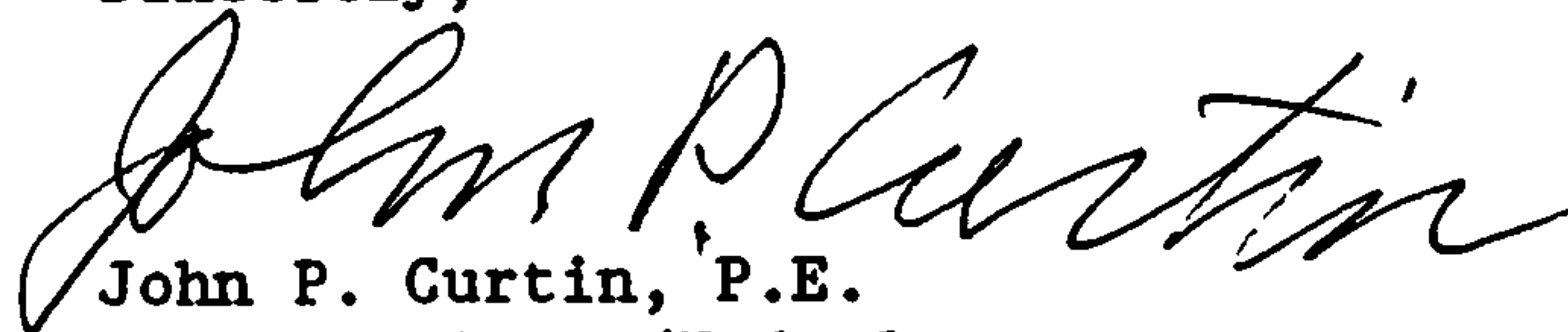
Include a copy of the approved Grading & Drainage Plan, dated 9/7/94, in the set of construction documents that will be submitted to the "one stop" for the Building Permit.

The Contractor must obtain a "Topsoil Disturbance Permit" prior to any grading or construction. The Contractor is responsible for preventing sediment from the site entering adjacent property. The Contractor must promptly clean up any sediment that exits the site.

Engineer's Certification of grading & drainage per DPM checklist must be approved before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

  
John P. Curtin, P.E.  
Civil Engineer/Hydrology

WPHYD/7737/jpc

c: Andrew Garcia



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: GRADING & DRAINAGE PLAN COMFORT INN ZONE ATLAS/DRNG. FILE #: H-11/D29A

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CITY ADDRESS: ILIFF ST.

ENGINEERING FIRM: RESOURCE TECHNOLOGY INC. CONTACT: BENNY GABALDON

ADDRESS: 2129 OSUNA RD NE SUITE 200 PHONE: 345-3115

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

SEP - 9 1994

DATE SUBMITTED: \_\_\_\_\_

BY: RESOURCE TECHNOLOGY INC.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 25, 1994

Benny Gabaldon  
Resource Technology, Inc.  
2129 Osuna Rd NE Ste 200  
Albuquerque, N.M. 87113

RE: GRADING & DRAINAGE PLAN FOR COMFORT INN MOTEL (H-11/D29A)  
RECEIVED MAY 3, 1993 FOR GRADING/PAVING PERMIT APPROVAL  
ENGINEER'S STAMP DATED 8/10/94

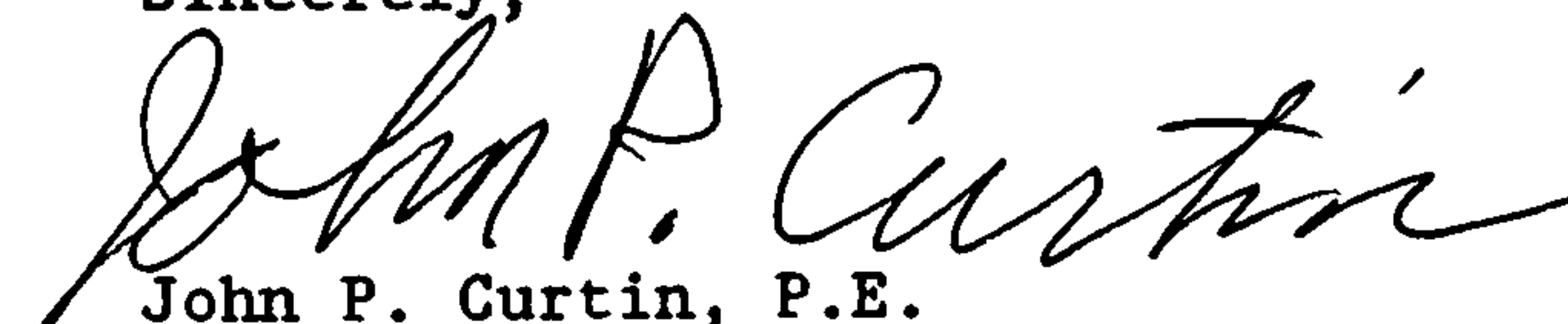
Dear Mr. Gabaldon:

Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed prior to Grading/Paving permit approval:

1. The Master Plan for this site restricts discharge to 57th street to the existing value. A .65' wide weir will discharge about 5 cfs which is about what the runoff from the site would be if it was 100% Treatment C.
2. Include the Erosion Control Plan on the Drainage Plan per DPM checklist. Existing contours must extend atleast 25' beyond the property line.
3. "Execute and file a Private Facility Drainage Covenant for the detention pond." Provide an emergency spillway for the Pond.
4. A Building Permit approval would allow the Client to build the Motel as well as the parking lot. Wouldn't a Building Permit make more sense than a Grading/Paving permit?

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,

  
John P. Curtin, P.E.  
Civil Engineer/Hydrology

WPHYD/7737/jpc

c: Andrew Garcia



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: COMFORT INN MOTEL ZONE ATLAS/DRAINAGE FILE # H-11-#029A

LEGAL DESCRIPTION: LOT 2 SANTA RITA WEST SUBDIVISION

CITY ADDRESS: ILIFF ST.

