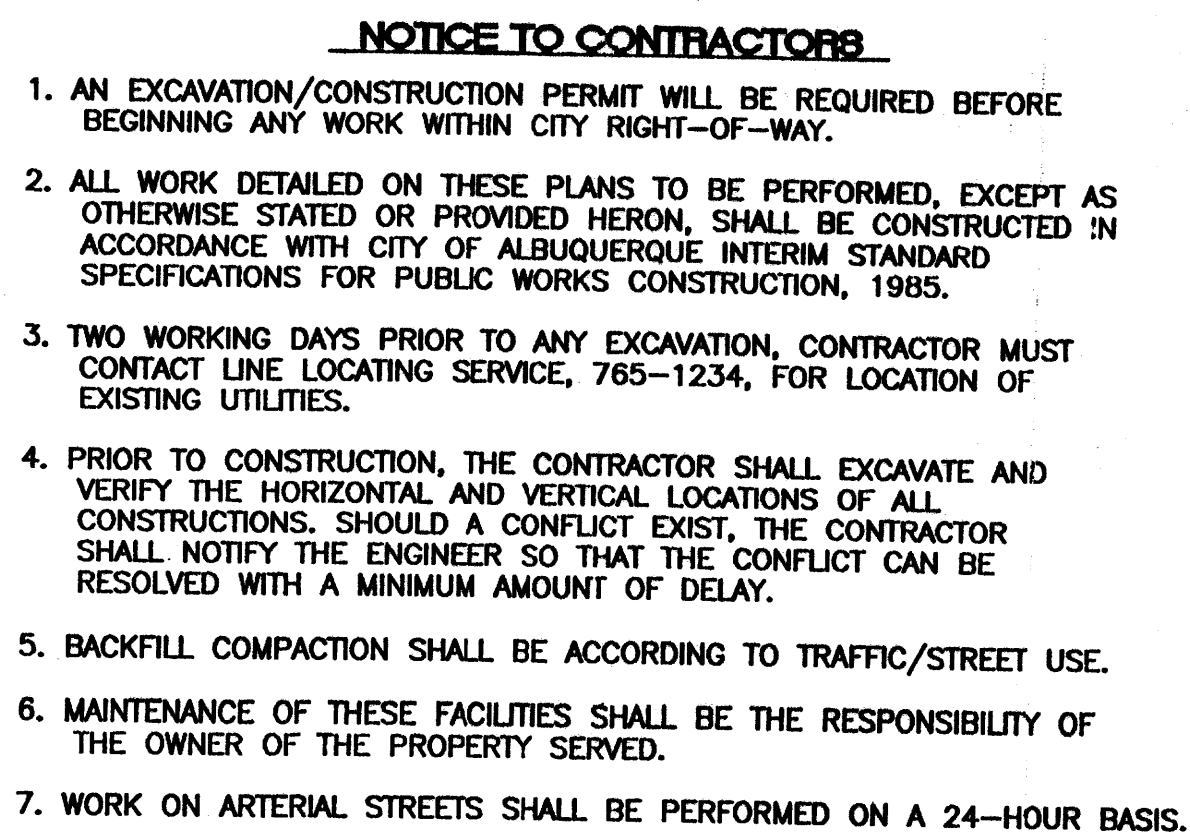
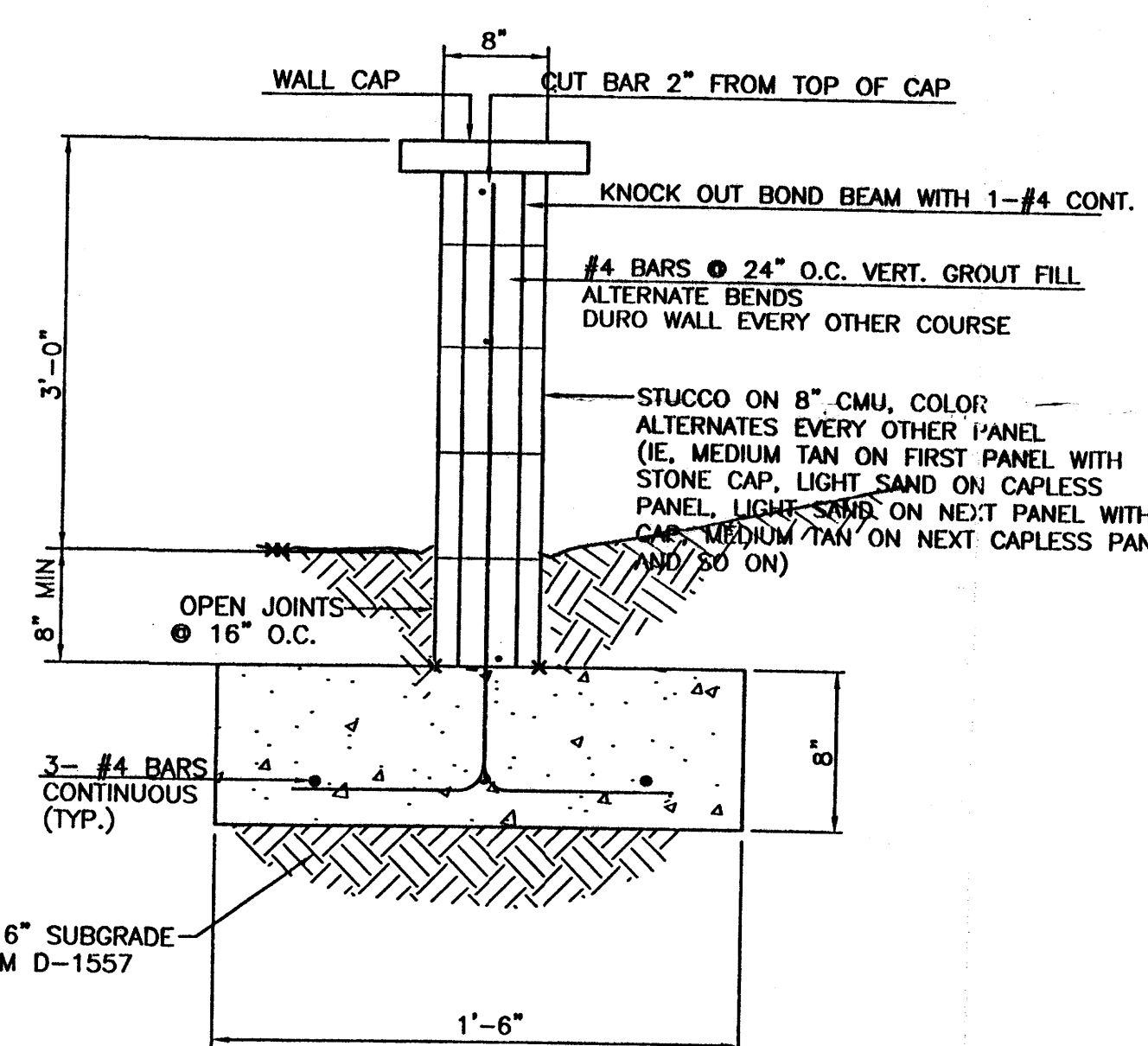


