## CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

December 23, 2024

Doug Staker, P.E Galloway 172 N East Promontory Farmington, UT 84025

Re: Walmart

2550 Coors Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 02-20-24 (H11-D059)
Certification dated 12-17-24

Dear Mr. Staker,

Based upon the information provided in your submittal received 12-18-24, Transportation Development has no objection to a <u>30-day Temporary Certificate of Occupancy</u> based. This letter serves as a "green tag" from Transportation Development for a <u>30-day Temporary</u> Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

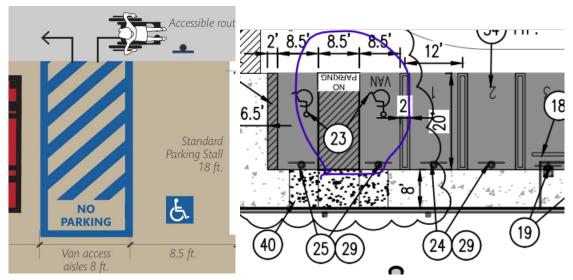
Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

 The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978). An ADA aisle spot must be painted with blue stripes.

NM 87103

www.cabq.gov



Once these corrections are complete, email pictures to <a href="mailto:malnajjar@cabq.gov">malnajjar@cabq.gov</a> for release of Final CO.

# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions	, please contact me at	(505) 924-3675
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Sincerely,

Marwa Al-najjar

Associate Engineer, Planning Dept. Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



# City of Albuquerque Planning Department

Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:	Hydrology File #		
Legal Description:			
City Address, UPC, OR Parcel:			
Applicant/Agent:Address:Email:	Phone:		
Applicant/Owner:Address:Email:	Contact: Phone:		
TYPE OF DEVELOPMENT: Plat (# of lots)			
RE-SUBMITTAL:	YES NO		
DEPARTMENT: TRANSPORTATION	HYDROLOGY/DRAINAGE		
Check all that apply under Both the Type of Submittal a	nd the Type of Approval Sought:		
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:		
Engineering / Architect Certification	Pad Certification		
Conceptual Grading & Drainage Plan	Building Permit		
Grading & Drainage Plan, and/or Drainage	Grading Permit		
Report Drainage Report (Work Order)	Paving Permit		
Drainage Master Plan	SO-19 Permit		
Conditional Letter of Map Revision (CLOMR)	Foundation Permit		
Letter of Map Revision (LOMR)	Certificate of Occupancy - Temp Perm		
Floodplain Development Permit	Preliminary / Final Plat		
Traffic Circulation Layout (TCL) –	Site Plan for Building Permit - DFT Work Order (DRC)		
Administrative  Traffic Circulation Layout (TCL) – DFT  Approval	Release of Financial Guarantee (ROFG) CLOMR / LOMR		
Traffic Impact Study (TIS)	Conceptual TCL - DFT		
Street Light Layout	OTHER (SPECIFY)		
OTHER (SPECIFY)			

REV. 04/03/24

DATE SUBMITTED:





#### TRAFFIC CERTIFICATION

I, <u>BRANDON ALLEY</u>, NMPE #25037 OF THE FIRM <u>GALLOWAY & COMPANY</u>, <u>INC.</u>, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/12/2022. EDITS TO THE APPROVED PLANS DATED 02/20/2024. THE RECORD IMFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY <u>DOUG STAKER</u> OF THE FIRM <u>GALLOWAY & COMPANY</u>, <u>INC.</u> I FURTHER CERTIFY THAT A PROFESSIONAL ENGINEER UNDER MY DIRECT SUPERVISION VISITED THE PROJECT SITE ON 12/02/2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR <u>CERTIFICATE OF OCCUPANCY</u>.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer

