

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 23, 2024

Doug Staker, P.E.
Galloway
172 N East Promontory
Farmington, UT 84025

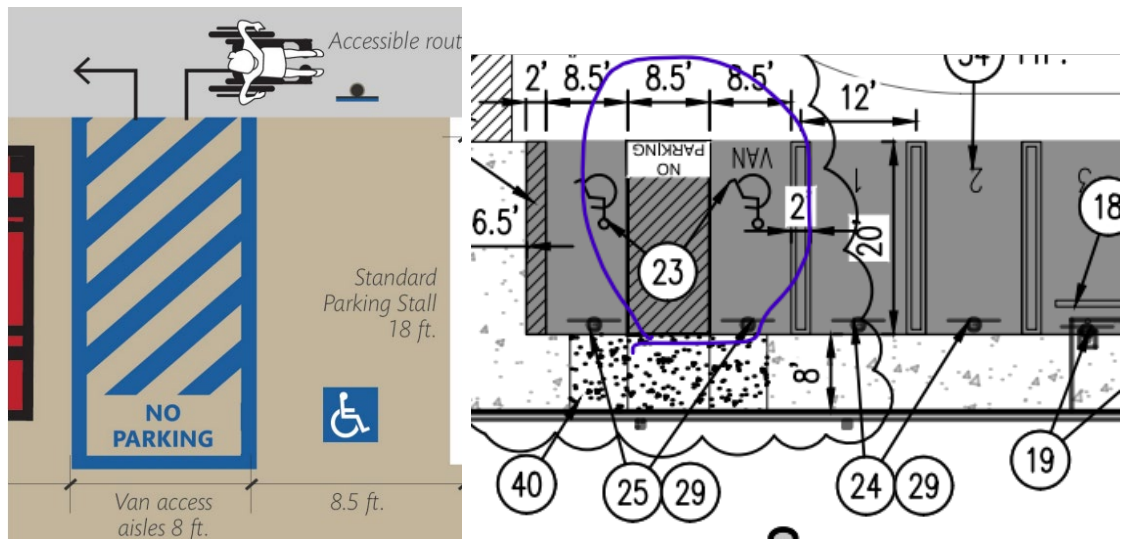
Re: Walmart
2550 Coors Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 02-20-24 (H11-D059)
Certification dated 12-17-24

Dear Mr. Staker,

Based upon the information provided in your submittal received 12-18-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978). An ADA aisle spot must be painted with blue stripes.



Once these corrections are complete, email pictures to malnajar@cabq.gov for release of Final CO.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long horizontal flourish extending to the right.

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

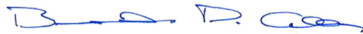
Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

TRAFFIC CERTIFICATION

I, BRANDON ALLEY, NMPE #25037 OF THE FIRM GALLOWAY & COMPANY, INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/12/2022. EDITS TO THE APPROVED PLANS DATED 02/20/2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DOUG STAKER OF THE FIRM GALLOWAY & COMPANY, INC. I FURTHER CERTIFY THAT A PROFESSIONAL ENGINEER UNDER MY DIRECT SUPERVISION VISITED THE PROJECT SITE ON 12/02/2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