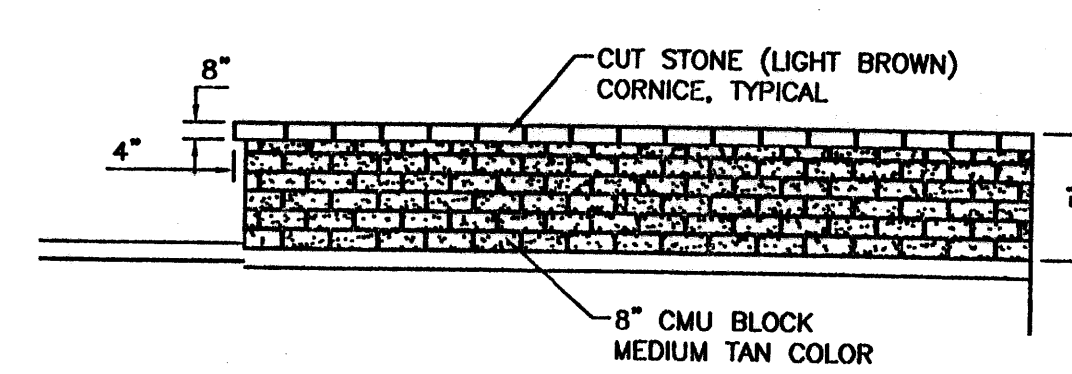


The diagram illustrates the cross-section of a concrete sidewalk. The top layer is a 2" thick concrete slab. Below this is a 4" base course, which is compacted 95% ASTM D1557 per geotechnical recommendations. The bottom layer is a 5" PCC (Pneumatically Applied Concrete) layer, also per geotechnical recommendations. The sidewalk is 10' to 6' wide, with a 1' wide curb on each side. The base course is 8' to 4' wide. A match pavement line is indicated on the right side.