D. Co

12/17/2024

Date



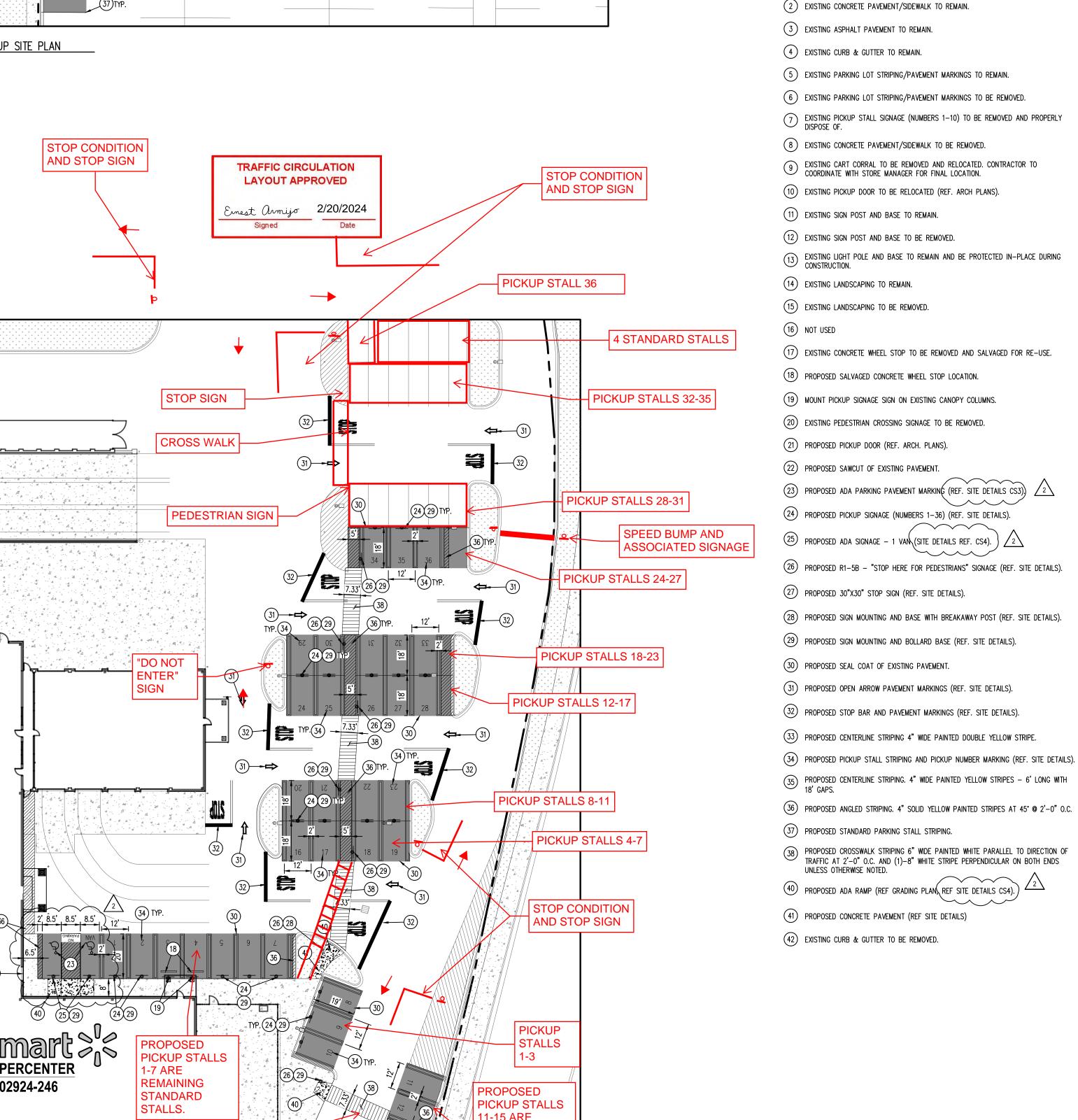


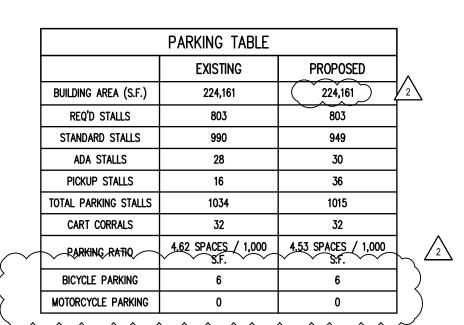
(14)

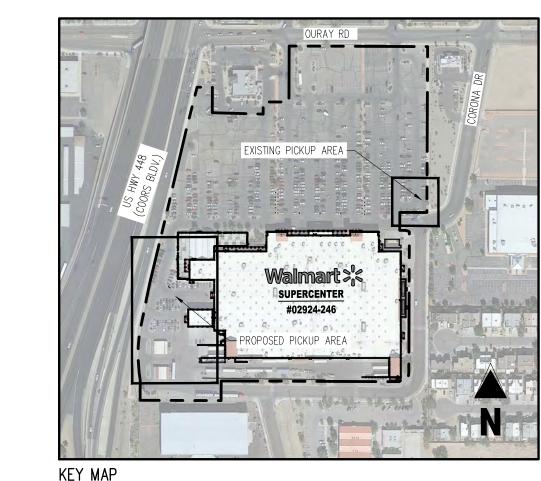
REFERENCE SSM-SECP PLANS (SEPARATE PLAN SET) FOR ADDITIONAL SUPERCENTER IMPROVEMENTS AND DETAILS ALONG BFR. 02924-246 GROCERY ■ VESTIBULE EXISTING PICKUP SITE PLAN

SCALE 1" = 30'

STOP CONDITION AND STOP SIGN TRAFFIC CIRCULATION LAYOUT APPROVED Ernest armijo 2/20/2024 STOP SIGN CROSS WALK -PEDESTRIAN SIGN DO NOT SIGN ICKUP STALLS **SUPERCENTER** 7 ARE EMAINING 02924-246 ROPOSED STANDARD STALLS. 11-15 ARE **EMIANING** PEDESTRIAN SIGNAGE OR







LEGEND

EXISTING CURB AND GUTTER TO REMAIN

PROPOSED CONCRETE PAVING/SIDEWALK

EXISTING ASPHALT PAVING TO REMAIN EXISTING LANDSCAPING TO REMAIN

PROPOSED ASPHALT PAVING

EXISTING BOLLARD TO REMAIN

EXISTING STORM INLET TO REMAIN EXISTING LIGHT POLE TO REMAIN

EXISTING FIRE HYDRANT TO REMAIN PROPOSED STORM SEWER CLEANOUT

EXISTING WALMART BUILDING TO REMAIN

PROPOSED SIGN MOUNTING W/ BREAKAWAY POST PROPOSED SIGN MOUNTING W/ BOLLARD POST

PROPOSED SEAL COAT

EXISTING ASPHALT PAVEMENT TO BE REMOVED

EXISTING STAMPED CONCRETE

---- W----- EXISTING WATER LINE TO REMAIN —— SD ————— PROPOSED STORM SEWER LINE

— — — — — PROPOSED SAWCUT LINE

SITE & DEMOLITION SCHEDULE

(1) EXISTING WALMART BUILDING TO REMAIN.

PROPOSED WALMART BUILDING

EXISTING CURB AND GUTTER TO BE REMOVED EXISTING CONCRETE PAVING TO REMAIN.

EXISTING CONCRETE PAVING TO BE REMOVED

PROPOSED CURB AND GUTTER

## DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THI PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED
- IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY

2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS

CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE

BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE

- ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES. 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS
- AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING. 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.,
- REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS

(AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD

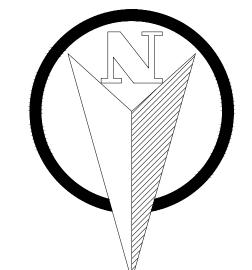
- REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBI FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED
- 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND

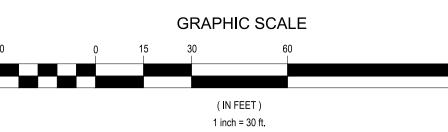
SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD

- EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT
- CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM. 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- 15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN. 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS
- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H./ 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND

MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

- EXACT BUILDING UTILITY ENTRANCE LOCATIONS ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS)
- INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES. ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED II
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS" THIS PLAN SET DOES NOT FULLY ADDRESS SITE SSM-SECP MODIFICATIONS. REFERENCE SSM-SECP PLANS FOR STOP SIGN AND MARKING IMPROVEMENTS THROUGHOUT THE SITE NOT COVERED IN THESE PLANS. 8. ALL LIGHT POLE BASES SHALL BE REPAINTED, AND BOLT COVERS REPLACED WHERE MISSING OR DAMAGED. PREVIOUS OR NEW OVERSPRAY ON SURROUNDING PAVEMENT SHALL BE REMOVED. SEE ARCHITECTURAL
- SPECIFICATION SECTION 09900 FOR ADDITIONAL INFORMATION 9. REFRESH ENTIRE PARKING LOT STRIPING AND MARKINGS. MATCH EXISTING EXCEPT WHERE MODIFIED IN THESE DRAWINGS OR CIVIL SSM-SECP PLANS (SEPARATE PLAN SET). SEE PAVEMENT MARKING SPECIFICATIONS PROVIDED WITH THE CIVIL SSM-SECP PLANS.