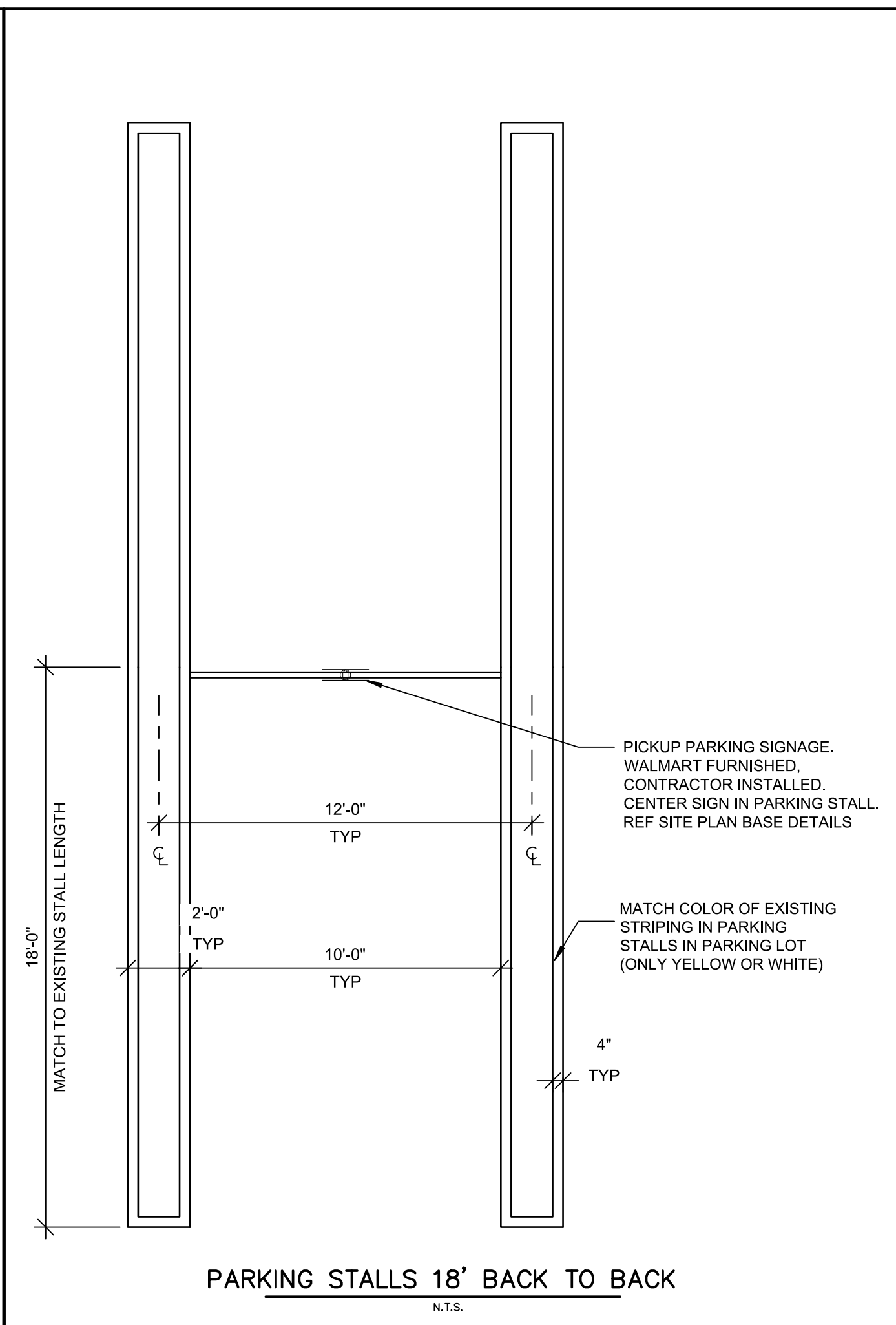