SCALE: 1/2"=1'

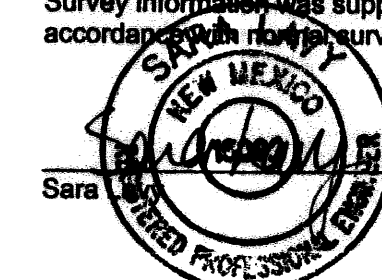


NTS

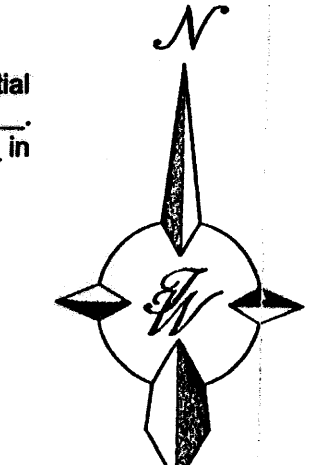


NIS

FINAL
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 10/30/01. Survey information was supplied by Precision Surveys in accordance with normal surveying practices.



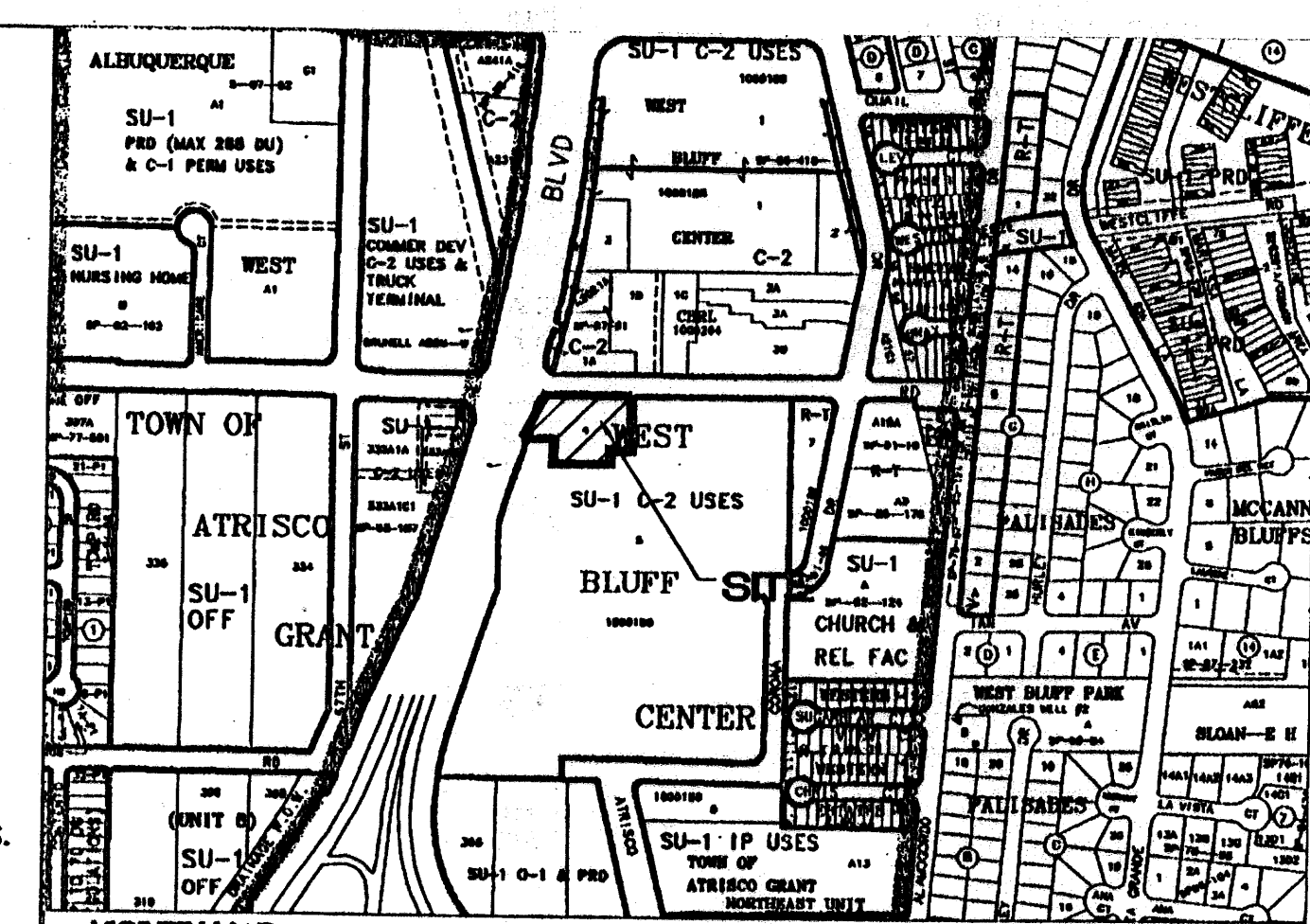
9/27/02



GRAPHIC SCALE

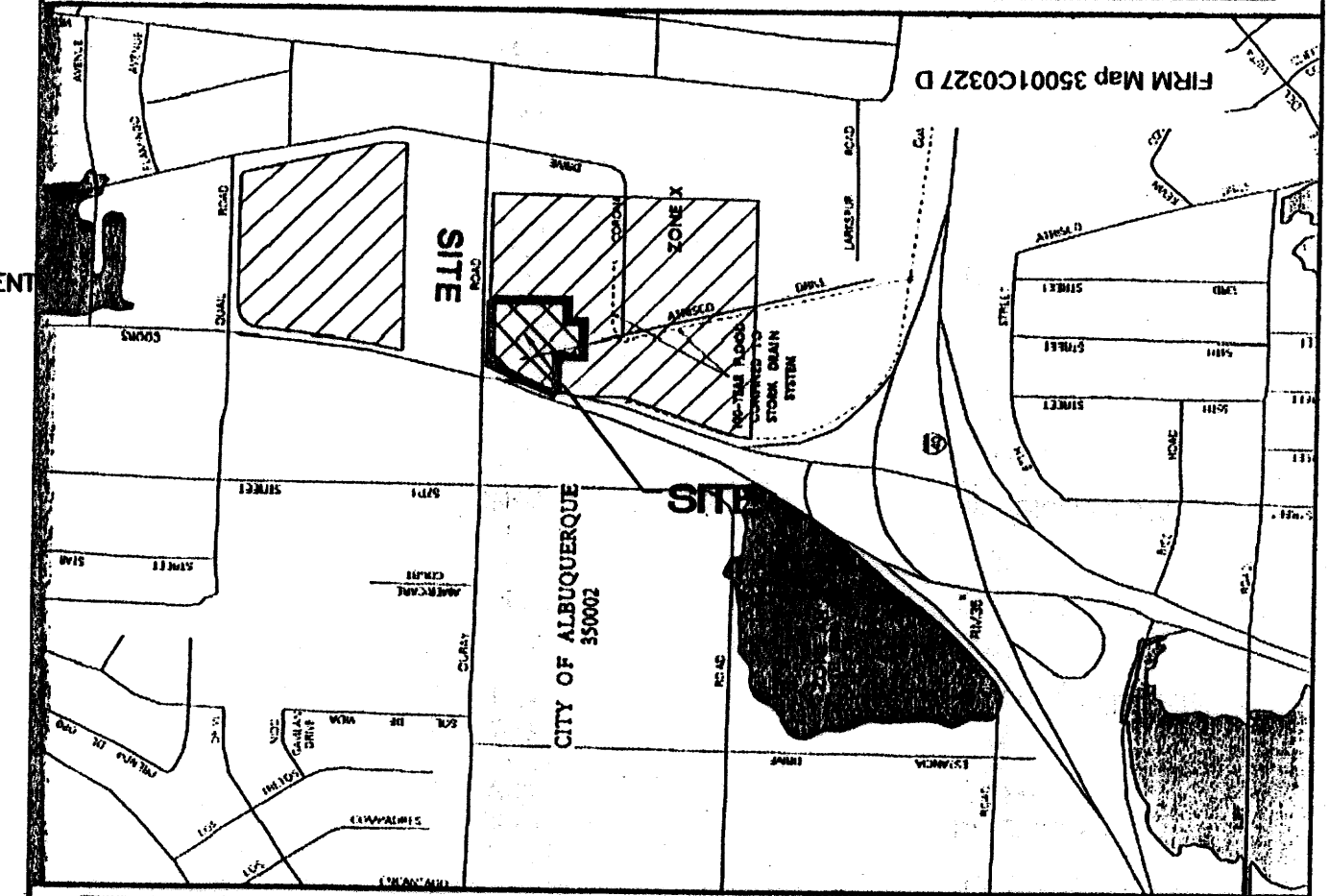
20 10 0 10 20

SCALE: 1"=20'



YENIDYMA

11-12

**FEMA MAP:**

3500/C0327C

LEGAL DESCRIPTION:

TRACT 4 WEST BLUFF SUBDIVISION

H

- NOTES:**
1. ALL SPOT ELEVATION ARE FLOWLINE UNLESS OTHERWISE NOTED.
 2. CONTOUR LINES REPRESENT TOPOGRAPHY BEFORE ROUGH GRADING ACCURRED. WITH THE ROUGH GRADING, THE ELEVATIONS ARE WITHIN 0.10 FEET OF PROPOSED ELEVATIONS SHOWN ON THIS SHEET.
 3. REFER TO THE GEOTECH REPORT ON FILE WITH THE ARCHITECTS, FOR ALL GROUND WORK.
 4. SEE SHEET 1 FOR PAVEMENT SECTIONS.