CAUTION - NOTICE TO CONTRACTOR ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY

AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR Know what's below. PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SITE AND **DEMOLITION** PLAN

SUPERCENTER REMODEL

PR #2 02/21/2024

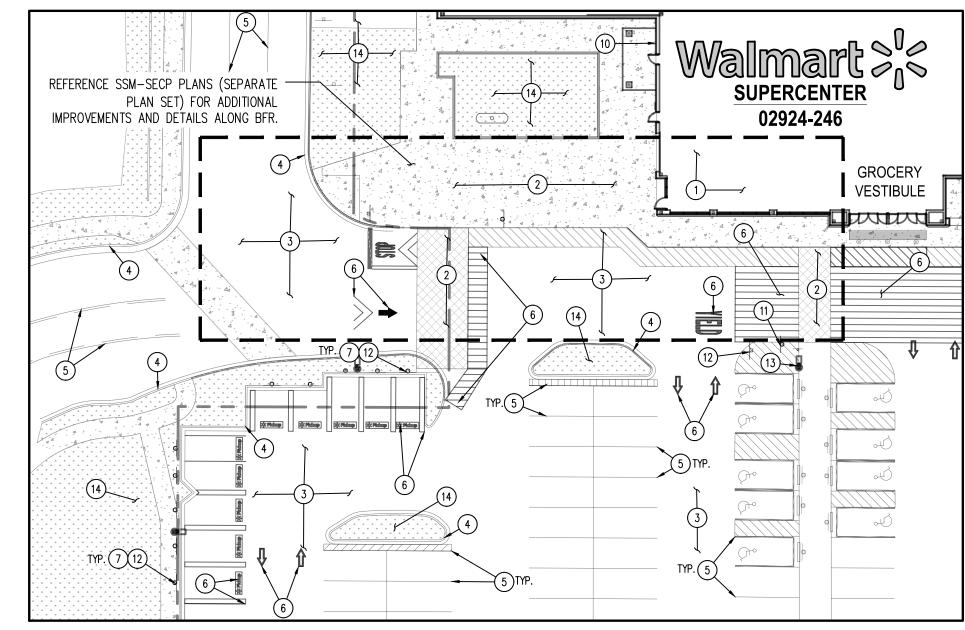
ISSUE BLOCK

CHECKED BY:

PROTO CYCLE:

DOCUMENT DATE: 10/23/202

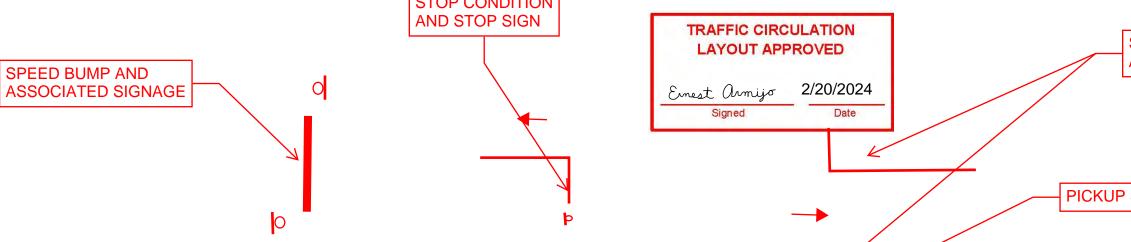
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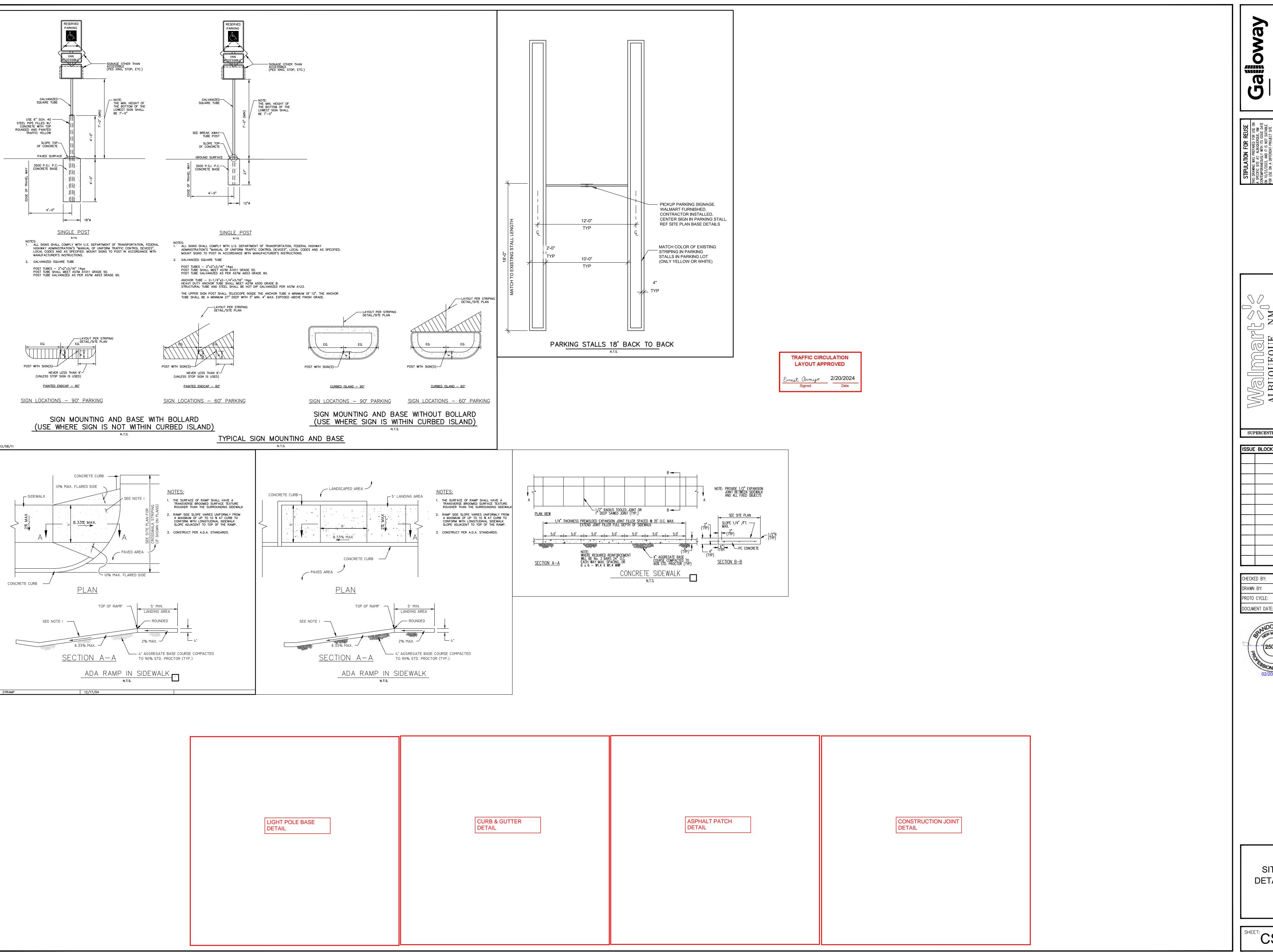
SUPERCENTER

