

CITY OF ALBUQUERQUE



February 15, 2008

Levi J. Valdez, P.E.
George T. Rodriguez - Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

**Re: Rio Grande Seventh Day Adventist Church, 5200 Iliff Rd. NW,
(H-11/D034)**

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 11-25-02

Certification dated 2-15-2008

Mr. Valdez:

P.O. Box 1293

Based upon the information provided in your submittal received 2/15/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: RIO GRANDE SEVENTH DAY ADVENTIST CHURCH ZONE MAP: H-11/DO34
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TR. "B-1", RIO GRANDE 7TH DAY ADVENTIST CHURCH
 CITY ADDRESS: 5200 ILLIFF RD. N.W.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ-CONSULT. CONTACT: LEVI VALDEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: RIO GRANDE SEVENTH DAY ADVENTIST CHURCH CONTACT: PASTOR GUARDONER
 ADDRESS: 5200 ILLIFF RD. N.W. PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RICK BENNETT ARCHITECT CONTACT: RICK BENNETT
 ADDRESS: _____ PHONE: _____
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

SURVEYOR: WAXTOWN SURVEYING CONTACT: THOMAS
 ADDRESS: 330 LOUISIANA N.E. PHONE: 255-2052
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: LARRY VIGIL CONSTRUCTION CONTACT: LARRY VIGIL
 ADDRESS: _____ PHONE: _____
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

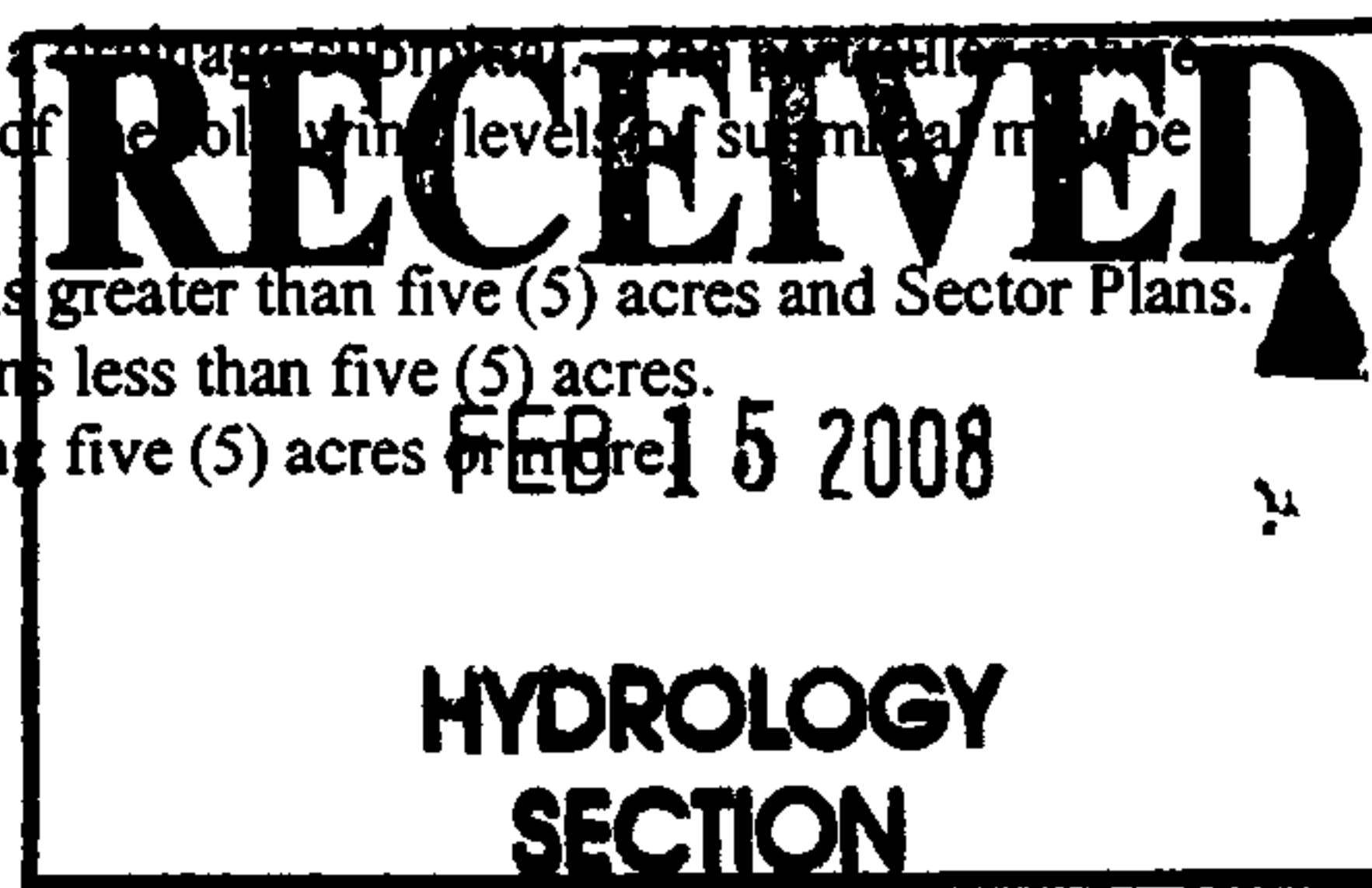
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