ENGINEERING FIRM: RESOURCE TECHNOLOGY INC. CONTACT: BENNY GABALDON

ADDRESS: 2129 OSUNA RD. NE SUITE 200 ALB. NM 87113 PHONE: 345-3115

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER CINELLI

ADDRESS: P.O. BOX 965 TIJERAS NM 87059 PHONE: 281-1065

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

\_\_\_\_ YES ORB. NO. \_\_\_\_\_

X NO EPC NO. \_\_\_\_\_

\_\_\_\_ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJECT NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

- \_\_\_\_ DRAINAGE REPORT
- X DRAINAGE PLAN
- \_\_\_\_ CONCEPTUAL GRADING & DRAIN PLAN
- \_\_\_\_ GRADING PLAN
- \_\_\_\_ EROSION CONTROL PLAN
- \_\_\_\_ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_ SKETCH PLAT APPROVAL
- \_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_ SITE DEVELOPMENT PLAN APPROVAL
- \_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_ CERTIFICATE OF OCCUPANCY APPROVAL
- \_\_\_\_ ROUGH GRADING PERMIT APPROVAL

DATE SUBMITTED: AUGUST 10, 1994 X GRADING/PAVING PERMIT APPROVAL

BY: BENNY G. GABALDON OTHER \_\_\_\_\_ (SPECIFY)



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 26, 1993

Douglas Andrews, P.E.  
Andrews, Asbury & Robert, Inc.  
149 Jackson Street NE  
Albuquerque, N.M. 87108

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR SANTA RITA WEST MOTEL (H-11/D29A)  
ENGINEER'S STAMP DATED 7-15-93; RECEIVED JULY 15, 1993  
FOR SITE DEVELOPMENT PLAN, PRELIMINARY & FINAL PLAT APPROVAL

Dear Mr. Andrews:

Based on the information included in the submittal referenced above, City Hydrology APPROVES this project for Site Development Plan and Preliminary & Final Plat.

The following comments must be addressed prior to Rough Grading and Building Permit approval:

1. Submit detailed Grading & Drainage Plan. Include proposed spot elevations at each corner & curve point. Indicate F.F. elevation. Show roof drain locations. Provide swale inverts.
2. The Restaurant site must have sufficient proposed contours or spot elevations to approve rough grading of both sites.

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
PWD/Hydrology

xc: Fred Aguirre

WPHYD+7737;jpc

PUBLIC WORKS DEPARTMENT

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Santa Rita West Motel Site ZONE ATLAS/DRNG.FILE #: H-11 / D 29A

DRB #: -- EPC #: Z-92-71 WORK ORDER #: N/A

LEGAL DESCRIPTION: Lot 5, Santa Rita West

CITY ADDRESS: NOT AVAILABLE YET

ENGINEERING FIRM: Andrews, Asbury & Robert, Inc. CONTACT: Douglas Andrews

ADDRESS: 149 Jackson Street NE, 87108 PHONE: 265-6631

OWNER: The Pautsch Trust CONTACT: John R. Pautsch

ADDRESS: --- PHONE: 821-4821

ARCHITECT: Chris Rasmussen CONTACT: Chris Rasmussen

ADDRESS: -- PHONE: 266-0593

SURVEYOR: Andrews, Asbury & Robert, Inc. CONTACT: Gayle D. Jewell, P.S.

ADDRESS: 149 Jackson Street NE, 87108 PHONE: 265-6631

CONTRACTOR: N/A CONTACT: N/A

ADDRESS: N/A PHONE: N/A

## TYPE OF SUBMITTAL:

--- DRAINAGE REPORT  
--- DRAINAGE PLAN  
X CONCEPTUAL GRADING & DRAINAGE PLAN  
--- GRADING PLAN  
--- EROSION CONTROL PLAN  
--- ENGINEER'S CERTIFICATION  
--- OTHER

## PRE-DESIGN MEETING:

X YES  
--- NO  
--- COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

--- SKETCH PLAT APPROVAL  
X PRELIMINARY PLAT APPROVAL  
X S. DEV. PLAN FOR SUB'D. APPROVAL  
--- S.DEV. PLAN FOR BLDG. PERMIT APPROVAL  
--- SECTOR PLAN APPROVAL  
X FINAL PLAT APPROVAL  
--- FOUNDATION PERMIT APPROVAL  
--- BUILDING PERMIT APPROVAL  
--- CERTIFICATE OF OCCUPANCY APPROVAL  
--- GRADING PERMIT APPROVAL  
--- PAVING PERMIT APPROVAL  
--- S.A.D. DRAINAGE REPORT  
--- DRAINAGE REQUIREMENTS  
--- OTHER --- (SPECIFY)

DATE SUBMITTED: July 15, 1993

BY: Andrews, Asbury & Robert, Inc.

JUL 15 1993





**ANDREWS, ASBURY & ROBERT, INC.**  
Consulting Engineers

149 Jackson, NE, Albuquerque, New Mexico 87108  
(505) 265-6631

John A. Andrews, P.E.  
Charles T. Asbury, P.E.  
John B. Robert, P.E. & L.S. (1915-1984)  
James E. Millington, P.E. - V.P.  
Gayle D. Jewell, L.S. - V.P.

July 15, 1993

John P. Curtin, P.E.  
Engineering Group  
Hydrology Section  
P.O. Box 1293  
Albuquerque, N.M. 87103

HAND-CARRIED

SUBJECT: SANTA RITA WEST MOTEL SITE CONCEPTUAL DRAINAGE PLAN

Dear Mr. Curtin;

This letter is in response to our meeting on July 14, 1993, relative to the conceptual drainage plan for Preliminary and Final Plat Approval. The following items are attached for your review:

1. Revised Conceptual Drainage Plan
2. Existing Grading and Drainage Plan on 11" x 17" sheet.
3. Interim Hydrology Calculations.
4. Fully Developed Conditions Hydrology Calculations.