PAD NOTE:
OVER EXCAVATION OF THE PAD AREA WILL BE REQUIRED
AS PER THE GEOTECH REPORT ON FILE WITH THE ARCHITECT
THIS MAY REQUIRE ADDITIONAL IMPORT OF LEAN FILL
MATERIAL.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

RECEIVED
SEP 27 2002
DATE
HYDROLOGY SECTION

**ENGINEER'S
SEAL**



**RONALD R. BOHANNAN
P.E. #7868**

CHILI'S AT WEST BLUFF

GRADING AND DRAINAGE PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 10/31/01
CHILISGrA.DWG
SHEET #
3
JOB # 000003-2 1013

* PARKING REQUIRED
SEATING: (1 PER 4) = 80



SCALE: 1/2"=1'

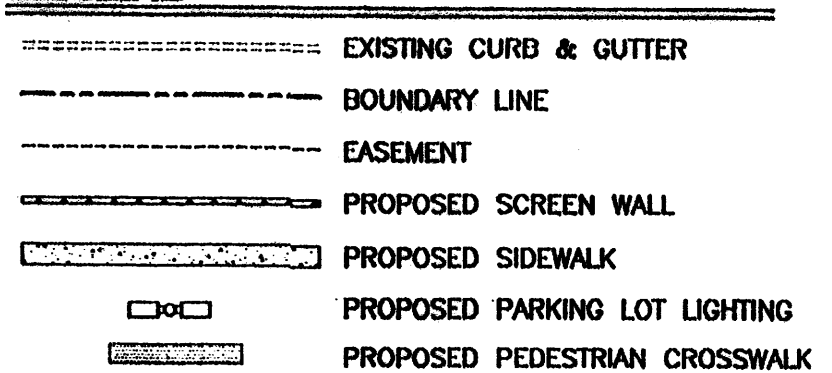

$$1^n = 1$$

$$- = 1'$$

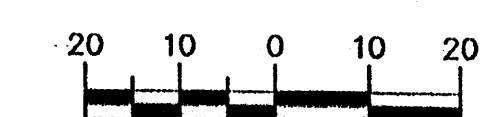

" = 1" DESIGNATED BY

All surface paving, curb, striping and traffic signs shall be in place and inspected by the Designer of Record prior to request for C. O. is requested.

LEGEND



GRAPHIC SCALE



SCALE: 1"=20'



GENERAL NOTES:

1. TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING.
2. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
3. CROSS ACCESS EASEMENTS HAVE BEEN FILED ON OCTOBER 2nd, BK-A10, PG-70B2.
4. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
5. ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
6. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
7. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
8. ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
9. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75'. ALL LIGHT STANDARDS TO BE LIMITED TO 16' IN HEIGHT.
10. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)
11. ALL LIGHTING FIXTURES SHALL BE FULL CUT OFF DESIGN TO MINIMIZE FUGITIVE LIGHT. FIXTURE LENSES SHALL NOT PROTRUDE BELOW THE FIXTURE HOUSING.

12. SEE SHEET 5 FOR DETAILS
PROJECT # 100188
DOB 02500-00000/00000

CASE NUMBER: Z - 99 - 38 DRB 91-030

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on January 11, 1998, and that the findings and conditions in the Official Notice; Notification of Decision have been complied with;

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division 3-26
Date

Adrienne E. Cardelino 2/11/11

Parks and Recreation
David R. ...
Date
3/2

Public Works, Water Utilities Division

Bradley L. Bingham 3/26
City Engineer, Engineering Division / AMA/EOA

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by 41

Development Process Manual.