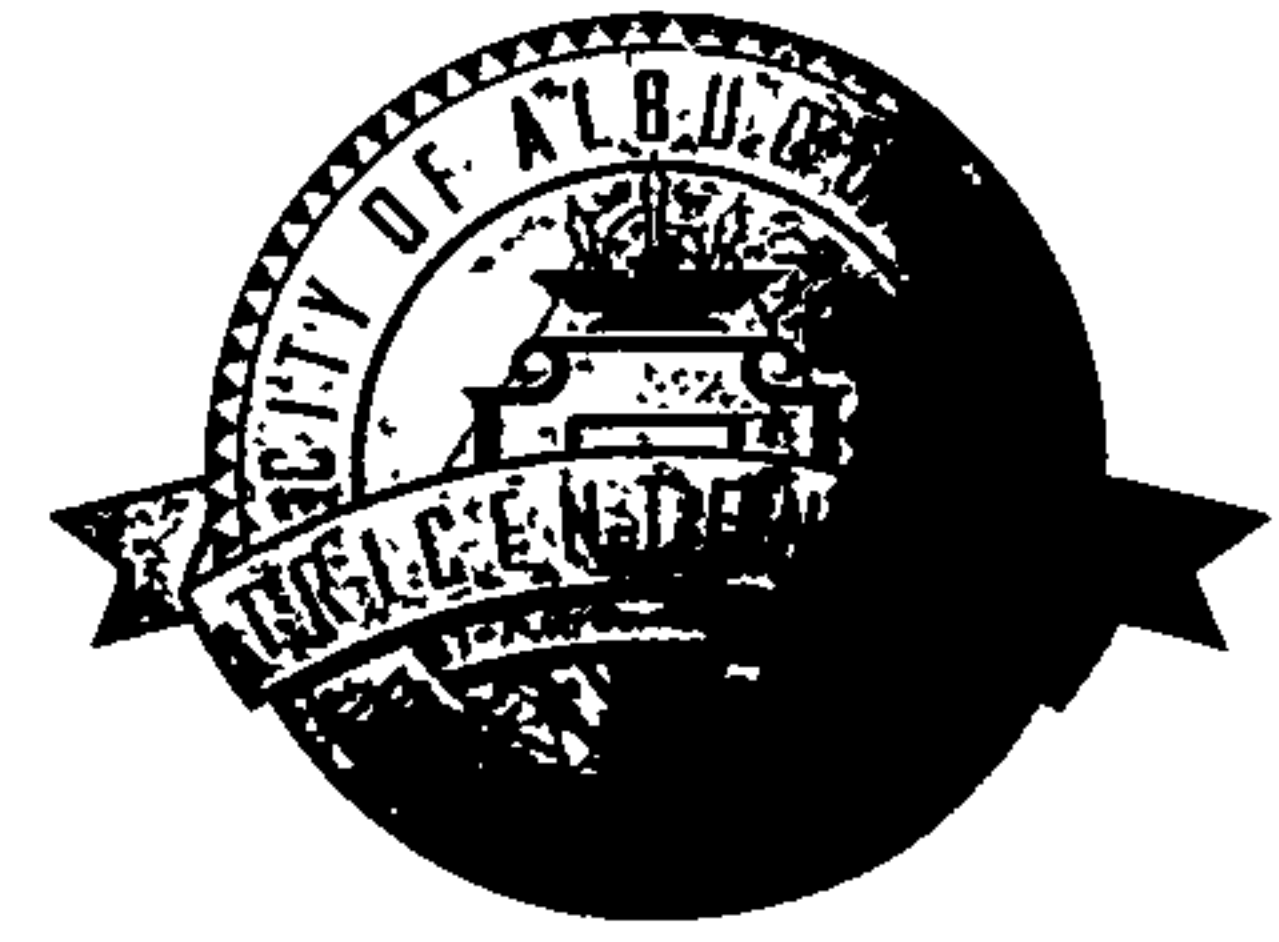
DATE SUBMITTED: 02-15-08 BY: GEO. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



February 19, 2008

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

**Re: Rio Grande 7th Day Adventist Church, 5200 Iliff Rd NW,
Permanent Certificate of Occupancy – Transportation
Engineer's Stamp dated 2-01-08 (H11-D034)
Certification dated 2-15-08**

Dear Mr. Bennett,

P.O. Box 1293

Based upon the information provided in your submittal received 2-15-08, the above referenced certification is approved for release of **Permanent Certificate of Occupancy by Transportation Development**.

Albuquerque

If you have any questions, you can contact me at 924-3991.

New Mexico 87103

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro", is written over a horizontal line.