02924-246

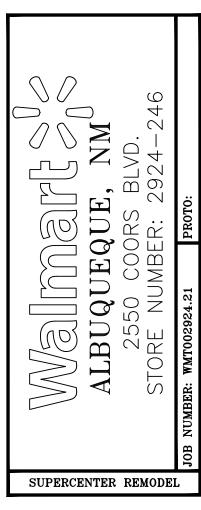
PROPOSED PICKUP DEMOLITION PLAN

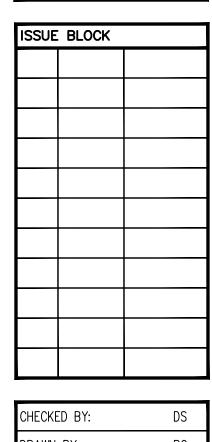


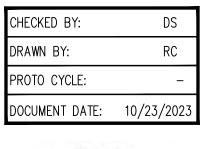
PROPOSED PICKUP SITE PLAN SPEED BUMP AND ASSOCIATED SIGNAGE









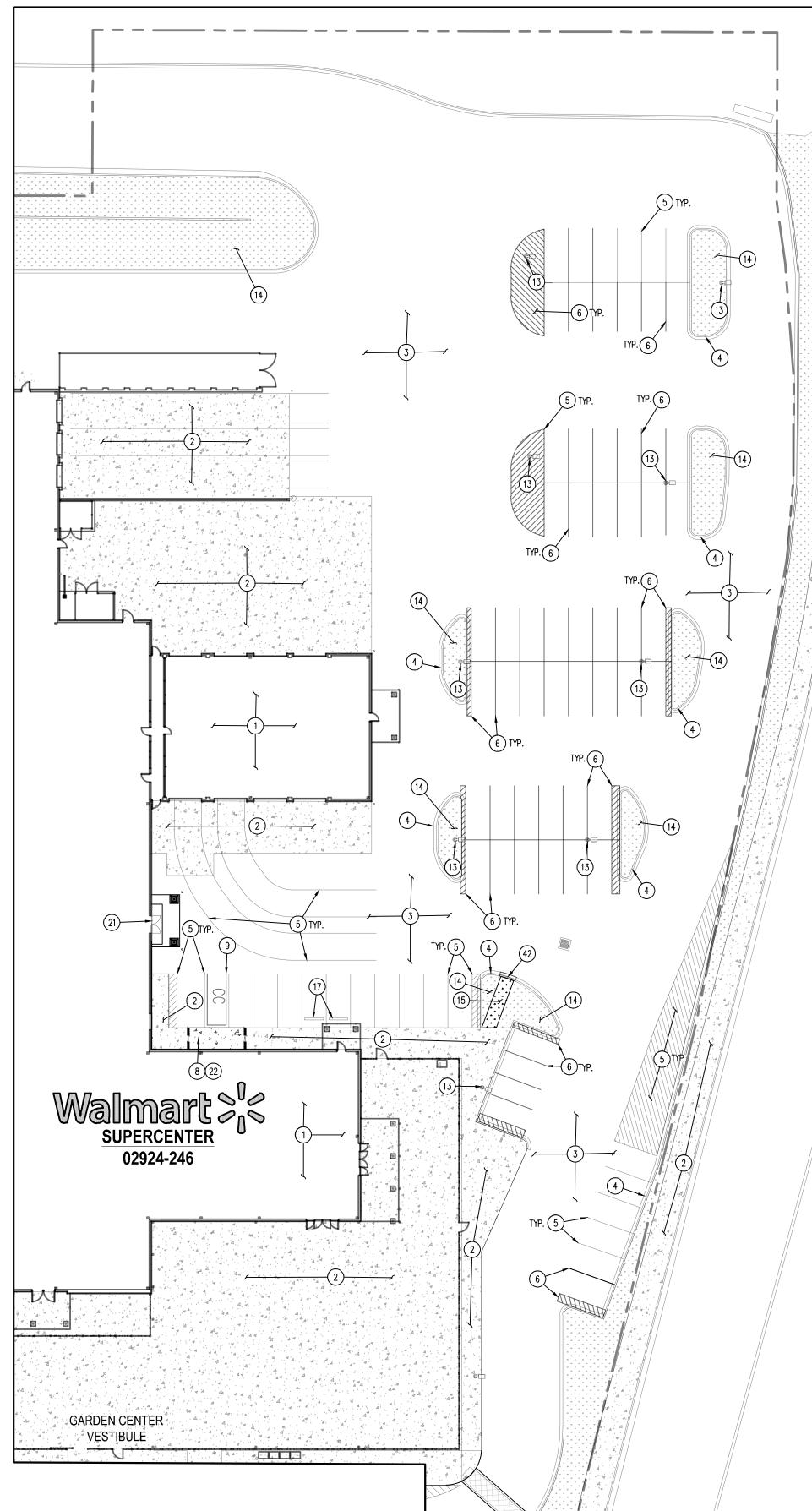


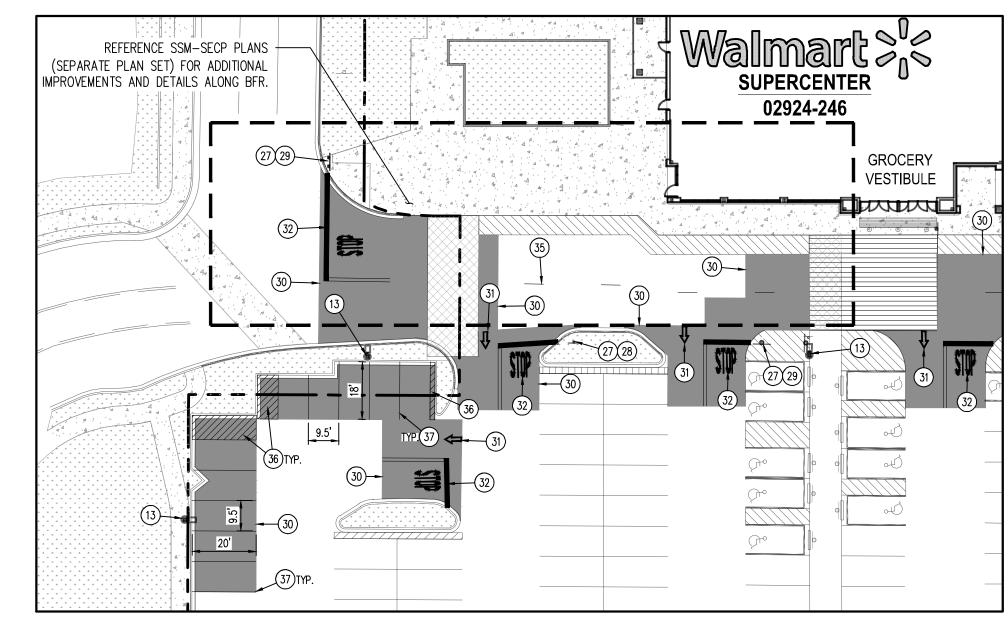


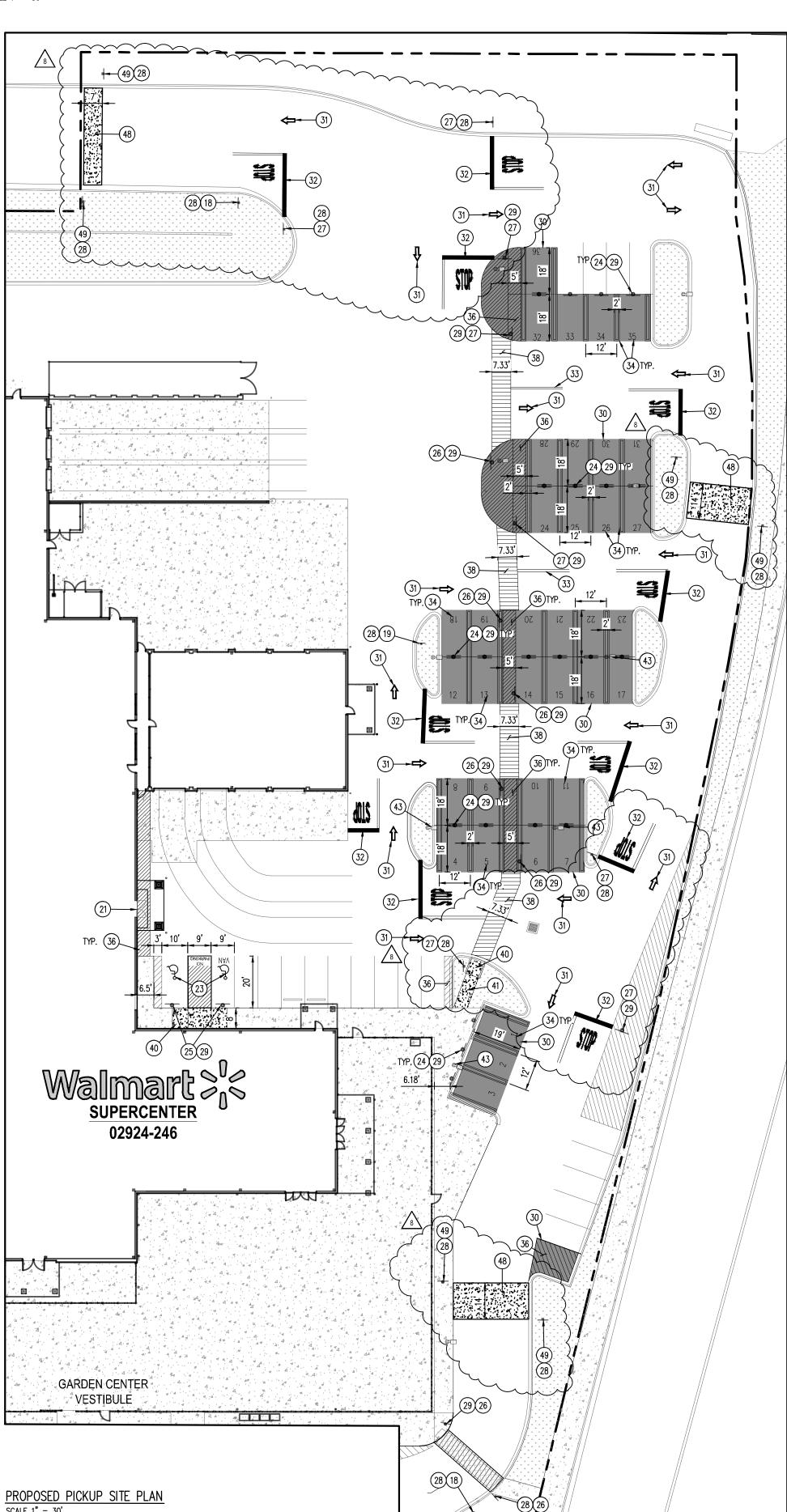
**DETAILS** 

EXISTING PICKUP DEMOLITION PLAN

PROPOSED PICKUP DEMOLITION PLAN







A A A A	EXISTING CONCRETE PAVING TO REMAIN.
	PROPOSED CONCRETE PAVING/SIDEWALK
A A A	EXISTING CONCRETE PAVING TO BE REMOVED
	EXISTING ASPHALT PAVING TO REMAIN
Ψ Ψ Ψ Ψ Ψ Υ	EXISTING LANDSCAPING TO REMAIN
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	PROPOSED ASPHALT PAVING
	PROPOSED SEAL COAT
	EXISTING STAMPED CONCRETE
•	EXISTING BOLLARD TO REMAIN
	EXISTING STORM INLET TO REMAIN
	EXISTING LIGHT POLE TO REMAIN
Ţ,	EXISTING FIRE HYDRANT TO REMAIN
Ø	PROPOSED STORM SEWER CLEANOUT
	PROPOSED SIGN MOUNTING W/ BREAKAWAY POST
_0_	PROPOSED SIGN MOUNTING W/ BOLLARD POST
	EXISTING WALMART BUILDING TO REMAIN
— — W—	EXISTING WATER LINE TO REMAIN
—— SD ————	PROPOSED STORM SEWER LINE
	PROPOSED WALMART BUILDING
	PROPOSED SAWCUT LINE