City/Planner, Albuquerque / Bernalillo

County Planning Division

Shirley Ann Simon 4-11-01
Solid Waste

PLNZ (10706) 4/96

ALBUQUERQUE
BUILDING & SAFETYALBUQUERQUE
BUILDING & SAFETY

APR 18 2002

PLAN CHECKED 27

SECTION

ENGINEER'S
SEAL



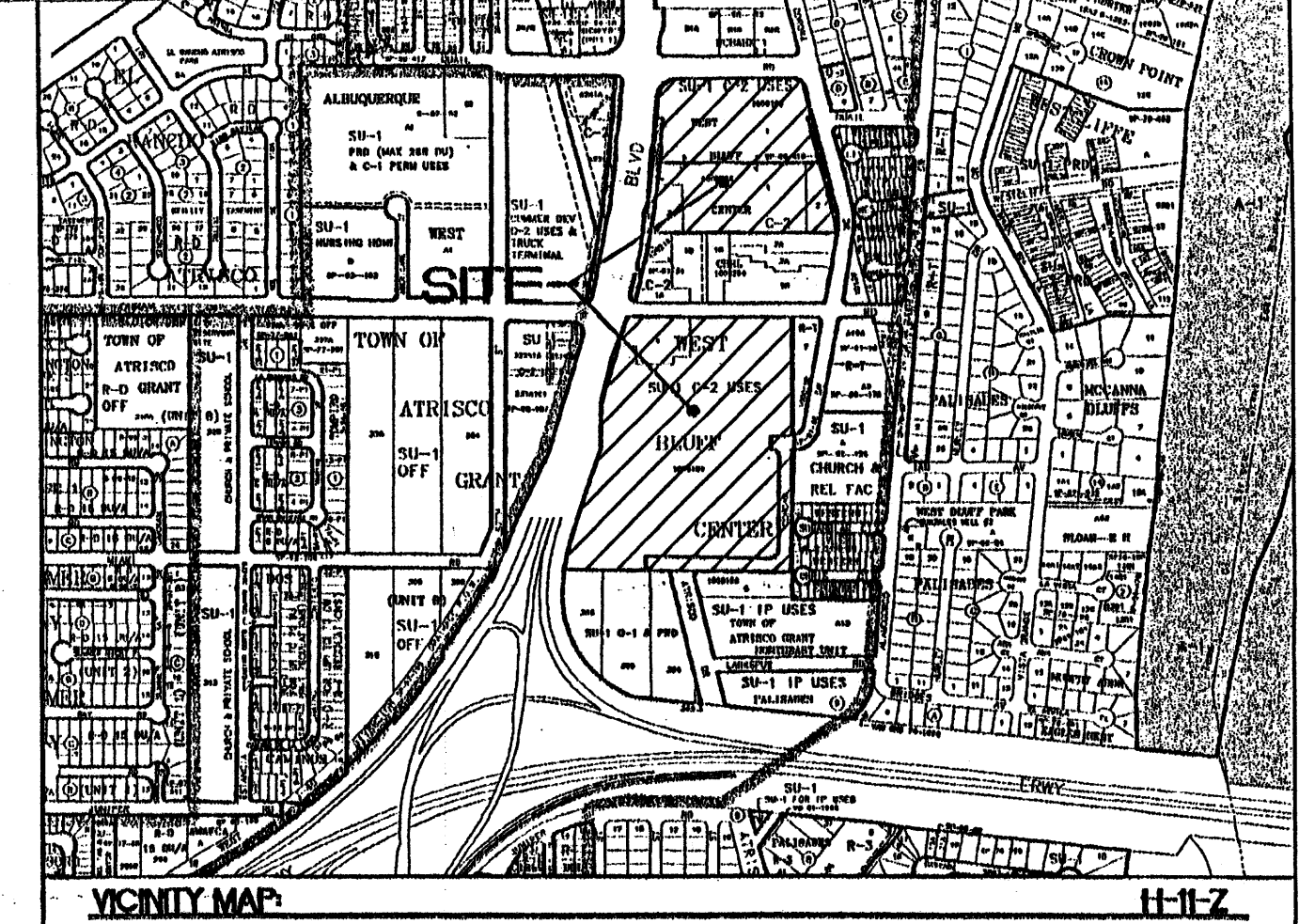
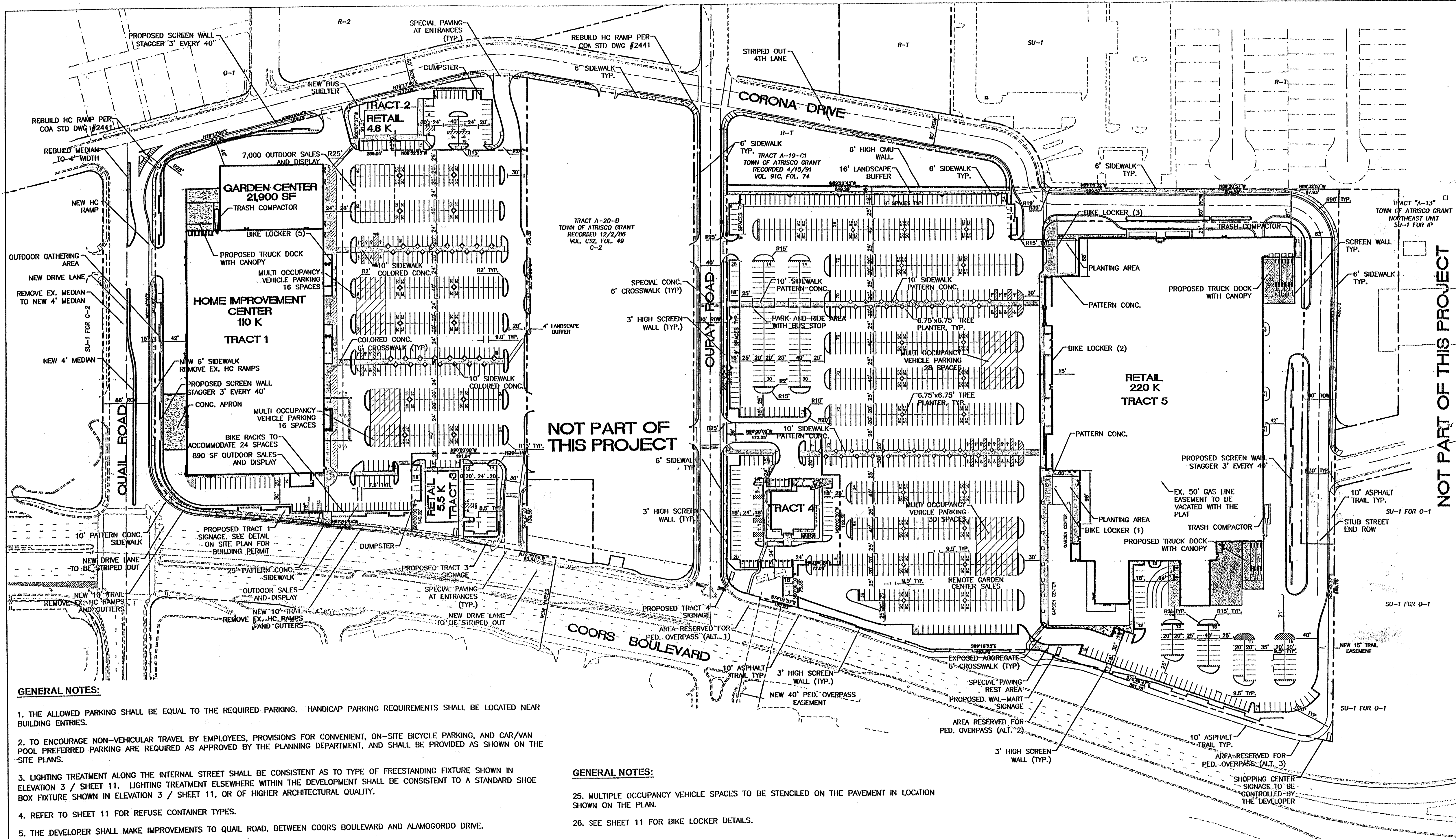
RONALD R. BOHANNAN
P.E. #7868