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
File

H-11/D34

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: RIO GRANDE 7th DAY ADVENTIST ZONE MAP: _____
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 250-A, TOWN OF ATRISCO BLMNT ALB, NM
CITY ADDRESS: 5200 ILLIFF NW

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: TEKNO OF CONFERENCE OF SDA ASSOC. CONTACT: LARRY VIGIL
ADDRESS: 5200 ILLIFF NW PHONE: 480-7070
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87

ARCHITECT: RIK BENNETT AREA CONTACT: BAR
ADDRESS: 1104 PARK AVE SW PHONE: 242-1859
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: LARRY VIGIL CONTACT: LARRY
ADDRESS: 500 ORISIA RD NW PHONE: 480-7070
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

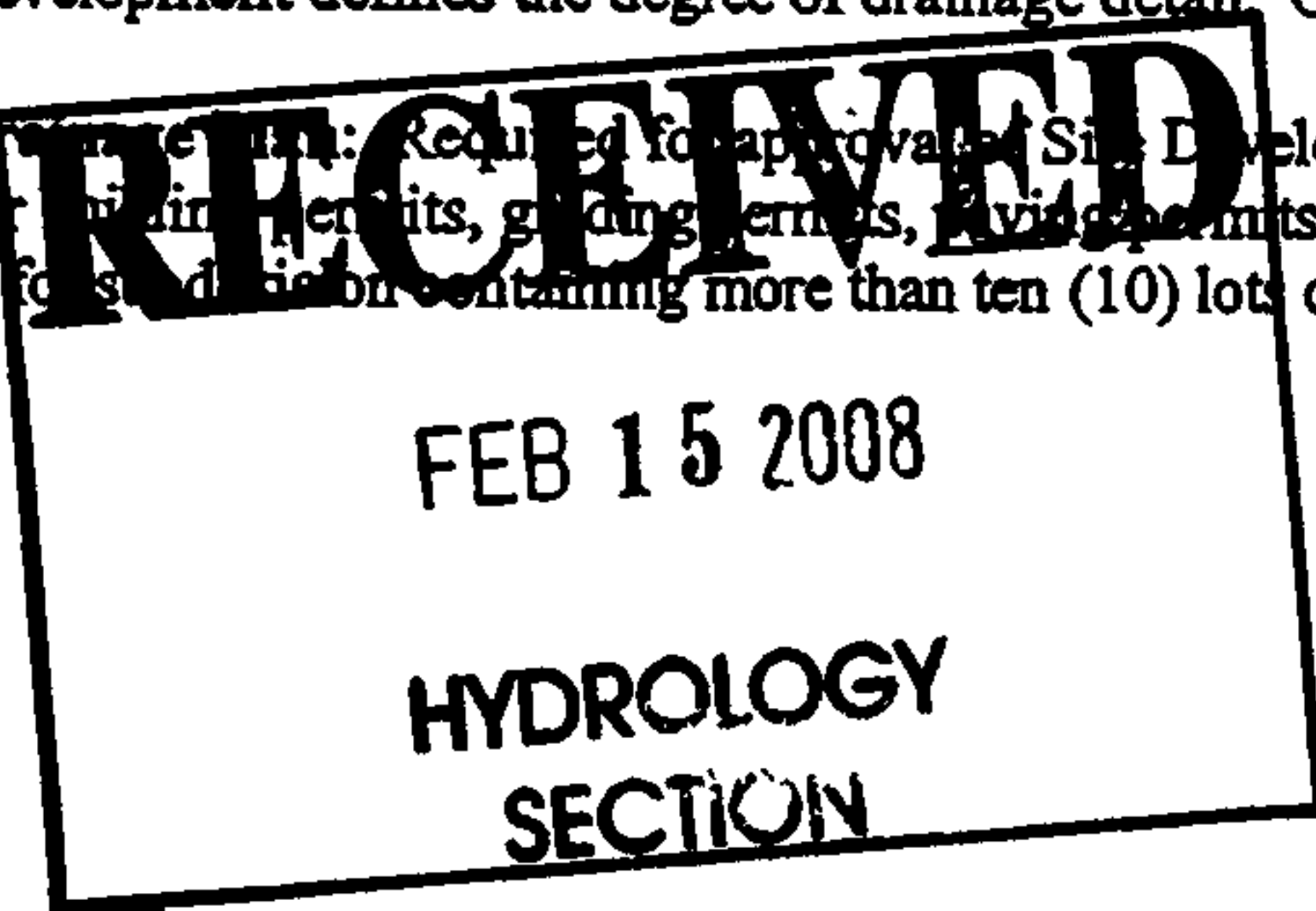
WAS A PRE-DESIGN CONFERENCE ATTENDED:

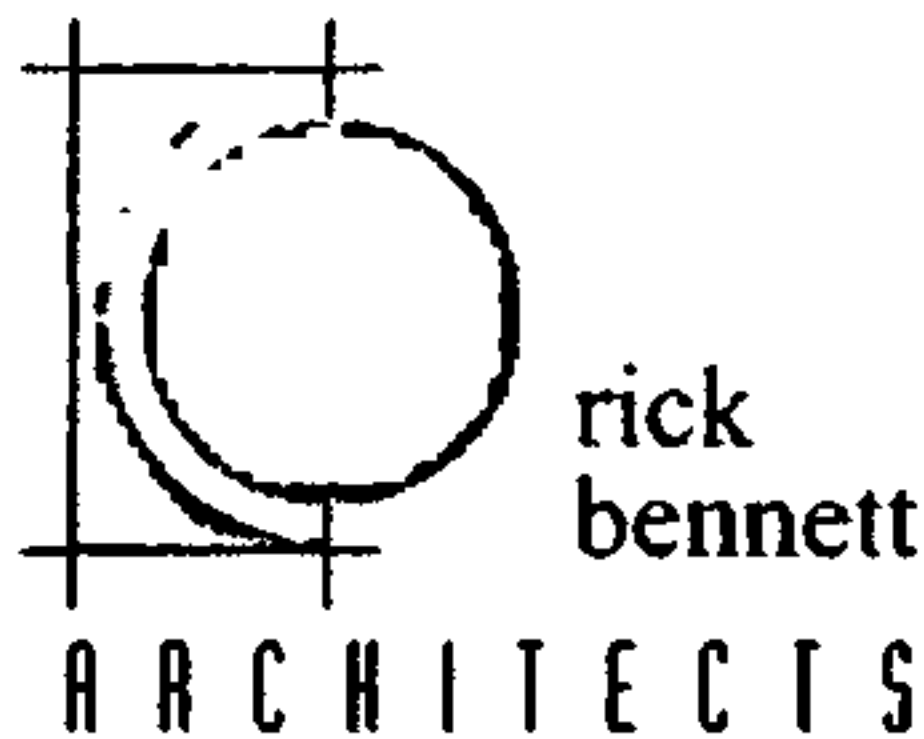
- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: Enluthman 2/15/08 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage**: Required for approved Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





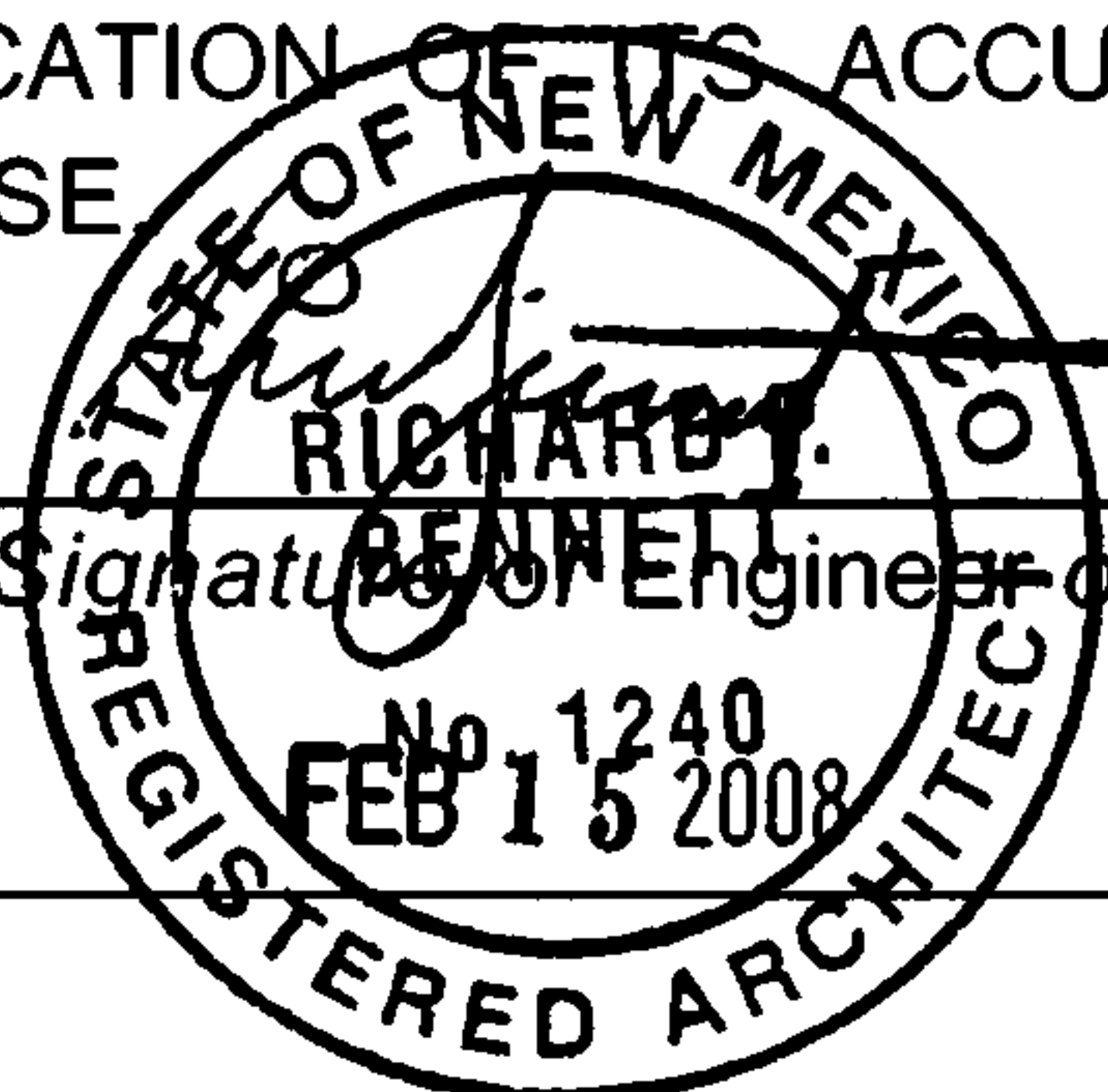
TRAFFIC CERTIFICATION

I, RICK BENNETT, A NEW MEXICO REGISTERED ARCHITECT, OF THE FIRM RICK BENNETT ARCHITECTS, HEREBY CERTIFY THAT THE PROJECT AT 5200 ILLIFF, NW IN ALBUQUERQUE, NEW MEXICO IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF AA APPROVED PLAN DATED FEBURARY 8, 2008.