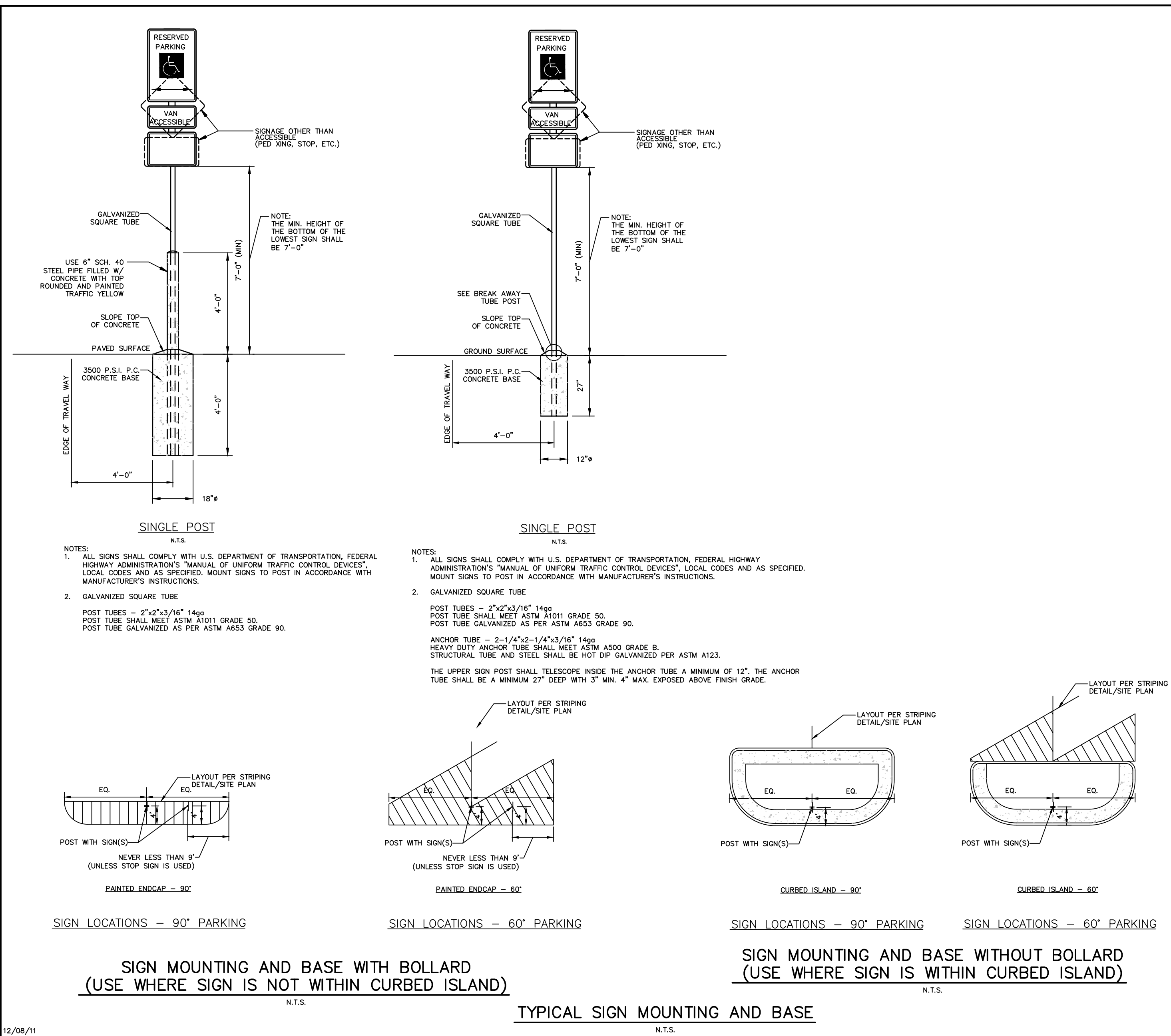


