

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 5, 2022

Gina Kelly
SGA Design Group
1437 S. Boulder Ave. Ste. 550
Tulsa, OK 74119

RE: **Walmart #2924.246**
2550 Coors Blvd. NW
Grading and Drainage Plan
Engineers Stamp Date 2/25/2022 (H11D059)

Ms. Kelly,

Based upon the information provided in your resubmittal received 3/31/22, this plan is approved for Building Permit and Administrative Amendment PR-2021-006018.

PO Box 1293

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____



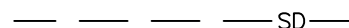


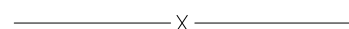
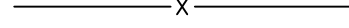

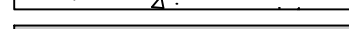












COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- | | PROPOSED SAWCUT LINE |
|---|---|
|  | EXISTING CURB AND GUTTER TO REMAIN |
|  | CURB AND GUTTER TO BE REMOVED |
|  | EXISTING STORM DRAIN PIPE |
|  | EXISTING STORM DRAIN PIPE TO BE REMOVED |
|  | EXISTING SANITARY SEWER PIPE |
|  | EXISTING GAS LINE TO REMAIN |
|  | EXISTING WATER LINE |
|  | EXISTING FENCE TO REMAIN |
|  | EXISTING FENCE TO BE REMOVED |
|  | EXISTING CONCRETE PAVING TO REMAIN |
|  | EXISTING CONCRETE PAVING TO BE REMOVED |
|  | EXISTING ASPHALT PAVING TO BE REMOVED |
|  | EXISTING LIGHT POST TO REMAIN |
|  | EXISTING LIGHT POST TO BE REMOVED |
|  | EXISTING WATER METER |
|  | EXISTING ROOF DRAIN TO BE REMOVED |
|  | EXISTING FIRE HYDRANT TO REMAIN |
|  | EXISTING IRRIGATION VALVE TO REMAIN |
|  | EXISTING IRRIGATION VAULT TO REMAIN |
|  | EXISTING INLET TO REMAIN |
|  | EXISTING ELECTRIC BOX TO REMAIN |

DEMOLITION SCHEDULE

- 1 EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT TO REMAIN.
- 3 EXISTING ASPHALT PAVEMENT TO REMAIN
- 4 EXISTING PARKING LOT STRIPING TO REMAIN.
- 5 EXISTING CURB AND GUTTER TO REMAIN.
- 6 EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 7 EXISTING FIRE HYDRANT TO REMAIN.
- 8 EXISTING "NO PARKING FIRE LANE" STRIPING TO REMAIN.
- 9 EXISTING ASPHALT PAVING TO BE REMOVED.
- 10 EXISTING SIDEWALK RAMP TO BE REMOVED.
- 11 EXISTING CONCRETE PAVING TO BE REMOVED.
- 12 PROPOSED SAMCUT LINE.
- 13 EXISTING CURB AND GUTTER TO BE REMOVED.
- 14 EXISTING SITE TREE TO REMAIN.
- 15 EXISTING SITE TREE TO BE REMOVED AND REPLACED IN KIND PER CITY STANDARDS AND SPECIFICATIONS.
- 16 EXISTING STORM INLET TO REMAIN.
- 17 EXISTING BUILDING OVERHANG TO REMAIN.
- 18 EXISTING SITE FENCE TO REMAIN.
- 19 EXISTING SITE FENCE TO BE REMOVED.
- 20 EXISTING IRRIGATION VAULT TO REMAIN.
- 21 EXISTING IRRIGATION VALVE TO REMAIN.
- 22 EXISTING GARDEN CENTER STRUCTURE TO BE REMOVED (REF. ARCH. PLANS).
- 23 EXISTING ANGLED YELLOW PAVEMENT STRIPING TO REMAIN.
- 24 EXISTING SITE BOLLARD TO REMAIN.
- 25 EXISTING SITE BOLLARD TO BE REMOVED.
- 26 EXISTING SITE SIGN TO BE REMAIN.
- 27 EXISTING SITE SIGN TO BE REMOVED.
- 28 EXISTING WATER LINE TO REMAIN.
- 29 EXISTING STORM DRAIN LINE TO REMAIN.
- 30 EXISTING STORM DRAIN LINE TO BE REMOVED.
- 31 EXISTING ROOF DRAIN TO BE REMOVED.
- 32 EXISTING SITE LIGHT TO REMAIN.
- 33 EXISTING LIGHT POLE AND BASE TO BE REMOVED AND RELOCATED.
- 34 EXISTING GAS LINE TO REMAIN.
- 35 EXISTING UNDERGROUND ELECTRIC TO REMAIN.
- 36 EXISTING ELECTRIC BOX TO REMAIN.
- 37 EXISTING WATER METER TO REMAIN.
- 38 EXISTING CONCRETE PLANTER TO BE REMOVED.
- 39 EXISTING CONCRETE PLANTER TO REMAIN.
- 40 EXISTING CONCRETE PARKING CHOCK TO REMAIN.