EXISTING CURB AND GUTTER TO REMAIN

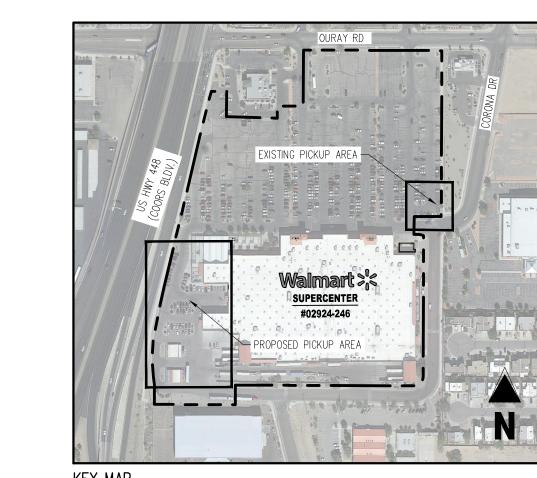
EXISTING CURB AND GUTTER TO BE REMOVED

PROPOSED CURB AND GUTTER

## SITE & DEMOLITION SCHEDULE

- EXISTING WALMART BUILDING TO REMAIN.
- EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING CURB & GUTTER TO REMAIN.
- EXISTING PARKING LOT STRIPING/PAVEMENT MARKINGS TO REMAIN.
- EXISTING PARKING LOT STRIPING/PAVEMENT MARKINGS TO BE REMOVED.
- EXISTING PICKUP STALL SIGNAGE (NUMBERS 1-10) TO BE REMOVED AND PROPERLY DISPOSE OF.
- EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED.
- EXISTING CART CORRAL TO BE REMOVED AND RELOCATED. CONTRACTOR TO COORDINATE WITH STORE MANAGER FOR FINAL LOCATION.
- EXISTING PICKUP DOOR TO BE RELOCATED (REF. ARCH PLANS).
- EXISTING SIGN POST AND BASE TO REMAIN.
- EXISTING SIGN POST AND BASE TO BE REMOVED.
- EXISTING LIGHT POLE AND BASE TO REMAIN AND BE PROTECTED IN-PLACE DURING CONSTRUCTION.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING LANDSCAPING TO BE REMOVED.
- PROPOSED LIGHT POLE WITH 'EALS H4' HEAD ON NEW 13 FOOT POLE WITH 3' BASE (REF. LIGHTING PLAN).
- EXISTING CONCRETE WHEEL STOP TO REMAIN.
- PROPOSED 18" X 24" NO THRU TRAFFIC SIGN (R10-9).
- PROPOSED 24" X 24" "DO NOT ENTER" SIGN (R5-1).
- EXISTING PEDESTRIAN CROSSING SIGNAGE TO BE REMOVED.
- PROPOSED PICKUP DOOR (REF. ARCH. PLANS).
- PROPOSED SAWCUT OF EXISTING PAVEMENT.
- PROPOSED ADA PARKING PAVEMENT MARKING (REF. SITE DETAILS CS3).
- PROPOSED PICKUP SIGNAGE (NUMBERS 1-36) (REF. SITE DETAILS).
- PROPOSED ADA SIGNAGE 1 VAN (SITE DETAILS REF. CS4).
- PROPOSED R1-5B "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- PROPOSED 30"X30" STOP SIGN (REF. SITE DETAILS).
- PROPOSED SIGN MOUNTING AND BASE WITH BREAKAWAY POST (REF. SITE DETAILS).
- PROPOSED SIGN MOUNTING AND BOLLARD BASE (REF. SITE DETAILS).
- PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- PROPOSED OPEN ARROW PAVEMENT MARKINGS (REF. SITE DETAILS).
- PROPOSED STOP BAR AND PAVEMENT MARKINGS (REF. SITE DETAILS).
- PROPOSED CENTERLINE STRIPING 4" WIDE PAINTED DOUBLE YELLOW STRIPE.
- PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- PROPOSED CENTERLINE STRIPING. 4" WIDE PAINTED YELLOW STRIPES 6' LONG WITH 18' GAPS.
- PROPOSED ANGLED STRIPING. 4" SOLID YELLOW PAINTED STRIPES AT 45' @ 2'-0" O.C.
- PROPOSED STANDARD PARKING STALL STRIPING.
- PROPOSED CROSSWALK STRIPING 6" WIDE PAINTED WHITE PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS OTHERWISE NOTED.
- PROPOSED ADA RAMP (REF GRADING PLAN, REF SITE DETAILS CS4).
- PROPOSED CONCRETE PAVEMENT (REF SITE DETAILS)
- EXISTING CURB & GUTTER TO BE REMOVED.
- PROPOSED LIGHT 'EALS H5' HEAD ON EXISTING 16 FOOT POLE (REF. LIGHTING PLAN).
- PROPOSED ASPHALT PATCH FOR UTILITY PLACEMENT (REF. SITE DETAILS). PROPOSED CURB & GUTTER (MATCH EXISTING) DOWEL INTO EXISTING CURB & GUTTER, SEE DETAIL
- EXISTING ASPHALT PAVING TO BE REMOVED.
- PROPOSED ELECTRICAL LINE FOR NEW LIGHT POLE (REF ELECTRICAL PLANS)
- PROPOSED CONCRETE SPEED CUSHION (REF SITE DETAILS).
- PROPOSED SPEED HUMP SIGNAGE (REF SITE DETAILS).

PARKING TABLE			
	EXISTING	PROPOSED	
BUILDING AREA (S.F.)	224,161	224,161	
REQ'D STALLS	803	803	
STANDARD STALLS	990	968	
ADA STALLS	28	30	
PICKUP STALLS	16	36	
TOTAL PARKING STALLS	1034	1014	
CART CORRALS	32	32	
PARKING RATIO	4.62 SPACES / 1,000 S.F.	4.52 SPACES / 1,000 S.F.	
BICYCLE PARKING	6	6	
MOTORCYCLE PARKING	0	0	



 $\frac{\text{KEY MAP}}{\text{APPX. 1"} = 300'}$ 

## DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON TH PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL

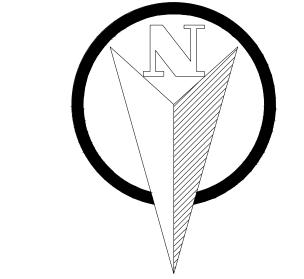
SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED

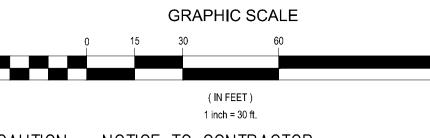
- AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
- 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S
- 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED
- 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).

SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD

- 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER
- ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED. 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA
- AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING. 15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H./ 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND
- 3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES. ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND
- PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED I THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS" THIS PLAN SET DOES NOT FULLY ADDRESS SITE SSM-SECP MODIFICATIONS. REFERENCE SSM-SECP PLANS
- FOR STOP SIGN AND MARKING IMPROVEMENTS THROUGHOUT THE SITE NOT COVERED IN THESE PLANS. 8. ALL LIGHT POLE BASES SHALL BE REPAINTED, AND BOLT COVERS REPLACED WHERE MISSING OR DAMAGED. PREVIOUS OR NEW OVERSPRAY ON SURROUNDING PAVEMENT SHALL BE REMOVED. SEE ARCHITECTURAL SPECIFICATION SECTION 09900 FOR ADDITIONAL INFORMATION 9. REFRESH ENTIRE PARKING LOT STRIPING AND MARKINGS. MATCH EXISTING EXCEPT WHERE MODIFIED IN
- THESE DRAWINGS OR CIVIL SSM-SECP PLANS (SEPARATE PLAN SET). SEE PAVEMENT MARKING SPECIFICATIONS PROVIDED WITH THE CIVIL SSM-SECP PLANS.





CAUTION - NOTICE TO CONTRACTOR . ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS

PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR Know what's below. PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SITE AND **DEMOLITION** PLAN