CHILI'S AT
WEST BLUFF

SITE PLAN FOR
BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

SECTION	DRAWN BY BDG
	DATE 01/22/02
	CHILISSP.DWG
	SHEET # 1
	JOB # 88006371013



LEGAL DESCRIPTION:
TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°36'56"	28.91
C2	33.69	306.62	06°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	136.00	14°27'18"	17.25
C5	33.18	25.00	76°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	36.31	150.00	13°52'08"	18.24
C8	34.73	136.00	14°38'00"	17.46

SITE DATA TABLE

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	5,771	RESTAURANT	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

*** OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION**

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	561	529	16	16	29
2	24	49	3	4	2
3	28	40	2	2	2
4	80*	80	4	5	1
5	1100	1108	21	24	55

LANDSCAPE DATA

TOTAL PARKING AREA FOR TRACTS 1, 2, & 3	152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,764 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,958 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,992 SF ±
LANDSCAPE PROVIDED	109,538 SF ±

- GENERAL NOTES:**
1. THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
 2. TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
 3. LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
 4. REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
 5. THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
 6. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
 7. CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
 8. SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
 9. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
 10. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
 11. "PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 12. ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 13. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
 14. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
 15. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
 16. BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQIA MAY REQUIRE A TIS AMENDMENT.
 17. ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
 18. EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
 19. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
 20. OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
 21. SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
 22. CHAIN LINK FENCING SHALL NOT BE USED.
 24. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

- GENERAL NOTES:**
25. MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
 26. SEE SHEET 11 FOR BIKE LOCKER DETAILS.