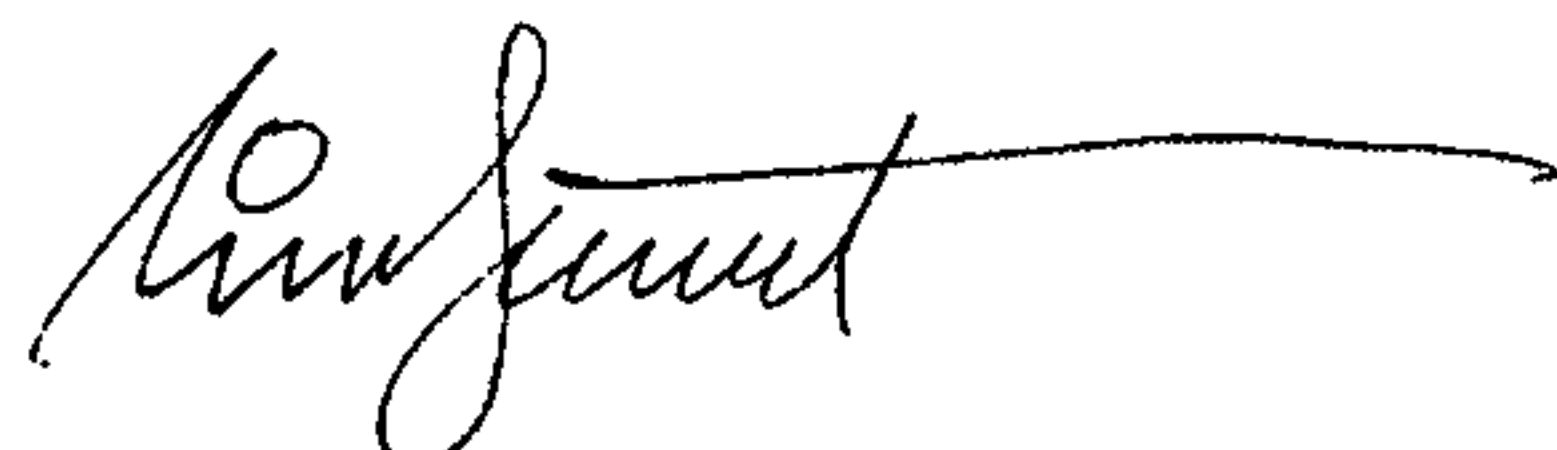
I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON FEBURARY 14, 2008 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE OWNER IS IN THE PROCESS OF REOPENING THE DRIVE PAD ON THE NORTHWEST CORNER OF THE SITE IN ADDITION TO RESURFACING AND RESTRIPIING THE ENTIRE PARKING LOT AS INDICATED ON THE SITE PLAN DATED JANUARY 2, 2008 AND HAS GUARANTEED THE WORK TO BE COMPLETED WITHIN SIXTY DAYS (60) FROM THE DATE OF THIS CERTIFICATION.