Signature of Engineer

12/17/2024

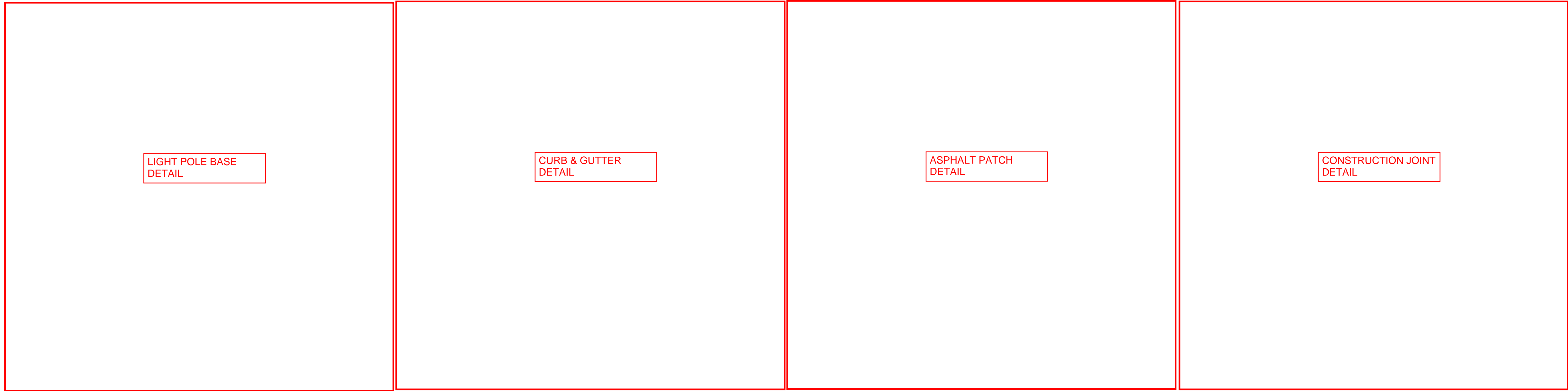