RQ

SUPERCENTER REMODEL

PR #2 | 02/21/2024

ADD#1 04/05/2024

CCD#1 05/15/2024

CCD#2 06/17/2024

CCD#4 08/30/2024

RFI#27 09/17/2024

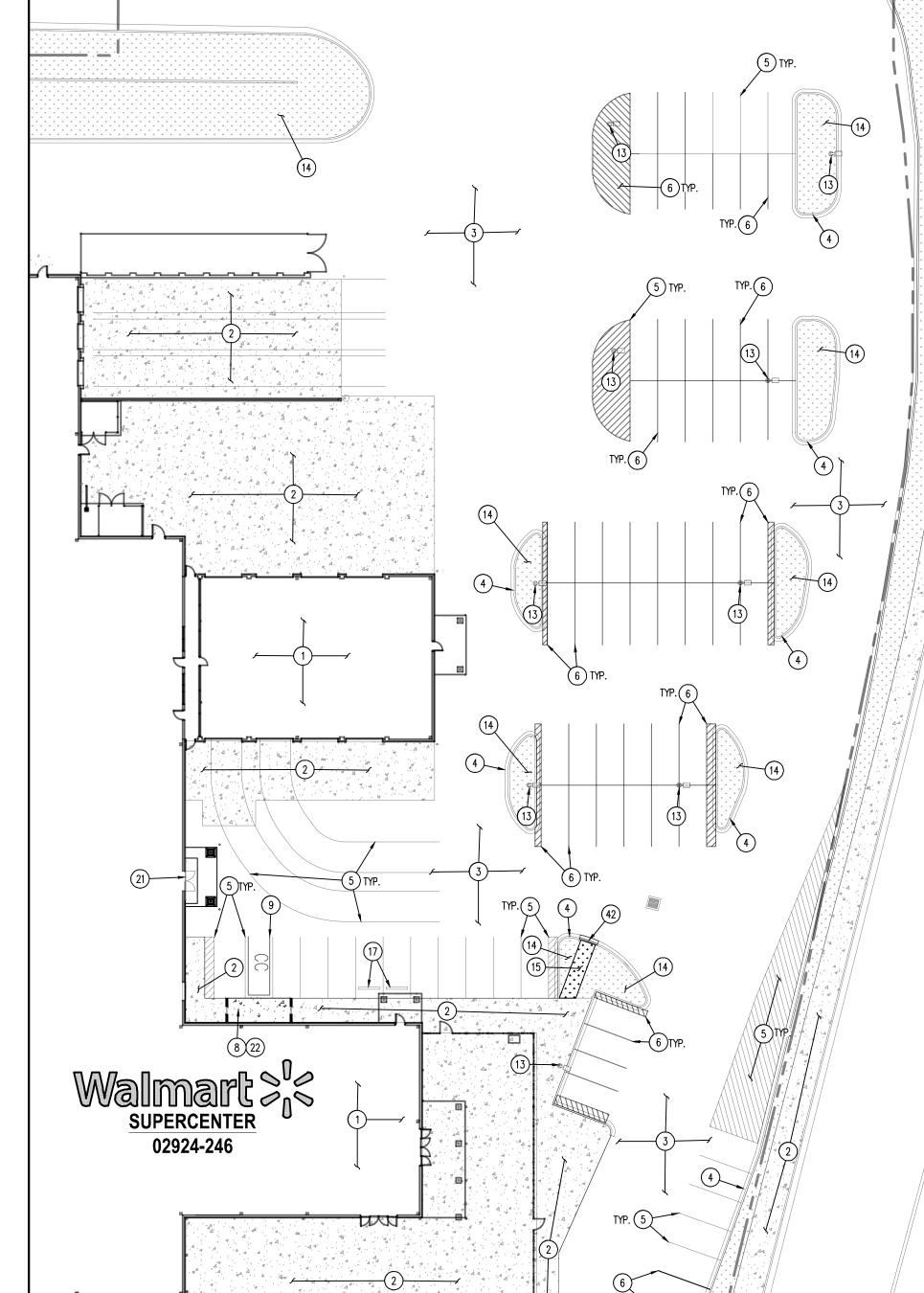
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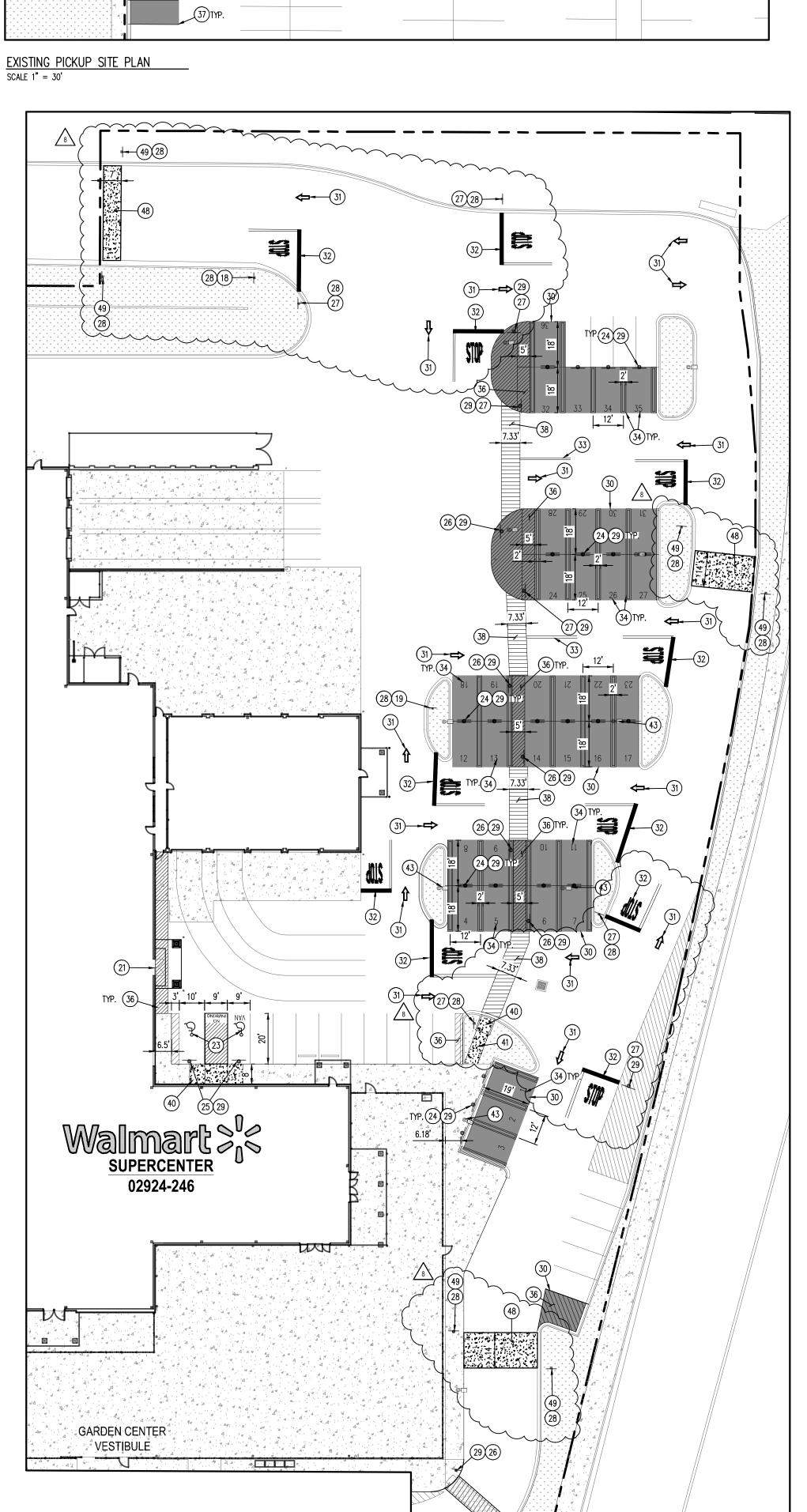
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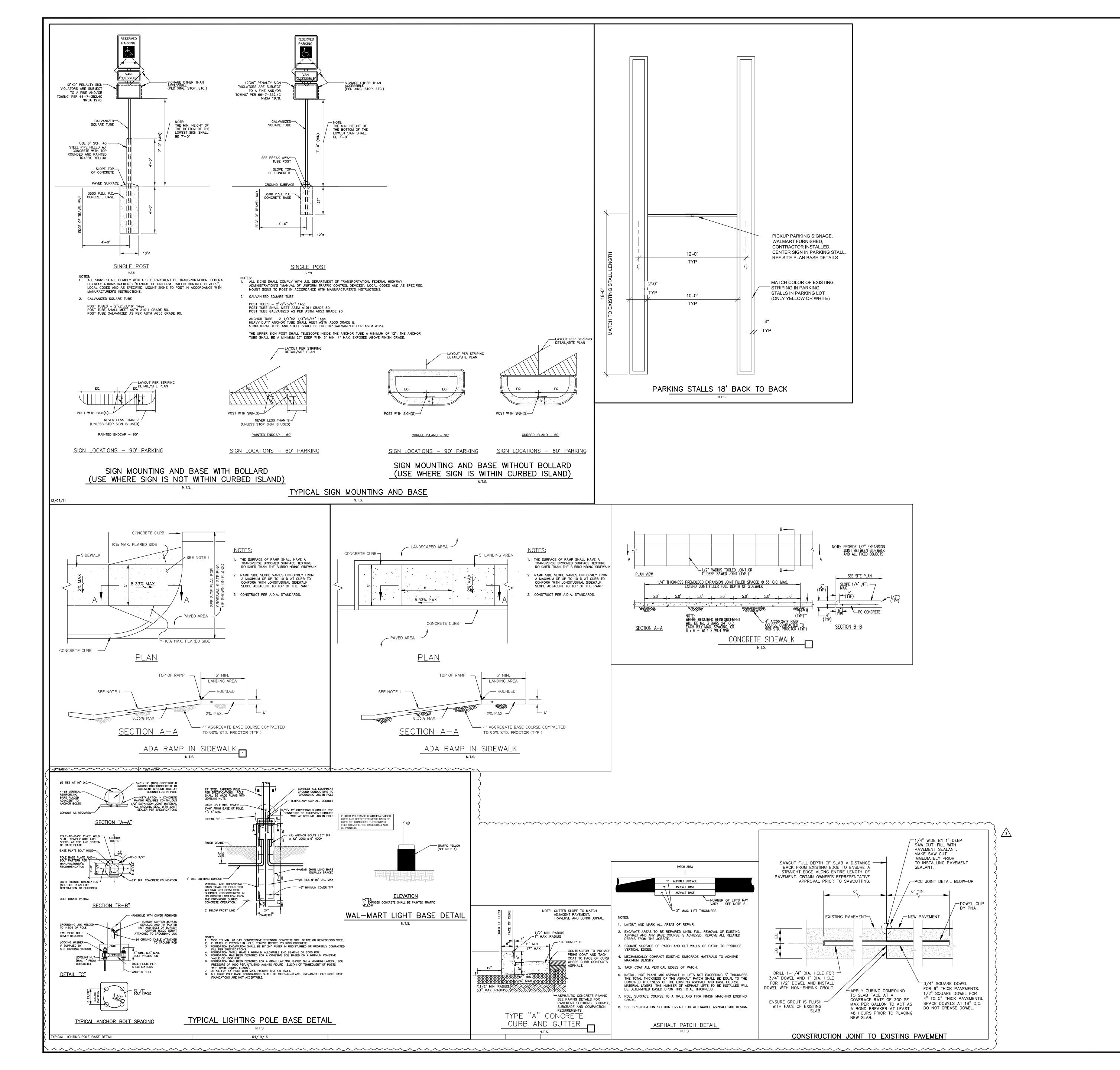
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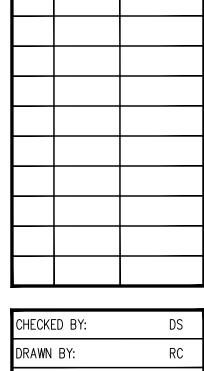


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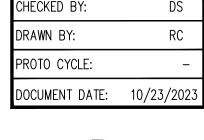
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SITE DETAILS

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