The motel is proposed to be constructed prior to the restaurant, thus Basin B-2 will be graded on an interim basis to drain to Coors Rd.

Grass will be added to the proposed gravel drainage swales south and east of the motel site. This was done to reduce the runoff rate to 57th Street (not to exceed the existing runoff rate). These grass and rock swales still appear to accommodate current NPDES requirements.

The 20' buffer strip along the south and east of the site will be platted to each individual property owner adjacent to the site. The runoff from this buffer area will be the responsibility of each individual property owner.

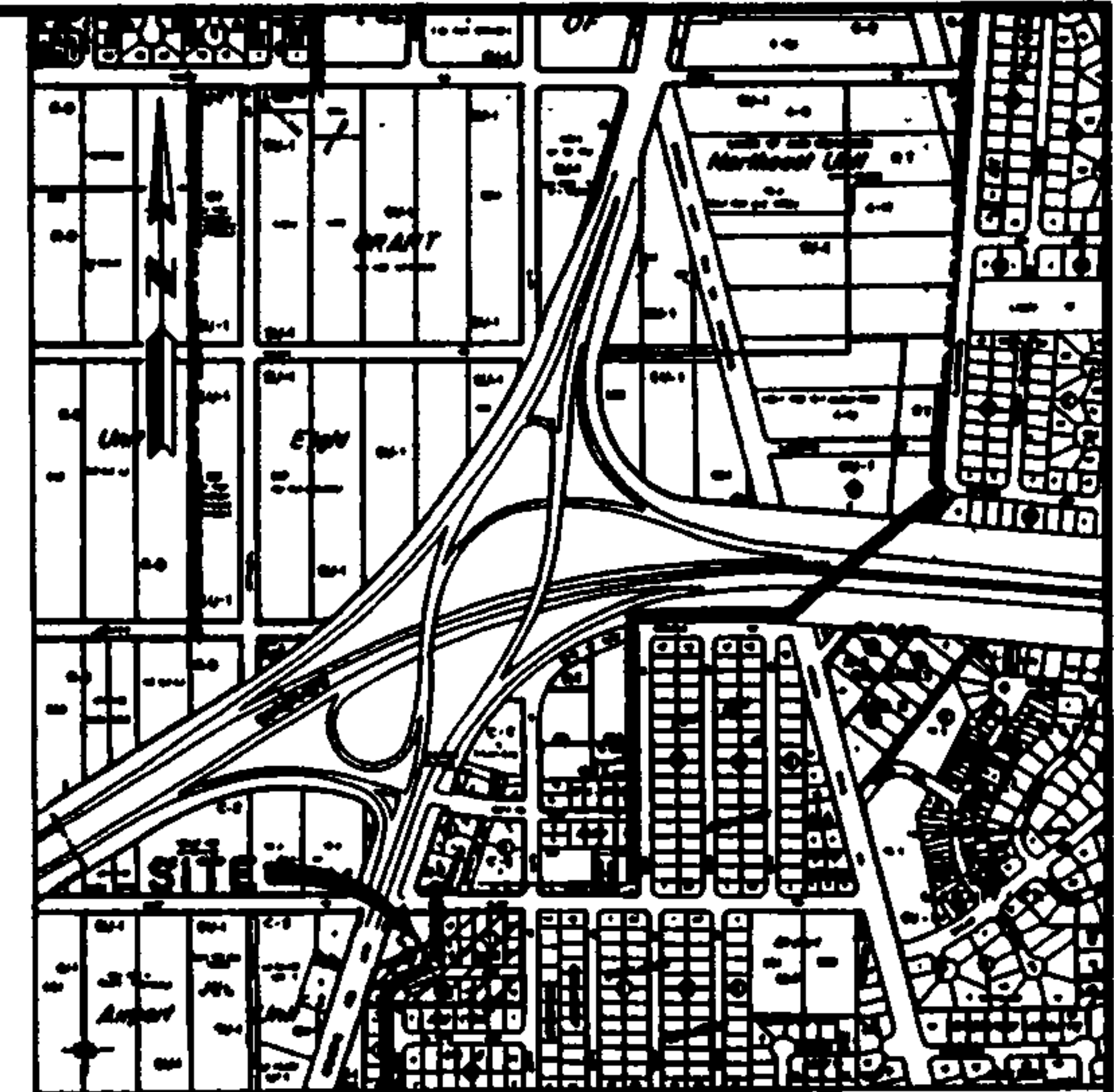
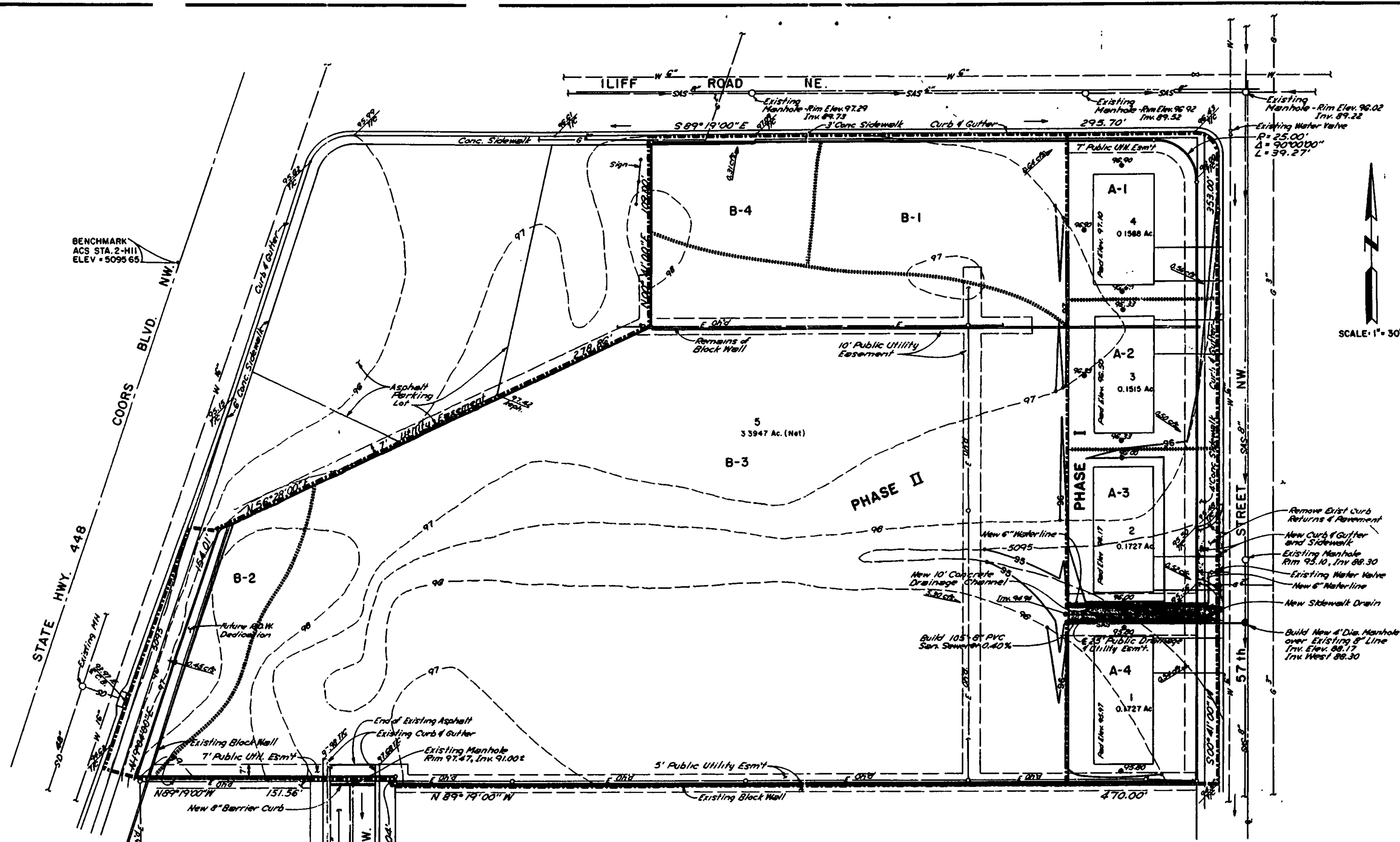
If you should have any questions or comments, please do not hesitate to call.