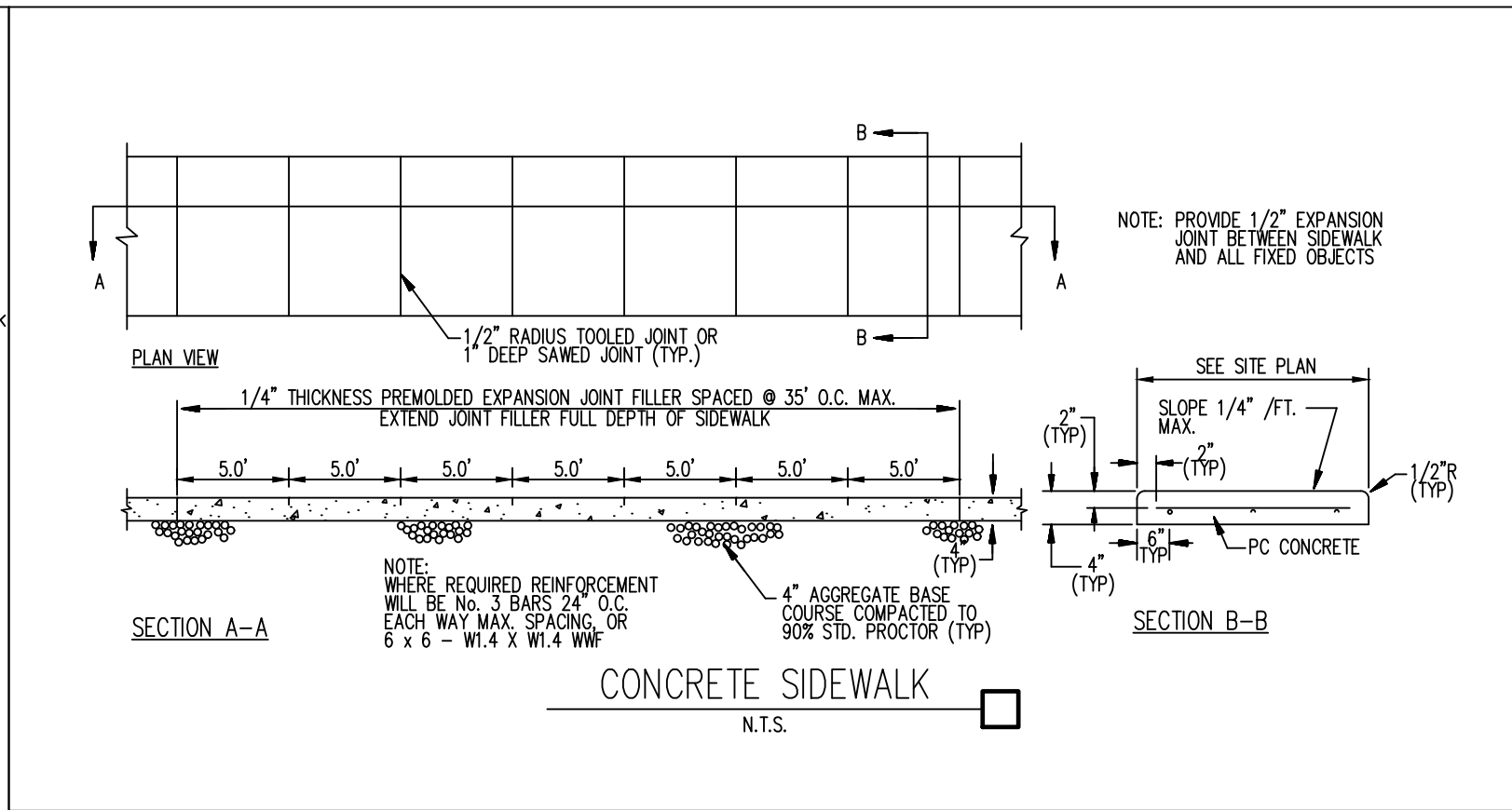
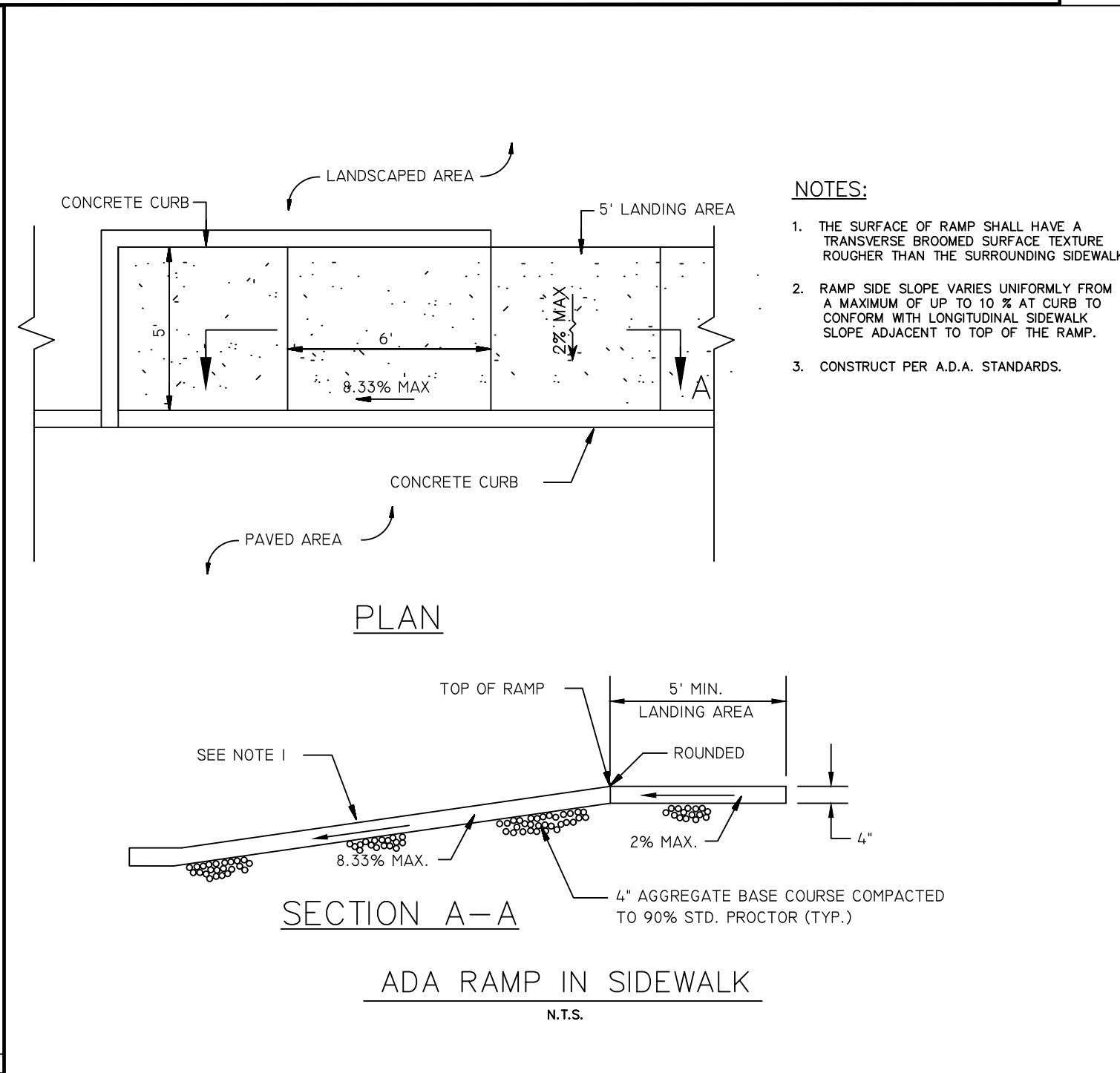