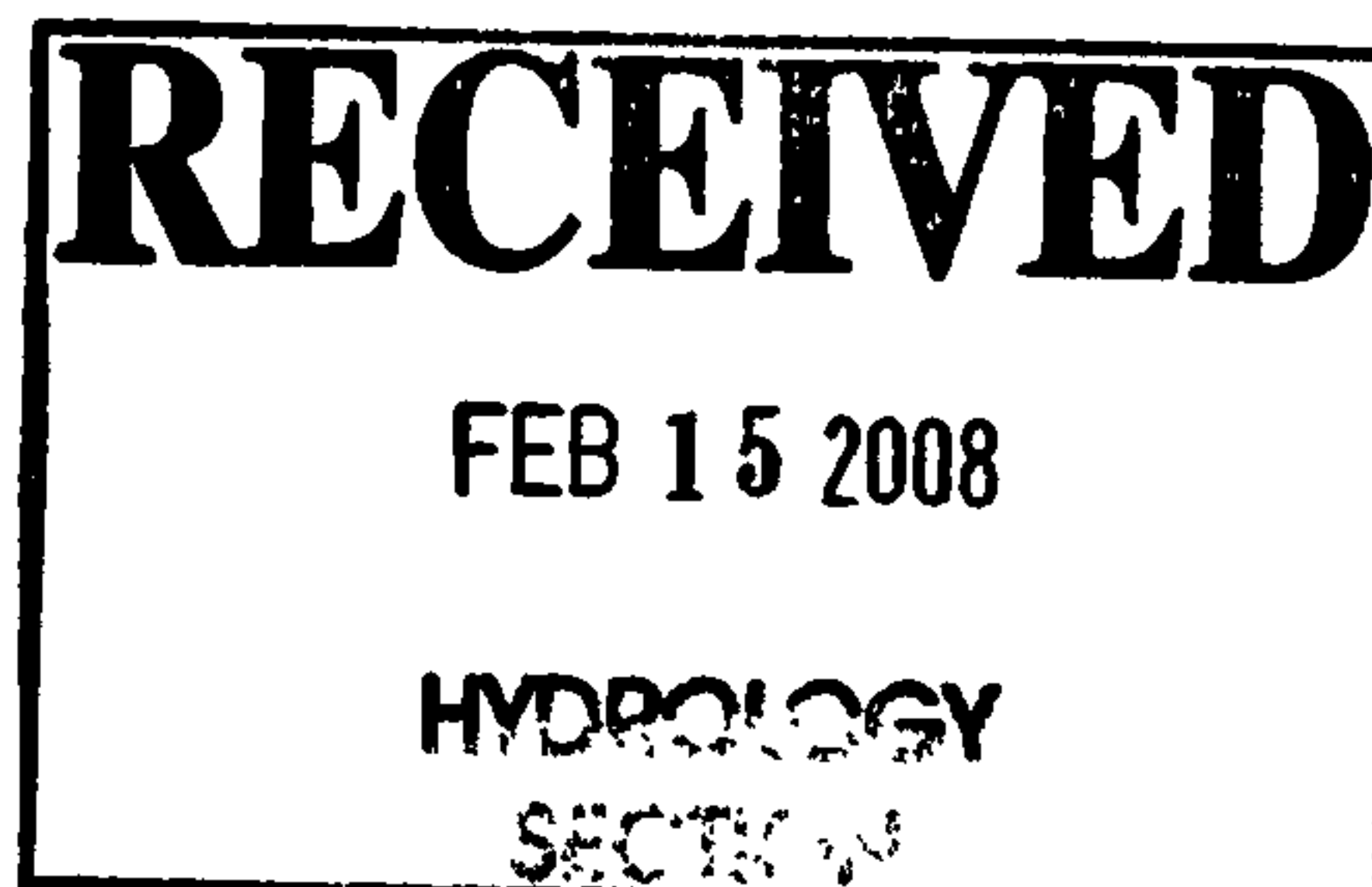
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

STAMP  ENGINEER'S OR ARCHITECT'S
Signature of Engineer or Architect
Date: _____

Sincerely,



Rick Bennett



Val and Sons', Inc.
P.O. Box 15631
5003 Industrial Park Loop
Rio Rancho, NM 87174

PHONE
892-2011

LIC.
030462

Proposal

February 11, 2008

To: Larry Vigil and Sons, herein "owner"
Re: 5200 Niff

Val and Sons, Inc., herein "contractor", proposes to provide labor and material to complete the following:

Extend curb cut and apron 13'
Concrete slab for trash enclosure 13'4"X11'4"
Cut asphalt for trash enclosure
Haul asphalt from trash enclosure

(\$1,270.00)
1,200.00
250.00
100.00

OK. L.V. A
OK. RA

Contractor will perform all work in a timely and professional manner. Cracks in concrete are a regular occurrence and are generally cosmetic, affecting appearance and not the structural integrity of the slab. Therefore the contractor will only repair cracks that are greater than 1/4 inch in width and 1/4 inch in vertical displacement. This warranty is valid for one year from the date of pour. Color uniformity is not controllable and therefore unwarrantable. Contractor will make every effort to install anchor bolts as needed. Any anchor bolts needed at plate splices, to replace damaged ones, or to replace anchor bolts which end up beneath frame studs are the owner's responsibility. Radiant heat applications tend to cause some cracking, please be aware that this does occur.

Some specs from the concrete plan are not the responsibility of the contractor and should be done by others. A pre-construction meeting to clarify the scope of this proposal should be scheduled prior to commencement of work.

Owner to provide the following:

- 1) Clear and legible plans with all pertinent measurements on the foundation plan. A
- 2) A level lot graded to within 4" of expected final grade. B
- 3) All corners of house perimeter located on lot. A
- 4) Water within 100' of house slab.
- 5) Bathroom or out house facilities. R
- 6) Electricity within 50' of house slab. A
- 7) All fill dirt needed to complete work. A

8) Hauling away of excess dirt and debris created in the normal completion of job.

A concrete pump may be needed to complete this job and is not part of this proposal. The pump has a minimum charge of \$600.00 and \$125.00 per hour after first three hours.

Any changes to this proposal shall be done in writing and agreed to prior to change being completed.

Pricing is subject to change due to material price increases that are beyond the control of the contractor.

Payment is due within 10 days of completion of each phase of construction.

Submitted by:



Accepted by:



08/27/07 MON 12:22 FAX 505 + 863 6794

QUICK PRINT

Gallup Paving & Const.
P.O. Box 690
Gallup, N.M. 87305

Kenny CARABAJAL
(505) 870-2924
409-0296

PROPOSAL

N.M. Lic. # 90322

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

PROPOSAL NO.

SHEET NO.