Sincerely,

Douglas L. Andrews, P.E.

JUL 15 1993

DIVISION



**LOCATION MAP**  
ZONE ATLAS MAP H-11  
SCALE: 1" = 1000'

**LEGAL DESCRIPTION**  
LOTS 1 TO 4, SANTA RITA WEST SITUATE WITHIN PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. IN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PRELIMINARY PLAT THEREOF. (DRB-87-662)

**LEGEND**

- 97 — EXISTING CONTOUR
- 97 — PROPOSED CONTOUR
- 96.57 • EXISTING SPOT ELEVATION
- 96.57 • PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- DRAINAGE AREA BOUNDARY
- SUB-BASIN BOUNDARY

**DRAINAGE CALCULATIONS**

**D.A. A-1 RESIDENTIAL**  
A = 0.200 AC.  
C = 0.60  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.56 CFS  
Q<sub>10</sub> = 0.37 CFS

**D.A. A-2 RESIDENTIAL**  
A = 0.178 AC.  
C = 0.60  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.50 CFS  
Q<sub>10</sub> = 0.33 CFS

**D.A. A-3 RESIDENTIAL**  
A = 0.188 AC.  
C = 0.60  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.52 CFS  
Q<sub>10</sub> = 0.34 CFS

**D.A. A-4 RESIDENTIAL**  
A = 0.192 AC.  
C = 0.60  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.54 CFS  
Q<sub>10</sub> = 0.35 CFS

**D.A. B-1 UNDEVELOPED**  
A = 0.327 AC.  
C = 0.42  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.64 CFS  
Q<sub>10</sub> = 0.42 CFS

**D.A. B-2 UNDEVELOPED**  
A = 0.216 AC.  
C = 0.45  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.45 CFS  
Q<sub>10</sub> = 0.30 CFS

**D.A. B-3 UNDEVELOPED**  
A = 2.852 AC.  
C = 0.40  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 5.30 CFS  
Q<sub>10</sub> = 3.49 CFS

**D.A. B-4 UNDEVELOPED**  
A = 0.157 AC.  
C = 0.42  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 0.31 CFS  
Q<sub>10</sub> = 0.20 CFS

**CUMULATIVE TOTAL: A-1, A-2, A-3, A-4, B-1 & B-3**  
A = 3.937 AC.  
C = 0.44  
I<sub>100</sub> = 4.65 IN/HR  
T = 10 MIN.  
Q<sub>100</sub> = 8.06 CFS  
Q<sub>10</sub> = 5.29 CFS

**RESIDENTIAL LOTS**  
50% LANDSCAPED (C=0.25)  
50% IMPERVIOUS (C=0.95)  
C = 0.60

**EROSION CONTROL**

1. CONTRACTOR SHALL PROVIDE DUST CONTROL BY WATERING DURING GRADING OPERATIONS.
2. CONTRACTOR SHALL PROVIDE CONTOUR WINDROWS @ 1 FT CONTOUR INTERVALS PERPENDICULAR TO DIRECTION OF FLOW. SPACING SHALL BE 50 FT. MAXIMUM. FIRST WINDROW SHALL BE AT THE EAST PROPERTY LINE.