BASIS OF BEARINGS:

REFERENCE FRAME: NAD83/93 (2011) (EPOCH:2010.00000)
 ZONE: MODIFIED U.S. STATE PLANE NEW MEXICO CENTRAL
 VERTICAL DATUM: NAV888 (COMPUTED USING GEOID 18)
 GRID TO GROUND SCALE FACTOR 1.003209020
 ORIGIN OF SCALE: 1
 N= 1495624.99
 E= 1507456.68
 (N35° 06'36.01321", WIDE41°40.47592")
 CITY OF ALBUQUERQUE BENCHMARK "SMW-7", 3 1/2" ALUMINUM CAP STAMPED
 "SMW-7, 2005"
 ELEVATION USED FOR SCALE: 5110.15
 CONVERGENCE: - 0° 15' 20.50"
 ALL DISTANCES ARE GROUND DISTANCES
 UNITS ARE U.S. SURVEY FEET

Galloway
8162 S. Williams Drive, Suite 220
Greenwood Village, CO 80111

ALBUQUERQUE, NM
DATE ON 09/08/2021, AND IT IS NOT
CONTEMPORANEOUSLY WITH ITS ISSUE
DATE ON 09/08/2021, AND IT IS NOT
SUITABLE FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER TIME.
USE OF THIS DRAWING FOR REFERENCE
OR EXAMPLE ON ANOTHER PROJECT
REQUIRES THE SERVICES OF PROPERLY
LICENSED ARCHITECTS AND ENGINEERS.
REPRODUCTION OF THIS DRAWING FOR
USE ON ANOTHER PROJECT IS NOT
AUTHORIZED AND MAY BE CONTRARY
TO THE LAW.



Wal-Mart
ALBUQUERQUE, NM
2550 COORS BLVD. NW
STORE NO: 02924-246
JOB NUMBER:SGA002924.20 PROTO:MFC ENHNCMNT

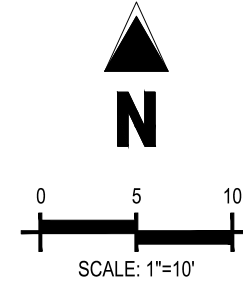
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













ED BY:	BDA
BY:	DMH
CYCLE:	06/25/2021
ENT DATE:	09/08/2021

DEMOLITION PLAN

C1.0



LEGEND

- | | |
|---|------------------------------|
|  | PROPOSED SAWDUST LINE |
|  | EXISTING CURBS AND GUTTER |
|  | PROPOSED CURB AND GUTTER |
|  | EXISTING STORM DRAIN PIPE |
|  | PROPOSED STORM DRAIN PIPE |
|  | EXISTING SANITARY SEWER PIPE |
|  | EXISTING GAS LINE |
|  | EXISTING WATER LINE |
|  | EXISTING FENCE TO REMAIN |
|  | PROPOSED FENCE |
|  | EXISTING CONCRETE PAVING |
|  | PROPOSED CONCRETE PAVING |
|  | PROPOSED ASPHALT PAVING |
|  | EXISTING LIGHT POST |
|  | PROPOSED LIGHT POST |
|  | EXISTING WATER METER |
|  | PROPOSED INLET |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING IRRIGATION VALVE |
|  | EXISTING IRRIGATION VAULT |
|  | EXISTING INLET |
|  | EXISTING ELECTRIC BOX |