DATE 8-27-07

NAME Rio Grande Spanish 1 st Day Adventist Church	ADDRESS
ADDRESS 5211 Hill	CITY, STATE
CITY, STATE	DATE OF PLANS
PHONE NO. Larry (505) 379-9223 FAX 505-279-1811	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of

1) Remove ALL DIRT & Debris from
PARKING LOT: N/C

2) CRACK FILL PARKING LOT w/ HOT PAVERABLE
CRACK FILL: \$300.00

3) SEAL CONT PARKING LOT w/ SEAL MASTER
Spec material (7293.4 sq. yds. @ 1.0): \$7283.40

4) STEPS PARKING LOT:
114 - SPACES @ 3.00 \$342.00
10 - H-CAP SPACES @ 7.00 \$70.00
11 - PYLONS \$77.00
+ TAX \$8,072.40

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of:

Dollars (\$)

with payments to be as follows

100% upon completion

Any alteration or deviation from above specifications (including extra work) will be executed only upon written order, and will require an extra charge. Item and above the estimate. All specifications, conditions, terms, conditions, or delays beyond our control.

Respectfully submitted

Kenny Carabajal
Gallup Paving & Const.

Note - This proposal may be withdrawn by us if not accepted within _____ days.

ACCEPTANCE OF PROPOSAL

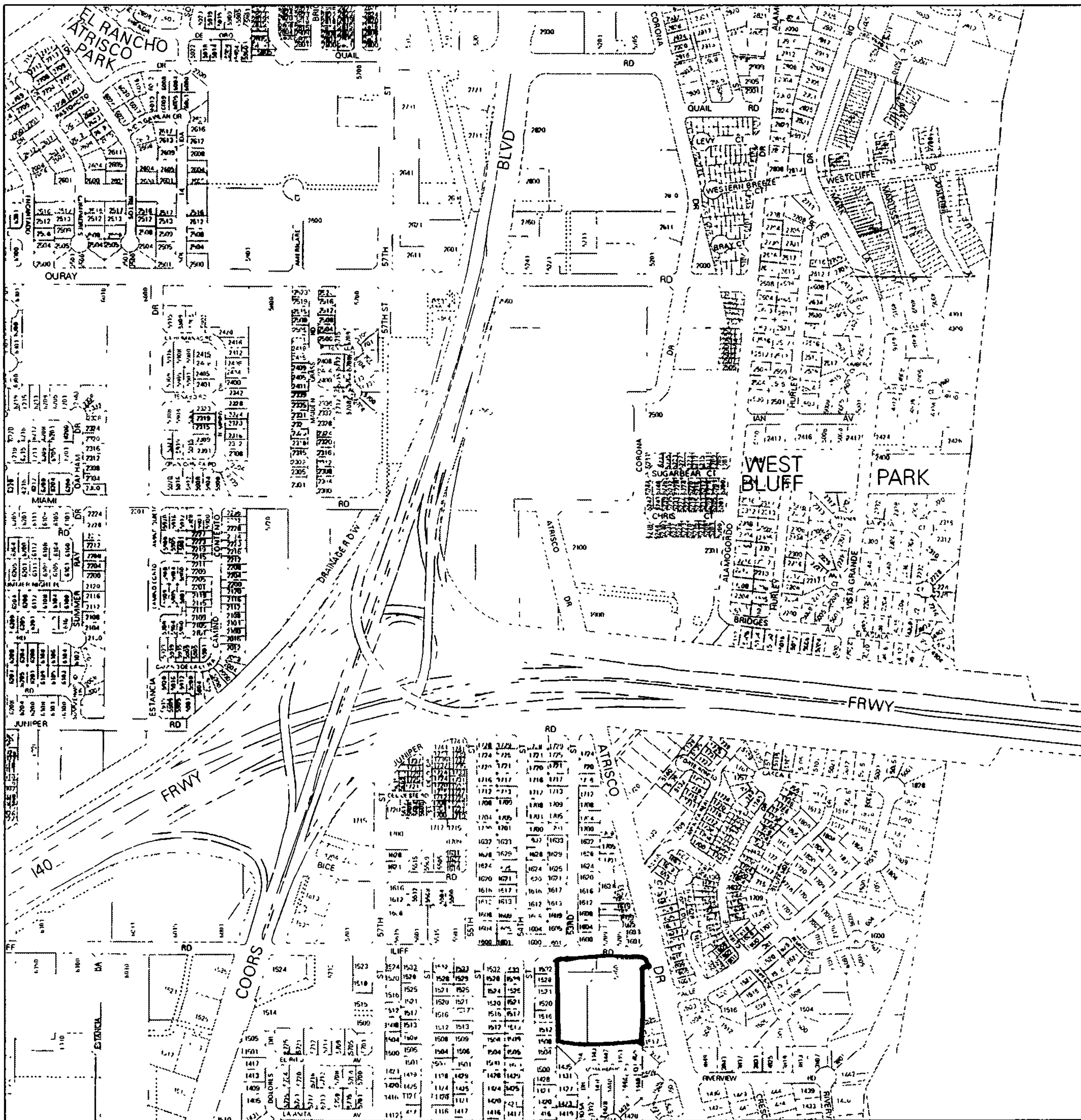
The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