15 1993



REVISED: 1-13-88

**SANTA RITA WEST**  
GRADING AND DRAINAGE PLAN  
PHASE I

ANDREWS, ASBURY & ROBERT, INC.  
CONSULTING ENGINEERS  
NEW MEXICO

FILE NO.	DRAWN	CHECKED	DATE	SHEET	OF
87-300	JCS, JL	JA	Nov. 1997	1	1



ANDREWS, ASBURY & ROBERT, INC.  
CONSULTING ENGINEERS  
401 San Pedro, NE., Albuquerque, N.M. 87108  
Telephone (505) 265-6631

Project SANTA RITA WEST Sheet \_\_\_\_\_ of \_\_\_\_\_  
MOTEL SITE Job No. \_\_\_\_\_  
By DA Chk'd \_\_\_\_\_ Date 7-14-93

## INTERIM CONDITIONS

NOTE: THE MOTEL IS TO BE BUILT FIRST WITH  
THE RESTAURANT TO BE CONSTRUCTED  
AT A LATER DATE.

THUS, BASIN B-2 WILL BE GRADED TO  
DRAIN TO COORS RD. UNTIL DEVELOPMENT  
OF THE RESTAURANT TAKES PLACE.

BASIN B-2 IS THE ONLY BASIN THAT  
WILL HAVE AN INTERIM RUNOFF CALCULATED.

### BASIN B-2

AREA = 1.5241 Ac. ;  $T_c = 12 \text{ MIN.}$

#### LAND TREATMENTS:

"A" = 0 Ac. ; "B" = 0 Ac. ; "C" = 1.5241 Ac. ; "D" = 0 Ac.

$$Q_{100} = (2.87)(1.5241) = 4.37 \text{ CFS}$$

$$Q_{10} = (1.49)(1.5241) = 2.27 \text{ CFS}$$

JUL 15 1993



## FULLY DEVELOPED CONDITIONS

### BASIN B-1:

$$\text{AREA} = 0.1267 \text{ Ac.} ; T_c = 12 \text{ MIN.}$$

#### LAND TREATMENTS:

$$"A" = 0 \text{ Ac.} ; "B" = 0.0217 \text{ Ac.} ; "C" = 0.0223 \text{ Ac.} ; "D" = 0.0827 \text{ Ac.}$$

$$Q_{100} = (2.03)(.0217) + (2.87)(.0223) + (4.37)(.0827) = 0.47 \text{ CFS}$$

$$Q_{10} = (0.76)( " ) + (1.49)( " ) + (2.89)( " ) = 0.29 \text{ CFS.}$$

### BASIN B-2:

$$\text{AREA} = 1.5241 \text{ Ac.} ; T_c = 12 \text{ MIN.}$$

#### LAND TREATMENTS

$$"A" = 0 \text{ Ac.} ; "B" = 0.0457 \text{ Ac.} ; "C" = 0.2591 \text{ Ac.} ; "D" = 1.2193 \text{ Ac.}$$

$$Q_{100} = (2.03)(.0457) + (2.87)(.2591) + (4.37)(1.2193) = 6.16 \text{ CFS}$$

$$Q_{10} = (0.76)( " ) + (1.49)( " ) + (2.89)( " ) = 3.94 \text{ CFS}$$

### BASIN B-3:

$$\text{AREA} = 1.4041 \text{ Ac.} ; T_c = 12 \text{ MIN. JUL 15 1993}$$

#### LAND TREATMENTS

$$"A" = 0 \text{ Ac.} ; "B" = 0.3111 \text{ Ac.} ; "C" = 0.0919 \text{ Ac.} ; "D" = 1.0079 \text{ Ac.}$$

$$Q_{100} = (2.03)(.3111) + (2.87)(.0919) + (4.37)(1.0079) = 5.32 \text{ CFS}$$

$$Q_{10} = (0.76)( " ) + (1.49)( " ) + (2.89)( " ) = 3.29 \text{ CFS}$$

CONTD. ➔

ANDREWS, ASBURY & ROBERT, INC.  
CONSULTING ENGINEERS  
401 San Pedro, NE., Albuquerque, N.M. 87108  
Telephone (505) 265-6631

Project SANTA RITA WEST  
MOTEL SITE  
By DA Chk'd \_\_\_\_\_

Sheet \_\_\_\_\_ of \_\_\_\_\_  
Job No. \_\_\_\_\_  
Date 7-14-93

FULLY DEVELOPED CONDITIONS - CONTD.

BASIN B-4

AREA = 0.0735 Ac. ;  $T_c = 12$  MIN.

LAND TREATMENTS:

"A" = 0 Ac ; "B" = 0.0121 Ac ; "C" = 0 Ac ; "D" = 0.0615 Ac.

$$Q_{100} = (2.03)(.0121) + (4.37)(.0615) = 0.29 \text{ CFS.}$$

$$Q_{10} = (0.76)(\text{ " }) + (2.89)(\text{ " }) = 0.20 \text{ CFS.}$$

JUL 15 1993





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 6, 1993

Douglas Andrews, P.E.  
Andrews, Asbury & Robert, Inc.  
149 Jackson Street NE  
Albuquerque, N.M. 87108

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR SANTA RITA WEST MOTEL (H-11/D29A)  
ENGINEER'S STAMP DATED 4-30-93; RECEIVED MAY 3, 1993  
FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL

Dear Mr. Andrews:

Based on the information included in the submittal referenced above, City Hydrology APPROVES this project for Site Development Plan.

The following comments must be addressed before this project will be approved for Preliminary Plat.

1. Describe how peak flow to 57th street will be limited to the existing rate. Provide calculations to verify peak flow rates. Provide calculations for any improvements required.
2. What is the purpose of the 20' Buffer on the south and east side of the project. Is the landscaping swale included for NPDES purposes? If it is, then contact Loren Mainz at 768-3654 for suggestion on creating an effective system.