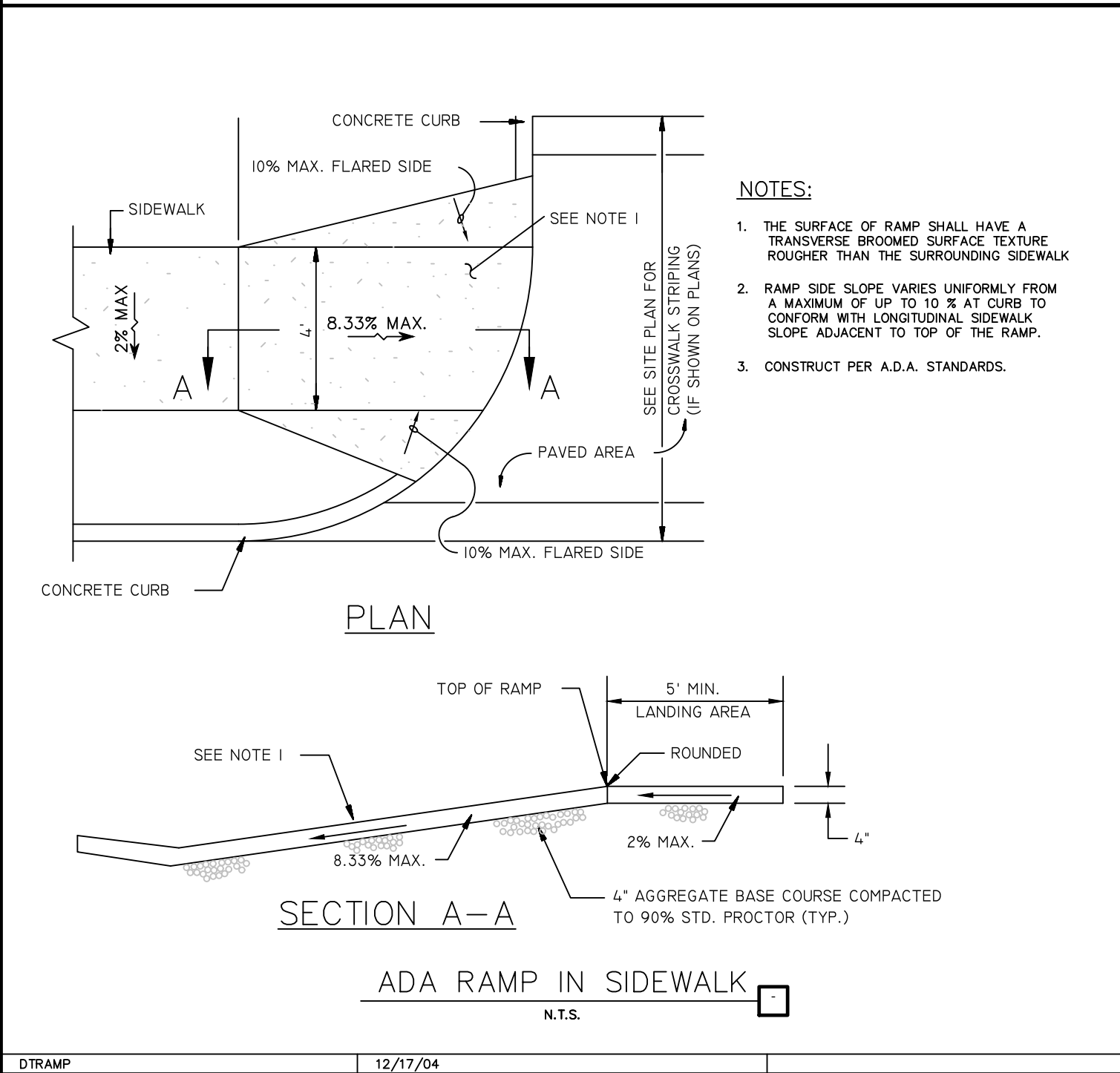
Date





TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo Signed 2/20/2024 Date



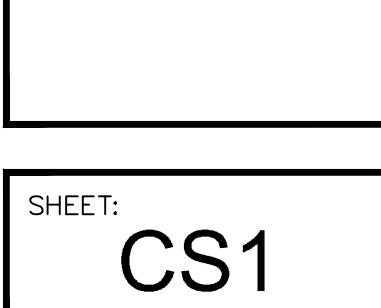
STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT A SPECIFIC DATE. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY US. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY US SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GALLOWAY US.

ISSUE BLOCK			

CHECKED BY: DS
DRAWN BY: RC
PROTO CYCLE: -
DOCUMENT DATE: 10/23/2023





SINGLE POST
N.T.S.

- NOTES:
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL CODES AND AS SPECIFIED MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. GALVANIZED SQUARE TUBE

POST TUBES - 2"x2"x3/16" 14ga

POST TUBE SHALL MEET ASTM A133 GRADE 50.

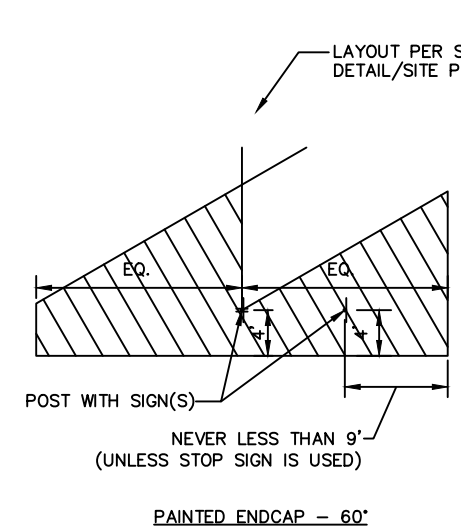
POST TUBE GALVANIZED AS TO ASTM A653 GRADE 90.

ANCHOR TUBE - 2-1/4"x1-1/4"x3/16" 14ga

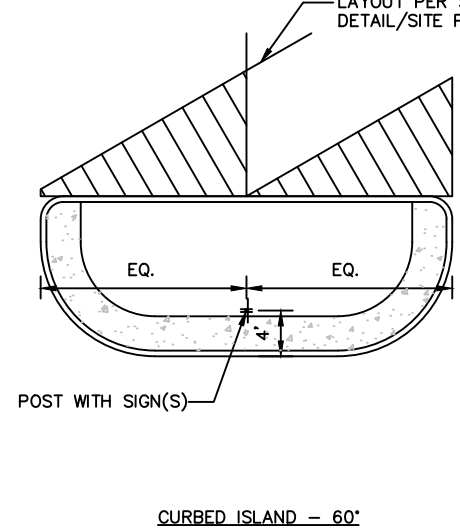
HEAVY DUTY ANCHOR TUBE SHALL MEET A500 GRADE B.

STRUCTURAL TUBE AND ANCHOR TUBE SHALL NOT BE GALVANIZED PER ASTM A123.

THE UPPER SIGN POST SHALL TELESCOPE INTO THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 2" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



SIGN LOCATIONS - 60' PARKING



SIGN LOCATIONS - 60' PARKING

SIGN MOUNTING AND BASE WITHOUT BOLLARD
(USE WHERE SIGN IS WITHIN CURBED ISLAND)

N.T.S.



N.T.S.

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT: ABOQUEQUE, IN CONJUNCTION WITH THIS ISSUE DATE ON 10/23/2023, AND IS NOT SUITABLE FOR USE ON ANY OTHER PROJECT SITE OR FOR ANY OTHER LAST PROJECT DATE. THIS DRAWING FOR REFERENCE OR FOR ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

Walmart*
ALBUQUERQUE, NM
2550 COORS BLVD.
STORE NUMBER: 02924-246

TO:

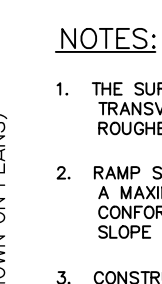
SUPERCENTER REMODEL

CHECKED BY:	DS
DRAWN BY:	RC
PROTO CYCLE:	-
DOCUMENT DATE:	10/23/2023

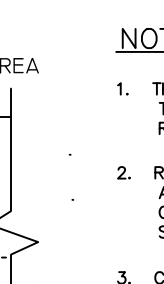


SITE DETAILS

SHEET: **CS4**

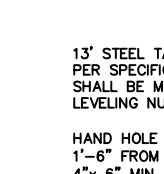




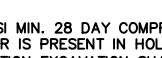


1

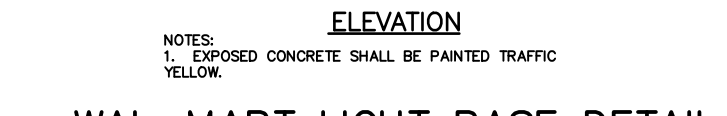




SECTION "B-B"



TYPICAL LIGHTING POLE BASE DETAIL



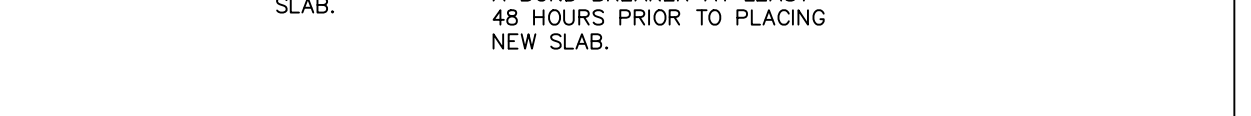
WAL-MART LIGHT BASE DETAIL



TYPE "A" CONCRETE



ASPHALT PATCH DETAIL



CONSTRUCTION JOINT TO EXISTING PAVEMENT