DATE

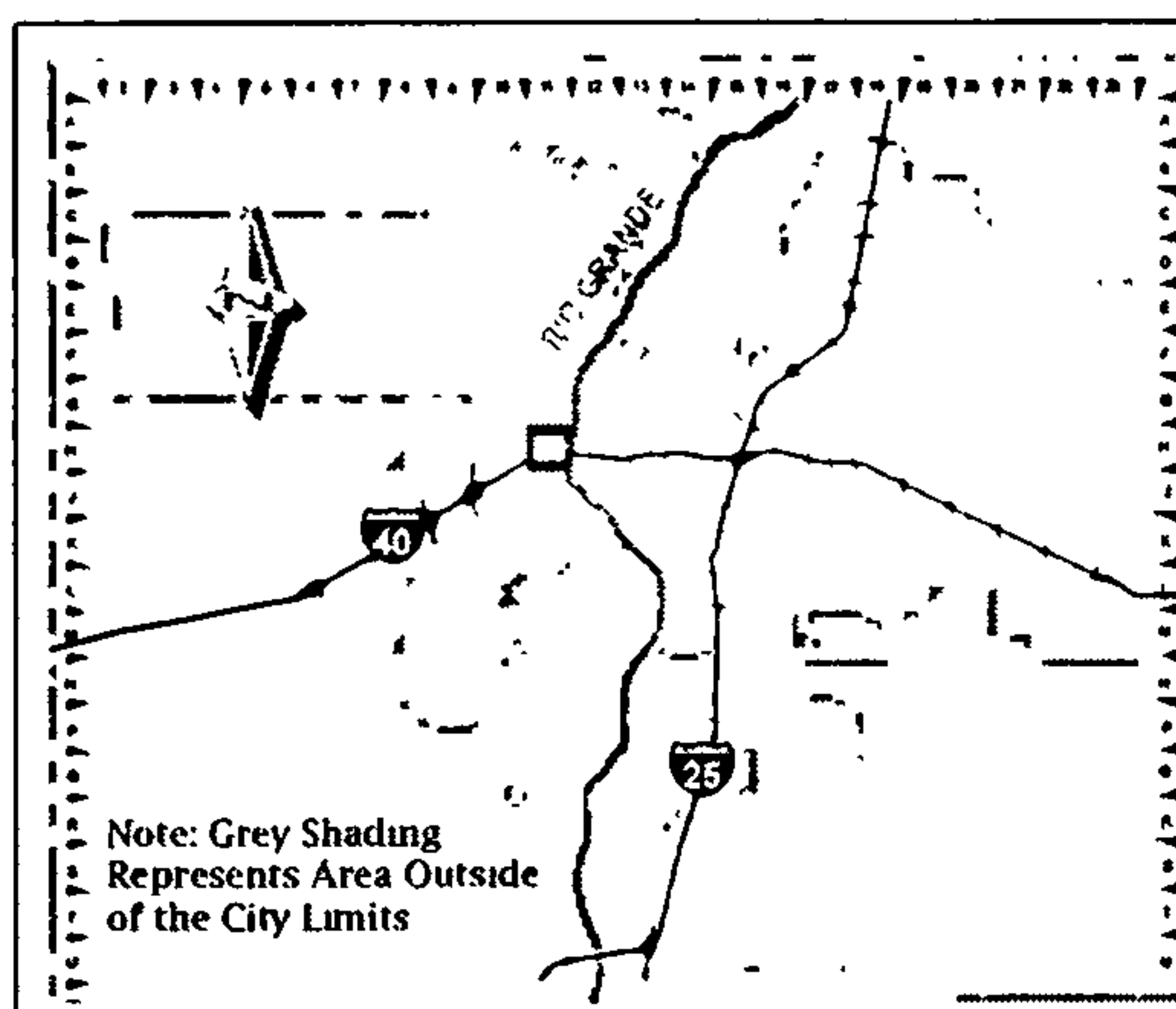
7/15/08

SIGNATURE

9030



For more current information and more details visit <http://www.cabq.gov/gis>

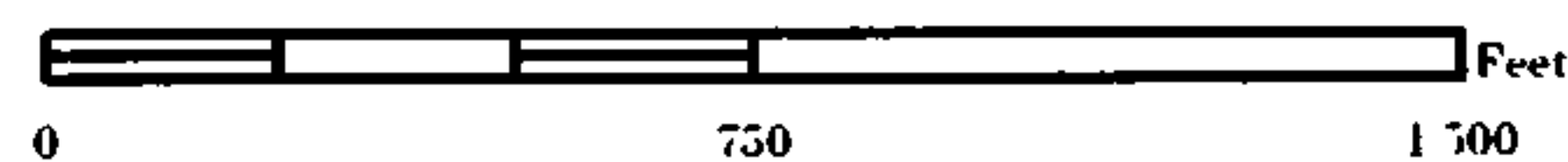


Address Map Page:

H-11-Z

Map amended through 10/1/2007

These addresses are for information purposes only and are not intended for address verification





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 17, 2002

Levi J. Valdez, PE
12800 San Juan NE
Albuquerque, NM 87123

**RE: Rio Grande Seventh Day Adventist Church
Grading and Drainage Plan (H11-D34)
Engineer's Stamp Dated November 25, 2002**

Dear Mr. Valdez:

I have reviewed the above referenced grading and drainage plan received November 25, 2002 and forward the following comments:

- Permission of owner(s) of Tract "A-1" is required to tie into the existing 12" storm drain.
- Please provide the capacity of the existing 12" storm drain.
- Please provide the FEMA panel number and Base Flood Elevation.

If you have any questions please call me at 924-3986

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file