If you have any questions about this project, you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
PWD/Hydrology

xc: Fred Aguirre

WPHYD+7737;jpc

PUBLIC WORKS DEPARTMENT



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Santa Rita West Motel Site ZONE ATLAS/DRNG.FILE #: H-11 / 029A

DRB #: -- EPC #: Z-92-71 WORK ORDER #: N/A

**LEGAL DESCRIPTION:** Lot 5, Santa Rita West

**CITY ADDRESS: NOT AVAILABLE YET**

ENGINEERING FIRM: Andrews, Asbury & Robert, Inc. CONTACT: Douglas Andrews

ADDRESS: 149 Jackson Street NE, 87108 PHONE: 265-6631

OWNER: The Pautsch Trust CONTACT: John R. Pautsch, Trustee

ADDRESS: \_\_\_\_\_ PHONE: 821-4821 \_\_\_\_\_

**ARCHITECT:** Chris Rasmussen **CONTACT:** Chris Rasmussen

ADDRESS: -- PHONE: 266-0593

**SURVEYOR:** Andrews, Asbury & Robert, Inc. **CONTACT:** Gayld D. Jewell

**ADDRESS:** 149 Jackson Street NE, 87108 **PHONE:** 265-6631

CONTRACTOR: N/A CONTACT: N/A

ADDRESS: N/A PHONE: N/A

**TYPE OF SUBMITTAL:**

**CHECK TYPE OF APPROVAL SOUGHT:**

<input type="checkbox"/>	DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE PLAN
<input checked="" type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input type="checkbox"/>	ENGINEER'S CERTIFICATION
<input type="checkbox"/>	OTHER

<u>          </u>	SKETCH PLAT APPROVAL
<u>          </u>	PRELIMINARY PLAT APPROVAL
<u>  X      </u>	S. DEV. PLAN FOR SUB'D. APPROVAL
<u>          </u>	S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
<u>          </u>	SECTOR PLAN APPROVAL
<u>          </u>	FINAL PLAT APPROVAL
<u>          </u>	FOUNDATION PERMIT APPROVAL
<u>          </u>	BUILDING PERMIT APPROVAL
<u>          </u>	CERTIFICATE OF OCCUPANCY APPROVAL
<u>          </u>	GRADING PERMIT APPROVAL
<u>          </u>	PAVING PERMIT APPROVAL
<u>          </u>	S.A.D. DRAINAGE REPORT
<u>          </u>	DRAINAGE REQUIREMENTS
<u>          </u>	OTHER _____ (SPECIFY)

**PRE-DESIGN MEETING:**

  X   YES  
       NO  
       COPY PROVIDED

MAY - 3 1993

**DATE SUBMITTED:** April 30, 1993

**BY: Andrews, Asbury & Robert, Inc.**

MAY - 3 1993

7737

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: H-11 DATE: 4-9-93

EPC NO.: \_\_\_\_\_ DRB NO.: \_\_\_\_\_ ZONE: \_\_\_\_\_

SUBJECT: Santa Rita West

STREET ADDRESS: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

APPROVAL REQUESTED: 2 PRELIMINARY PLAT 4 FINAL PLAT  
X SITE DEVELOPMENT PLAN 3 BUILDING PERMIT  
\_\_\_\_\_ GRADING/PAVING PERMIT \_\_\_\_\_ OTHER

ATTENDANCE: WHO REPRESENTING  
Doug Andrews Andrews & Asbury  
Jack Pautsch Himself  
John Curtin PWD/Hydrology

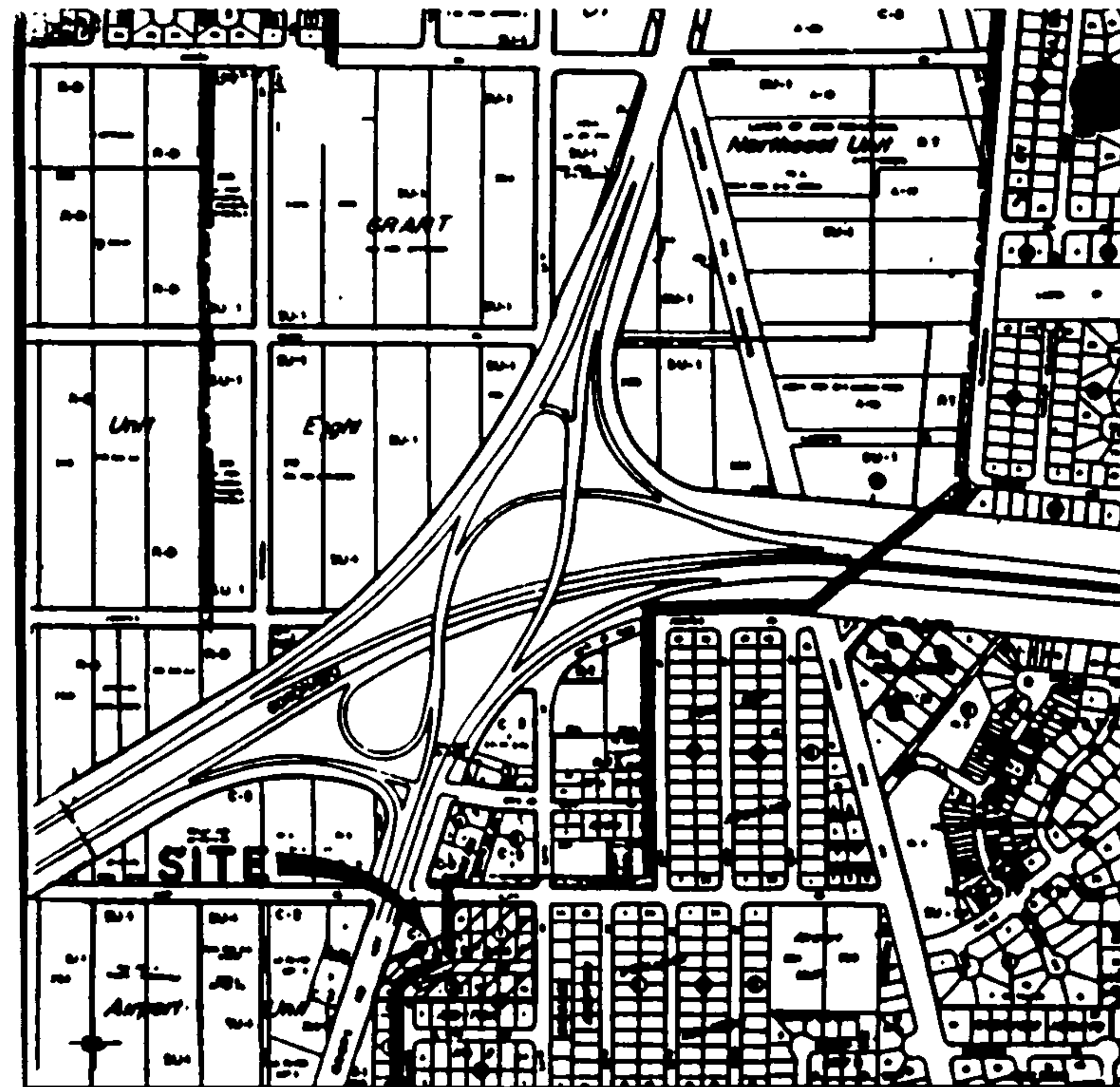
FINDINGS:  
1. Check concrete for flows.  
2. Check Downstream Capacity.  
Are there problems on Hanover.  
3. If Problem, Release at existing rate.  
4. Restaurant Area can free discharge to Cooks. (to 48" S.D.)  
Review Grading & Drainage Plan dated 1-13-88 to verify what was originally approved.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Doug Andrews SIGNED: John P. Curtin  
TITLE: Civil Engineer TITLE: CE Hydrology  
DATE: 4-9-93 DATE: 4-9-93