SCHEDULE

- 1 PROPOSED MUTCO ARROW PAVEMENT MARKINGS (REF. DETAIL SHEET).
- 2 PROPOSED SIDEWALK FLUSH WITH ASPHALT PAVING.
- 3 PROPOSED CURB AND GUTTER (REF. DETAIL SHEET).
- 4 PROPOSED 30"x30" STOP SIGN (REF. DETAIL SHEET).
- 5 PROPOSED 4" SOLID YELLOW PAINTED STRIPES AT 45° ± 2'-0" O.C.
- 6 PROPOSED R1-50 "STOP HERE FOR PEDESTRIANS" SIGNAGE.
- 7 PROPOSED RELOCATED SITE LIGHT ON NEW LIGHT POLE BASE (REF. DETAIL SHEET FOR BASE DETAIL). CONTRAST TO THE NEW ELECTRICAL IN TO EXISTING.
- 8 PROPOSED 4" SOLID WHITE PAINTED STRIPES AT 45° ± 2'-0" O.C.
- 9 PROPOSED MFC OVERHEAD TOWER RAILING (REF. ARCH. PLANS).
- 10 PROPOSED CANOPY AND COLUMNS (REF. ARCH. PLANS).
- 11 PROPOSED ASPHALT PAVEMENT (REF. DETAIL SHEET).
- 12 PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. DETAIL SHEET).
- 13 PROPOSED FENCE (REF. ARCH. PLANS).
- 14 PROPOSED VAN PICKUP STALL.
- 15 PROPOSED BOX TRUCK STALL.
- 16 PROPOSED HEADACHE BAR (REF. ARCH. PLANS).
- 17 PROPOSED 4" WHITE PAINTED LANE STRIPING.
- 18 PROPOSED SAWCUT.
- 19 PROPOSED THRU OPEN ARROW PAVEMENT MARKINGS.
- 20 PROPOSED MFC TOWER (REF. ARCH. PLANS).
- 21 PROPOSED SIGN MOUNTING WITH BOLLARD POST (REF. DETAIL SHEET).
- 22 PROPOSED MFC TURNING TOWER (REF. ARCH. PLANS).
- 23 PROPOSED SITE BOLLARD (REF. SITE DETAILS).
- 24 PROPOSED STORM DRAIN LINE.
- 25 PROPOSED STORM INLET.
- 26 PROPOSED STOP BAR PAVEMENT MARKING (REF. SITE DETAILS).
- 27 PROPOSED "DO NOT ENTER SIGN" (REF. SITE DETAILS).
- 28 PROPOSED CURB AND GUTTER (CONTRAST TO ZERO CURB ALONG THIS DISTANCE).
- 29 PROPOSED 4" DIAMETER STORM MANHOLE.
- 30 NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO CURB AND 30"x30" (1)-6" WHITE STRIPES PERPENDICULAR TO BOTH ENDS UNLESS NOTED OTHERWISE.
- 31 PROPOSED ADA RAMP (REF. SITE DETAILS).
- 32 PROPOSED WATER QUALITY RAIN GARDEN (REF. GRADING & DRAINAGE PLAN).
- 33 0" to 6" CURB TRANSITION.

BASIS OF BEARINGS:

REFERENCE FRAME: NAD1983 (2011) (EPOCH:2010.00000)
 ZONE: MODIFIED U.S. STATE PLANE NEW MEXICO CENTRAL
 ORIGINAL DATUM: NAVD83 (COMPUTED USING GEOID 18)
 GRID TO GRID SCALE FACTOR 1.003209020
 GRID DATUM SCALE:
 N= 1495624.99
 E= 1507456.68
 (N35° 06'36.01321", W106°44'40.47592")
 CITY OF ALBUQUERQUE BENCHMARK "SMW-7, 3 I" ALUMINUM CAP STAMPED
 "SMW-7, 2005"
 ELEVATION USED FOR SCALE: 5110.15'
 CONVERGENCE: -0° 15' 20.52"
 ALL DISTANCES ARE GROUND DISTANCES
 UNITS ARE U.S. SURVEY FEET

CAUTION – NOTICE TO CONTRACTOR

3. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANIES AND FIELD SURVEY EVIDENCE AT THE TIME OF SURVEY AND IT TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES TO BE NOTIFIED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.
4. CALL 1-800-424-5555 BEFORE YOU DIG.



022 MAJOR PROJECT

UE BLOCK		

[illegible]

BOOKED BY: B1

OWN BY: _____ DN _____

TO CYCLE: 06/25/20

DOCUMENT DATE: 09/08/20

SITE PLAN

EET:

C1.1

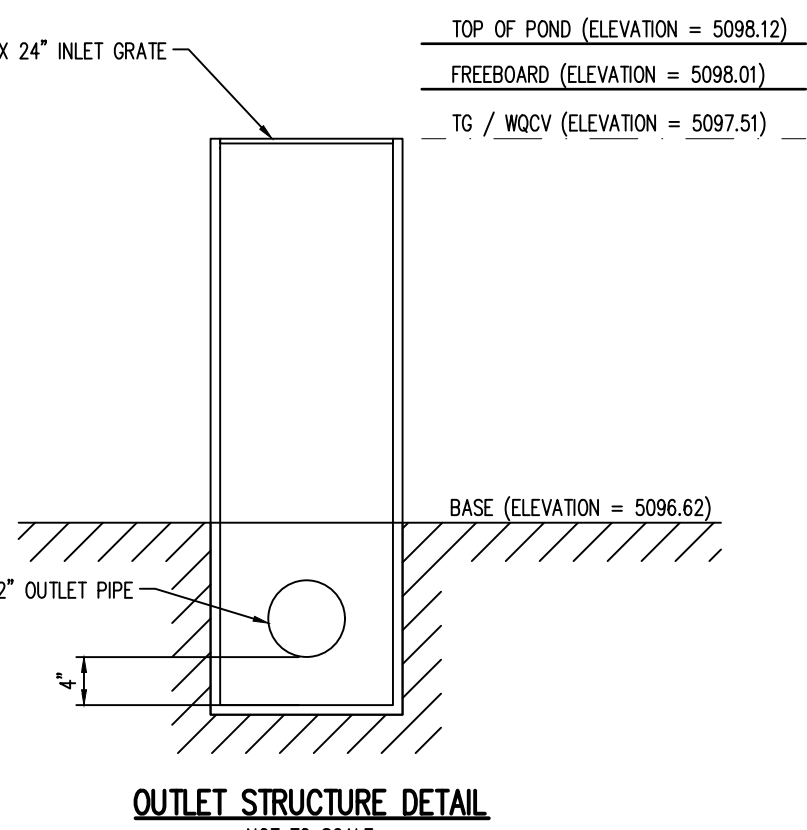
A

B

C



GRADING LEGEND	
	PROPERTY BOUNDARY LINE
	PROPOSED SANICUT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	TOP OF SIDEWALK
	PROPOSED FLOWLINE ELEVATION
	FINISHED FLOOR ELEVATION
	FINISHED GRADE
	MATCH EXISTING
	BOTTOM OF RAMP
	TOP OF RAMP
	TOP OF GRATE
	HIGH POINT
	EXISTING SLOPE
	PROPOSED SLOPE
	BASIN DESIGNATION
	E (ft)
	100-YR PEAK FLOW (CFS)
	PROPOSED DRAINAGE DESIGN POINT



EXISTING DRAINAGE:

THE SITE IS CURRENTLY DEVELOPED AND CONSISTS OF A WALMART AND ASSOCIATED PARKING. THE SITE MOSTLY CONSISTS OF ASPHALT, CONCRETE SIDEWALKS, AND SOME LANDSCAPING. PLEASE REFER TO THE EXISTING AND PROPOSED AREA TABLES ON THIS SHEET FOR PRECISE LAND TYPE DELINEATION.

EXISTING AREA TO BE REMOVED	
IMPERVIOUS AREA (SF)	33672
LANDSCAPE AREA (SF)	1607
TOTAL AREA (SF)	35279

PROPOSED AREA	
IMPERVIOUS AREA (SF)	31625
LANDSCAPE AREA (SF)	3654
TOTAL AREA (SF)	35279

BASIS OF BEARINGS:

REFERENCE FRAME: NAD1983 (2011) (EPOCH:2010.0000)
ZONE: MODIFIED U.S. STATE PLANE NEW MEXICO CENTRAL
VERTICAL DATUM: NAVD83 (COMPUTED USING GEOID 18)
GRID TO GROUND SCALE FACTOR 1.003209020
ORIGIN OF SCALE:
N= 1455624.99
E= 1507456.68
(N35° 06'36.01321", W106°41'40.47592")
CITY OF ALBUQUERQUE BENCHMARK "SMW-7", 3" ALUMINUM CAP STAMPED "SMW-7, 2005"
ELEVATION USED FOR SCALE: 5110.15'
CONVERGENCE: -0° 15' 20.52"
ALL DISTANCES ARE GROUND DISTANCES
UNITS ARE U.S. SURVEY FEET

SWPPP NOTE:

CONTRACTOR SHALL PREVENT ANY EROSION AND/OR SEDIMENTATION TRANSPORT FROM BEING RELEASED FROM THE REPAIR AREAS THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL UTILIZE BMP'S (STRAW MATS, SILT DIKE ON PAVEMENT, ETC.) AS NECESSARY TO PREVENT RUNOFF FROM THE REPAIR AREAS.

NOTES:

- ELEVATIONS ON THIS PLAN MAY BE EXPRESSED WITH THE FIRST TWO DIGITS TRUNCATED, ADD 5000 TO THESE ELEVATIONS.
- ALL GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- ALL PEDESTRIAN SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE OR 5% LONGITUDINAL.
- CONTRACTOR TO INSTALL ROOF DRAINS THAT SPLASH TO GRADE ALONG BUILDING EXPANSION PER ARCHITECTURAL PLANS.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Galloway

STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR THE PROJECT OF THE CITY OF ALBUQUERQUE, NM. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF GALLOWAY. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF GALLOWAY IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GALLOWAY.

BRANDON ALLEY
25037
PROFESSIONAL ENGINEER
02/25/2022

Walmart
ALBUQUERQUE, NM
2550 COORS BLVD. NW
STORE NO.: 02924-246
JOB NUMBER: SCA02924.20 PHOTO: MFC ENTIREMENT

2022 MAJOR PROJECT

ISSUE BLOCK

CHECKED BY: BDA
DRAWN BY: DMH
PROTO CYCLE: 06/25/2021
DOCUMENT DATE: 09/08/2021

DRAINAGE
PLAN

SHEET:
C2.2

OVERALL GRADING PLAN
APPROX. 1" = 10'