PROJECT # 100188
DRB 02500 - 00414/00415
EPC 01128 01533/01534

CASE NUMBER: Z - 99 - 38

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 01/11/02 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	3-26-02
<i>Adrienne E. Cardenas</i>	Date
Parks & General Services Department	4/11/02
<i>Adrienne E. Cardenas</i>	Date
Public Works, Water Utilities Division	3-26-02
<i>Brad L. Bifan</i>	Date
City Engineer, Engineering Division / AMAFCA	3-26-02
<i>Brad L. Bifan</i>	Date

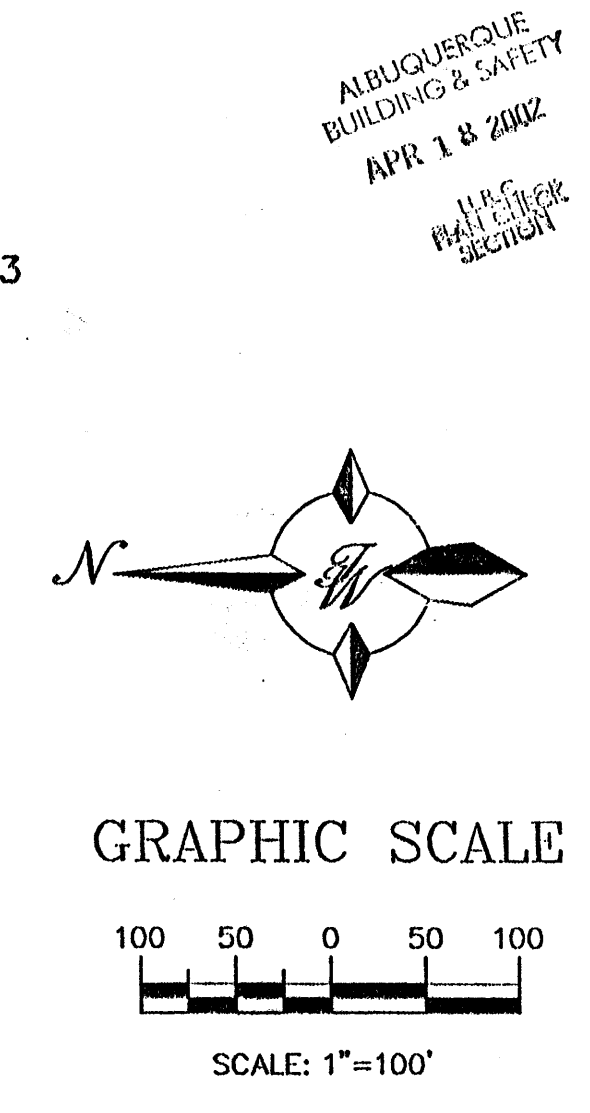
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque	4/15/02
<i>Christy Planning Division</i>	Date
<i>Christy Planning Division</i>	3-26-02
<i>Christy Planning Division</i>	Date

PLN2 (10706) 4/96

NOTE: FOR REFERENCE ONLY

- SHEET INDEX**
1. OVERALL SITE PLAN FOR SUBDIVISION
 2. GRADING PLAN
 3. MASTER UTILITY PLAN
 4. SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3
 5. SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
 6. LANDSCAPE PLAN
 7. GRADING AND DRAINAGE PLAN
 8. MASTER UTILITY PLAN
 9. ELEVATIONS TRACT 1
 10. ELEVATIONS TRACT 2 AND 3
 11. DETAILS
 12. SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5
 13. SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
 14. LANDSCAPE PLAN
 15. GRADING AND DRAINAGE PLAN
 16. GRADING AND DRAINAGE PLAN DETAILS
 17. MASTER UTILITY PLAN
 18. ELEVATIONS TRACT 4
 19. ELEVATIONS TRACT 5



LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK (SPECIAL PAVING)
- PROPOSED SIDEWALK (CONC.)
- PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED PARKING LOT LIGHT
- DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
- COLORED CONC. CROSSWALK

ENGINEER'S SEAL

WEST BLUFF RETAIL CENTER

OVERALL SITE PLAN FOR SUBDIVISION

TERRA WEST, L.L.C.
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RECEIVED
 SECTION 1
 DATE 03/25/02
 2113PS.DWG
 SHEET # 1
 JOB # 980063