**\*\*NOTE\*\*** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.





**LOCATION MAP**  
ZONE ATLAS MAP H-11  
SCALE: 1"=1000'

**FREE CONSENT AND DEDICATION STATEMENT**

THE SUBDIVISION DESCRIBED HEREIN IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AND DO HEREBY GRANT ALL UTILITY EASEMENTS SHOWN HEREON WITH THE RIGHTS OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS; INCLUDED ARE EASEMENTS FOR JOINT POWER AND COMMUNICATION SERVICE LINES; AND DO ALSO GRANT TO THE CITY OF ALBUQUERQUE THE DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN. SAID OWNERS AND/OR PROPRIETORS DO HEREBY FREELY CONSENT TO ALL THE FOREGOING AND DO HEREBY REPRESENT THAT WE ARE AUTHORIZED TO SO ACT.

THE PAUTSCH TRUST

BY: *John R. Pautsch, Jr.*  
JOHN R. PAUTSCH, JR.

By: *Carolyn S. Pautsch*  
CAROLYN S. PAUTSCH

CO-TRUSTEES U/A/T DATED 11-24-86

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF December 1987 BY JACK R. PAUTSCH, JR., CO-TRUSTEE U/A/T DATED 11-24-86.

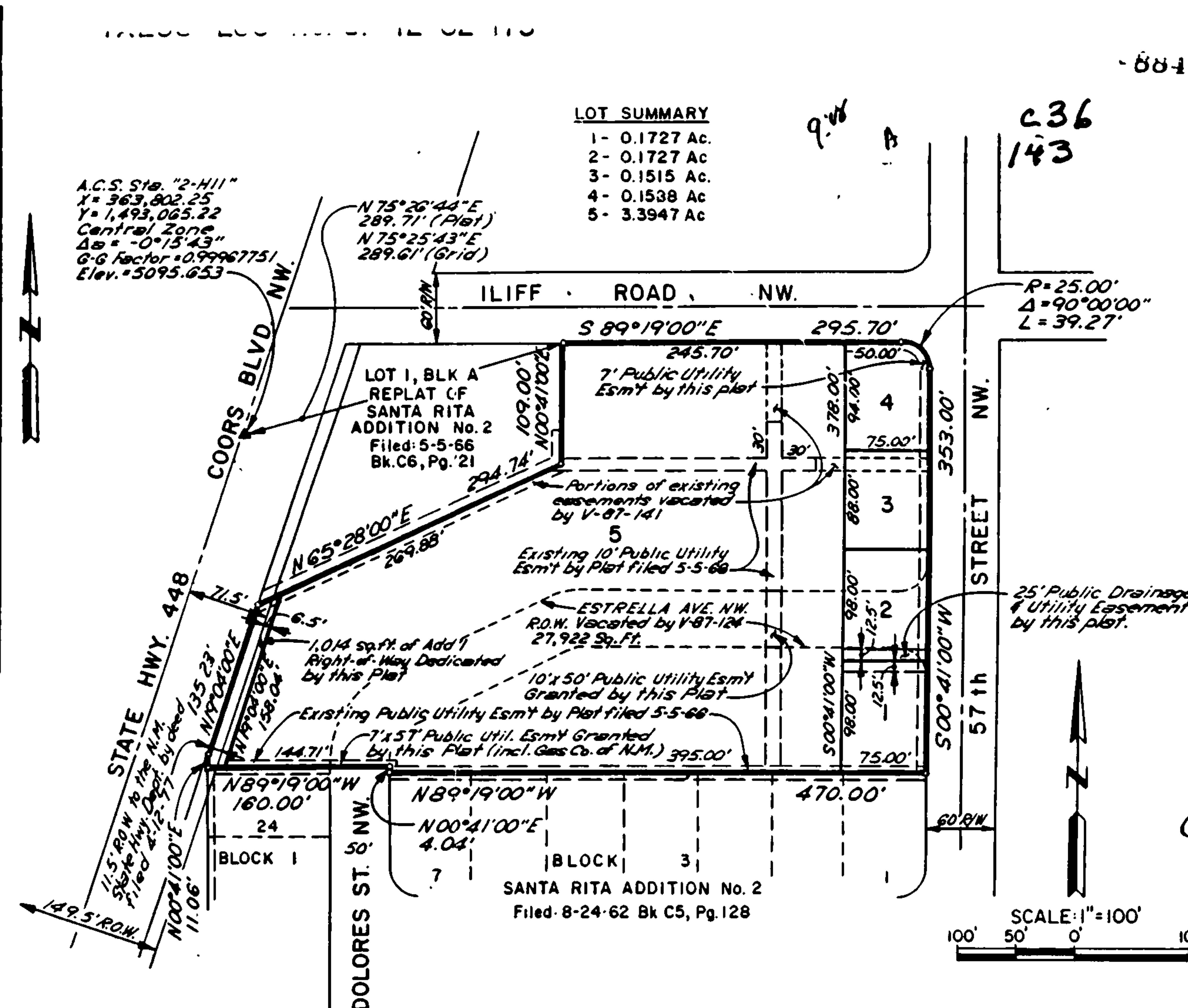
MY COMMISSION EXPIRES: 12-18-89

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF December 1987 BY CAROLYN S. PAUTSCH, CO-TRUSTEE U/A/T DATED 11-24-86.

MY COMMISSION EXPIRES: 12-18-89



**DESCRIPTION**

A CERTAIN TRACT OF LAND SITUATE WITHIN PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. IN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS 32 TO 40 IN BLOCK 1, LOTS 11 TO 14, IN BLOCK 3 OF SANTA RITA ADDITION NO. 2 AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON AUGUST 24, 1962 IN BOOK C5, PAGE 128; AND LOTS 2 TO 7 IN BLOCK A, AND LOTS 1 & 2 IN BLOCK B OF SANTA RITA ADDITION NO. 2 AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT THEREOF RECORDED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 5, 1966 IN BOOK C6, PAGE 121, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF THE TRACT HEREIN DESCRIBED BEING COMMON TO THE NORTHWEST CORNER OF SAID LOT 40 IN BLOCK 1; THENCE, S 89°19'00" E, 295.70 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY 39.27 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY; THENCE, S 00°41'00" W, 353.00 FEET DISTANCE TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED BEING COMMON TO THE SOUTHEAST CORNER OF SAID LOT 14 IN BLOCK 3; THENCE, N 89°19'00" W, 470.00 FEET DISTANCE TO THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK B; THENCE, N 00°41'00" E, 4.04 FEET DISTANCE TO A POINT; THENCE, N 89°19'00" W, 160.00 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED BEING COMMON TO THE SOUTHWEST CORNER OF SAID LOT 7 IN BLOCK A; THENCE, N 00°41'00" E, 11.06 FEET DISTANCE TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COORS BLVD. NW TO A POINT; THENCE, N 19°04'00" E, 135.23 FEET DISTANCE ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE OF COORS BLVD. NW TO A POINT; THENCE, N 65°28'00" E, 294.74 FEET DISTANCE TO A POINT; THENCE, N 00°41'00" E, 109.00 FEET DISTANCE TO THE NORTHWEST CORNER AND POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED, CONTAINING 4.1050 ACRES, MORE OR LESS.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE TEN (10) FEET AND SEVEN (7) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:

A. THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

B. MOUNTAIN BELL FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

C. JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT OF INGRESS AND EGRESS FOR THE CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. ALSO INCLUDED IS THE RIGHT TO INSTALL AND MAINTAIN SERVICE LINES.

8848250

**PLAT FOR**  
**SANTA RITA WEST**  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 1987

MAY - 3 1993

**APPROVALS**

<i>Bob Meyer</i> PUBLIC SERVICE COMPANY OF NEW MEXICO	12-9-87 DATE
<i>Shirley Hunt</i> MOUNTAIN BELL TELEPHONE COMPANY	12-11-87 DATE
<i>Joe Benito</i> GAS COMPANY OF NEW MEXICO	12-10-87 DATE
<i>St. North Urban</i> CHIEF CITY SURVEYOR	12/11/87 DATE
<i>Bessie Jewell</i> PROPERTY MANAGEMENT	5/24/88 DATE
<i>David W. Hansen</i> TRAFFIC ENGINEER	12/15/87 DATE
<i>Paul H. Hines</i> PARKS AND RECREATION DIRECTOR	12-15-87 DATE
<i>W. Whitman</i> WATER RESOURCES DEPARTMENT	12-15-87 DATE
<i>Frank J. Aguirre</i> ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	5-27-88 DATE
<i>Frank J. Aguirre</i> CITY ENGINEER, ENGINEERING DIVISION	5-27-88 DATE
<i>Paul Hines</i> PLANNING DIRECTOR, CITY/COUNTY PLANNING DIVISION	5-31-88 DATE

**SURVEYOR'S CERTIFICATE**

I, GAYLE D. JEWELL, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Gayle D. Jewell*  
GAYLE D. JEWELL, L.S. NO. 4071  
12-02-87  
DATE

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF December, 1987 BY GAYLE D. JEWELL, L.S. NO. 4071, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO.

NOTARY PUBLIC *Caroline A. Ford*

OFFICIAL SEAL  
Caroline A. Ford  
NOTARY PUBLIC - STATE OF NEW MEXICO  
Notary Bond Filed with Sec. of State  
My Commission Expires 2/29/91



ANDREWS, ASBURY & ROBERT, INC.  
CONSULTING ENGINEERS