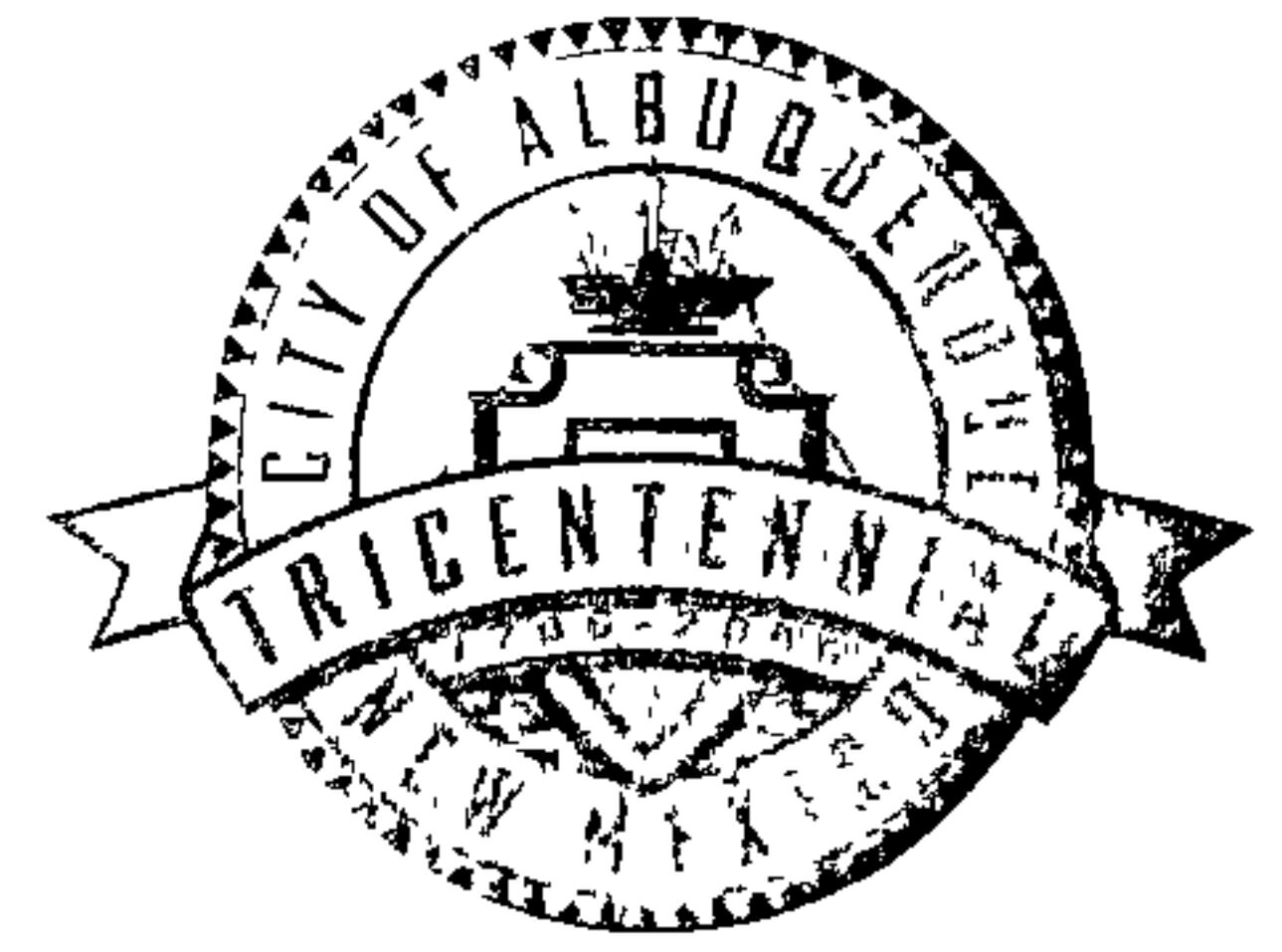


CITY OF ALBUQUERQUE



November 29, 2007

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place N.E.
Albuquerque, NM 87109

Re: Tract 8 West bluff Center, Traffic Circulation Layout
Engineer's Stamp dated 11-28-07 (H-11/D059C)

Mr. Bohannon,

The TCL submittal received 11-29-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Tract 8 West Bluff Center
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-11-Z
WORK ORDER #: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Geltmore, LLC
ADDRESS: 6211 San Mateo Blvd NE Ste 130
CITY, STATE: Albuquerque, NM

CONTACT: Paul Silverman
PHONE: (505) 294-8625
ZIP CODE: 87110

ARCHITECT: NCA Architects
ADDRESS: 1306 Rio Grande Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Mildred Ortiz
PHONE: (505) 255-6400
ZIP CODE: 87108

SURVEYOR: Precision Surveys
ADDRESS: 8500 -A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders
ADDRESS: 2732 Vassar Place Suite E
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: (505) 857-0050
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER- TCL Resubmittal

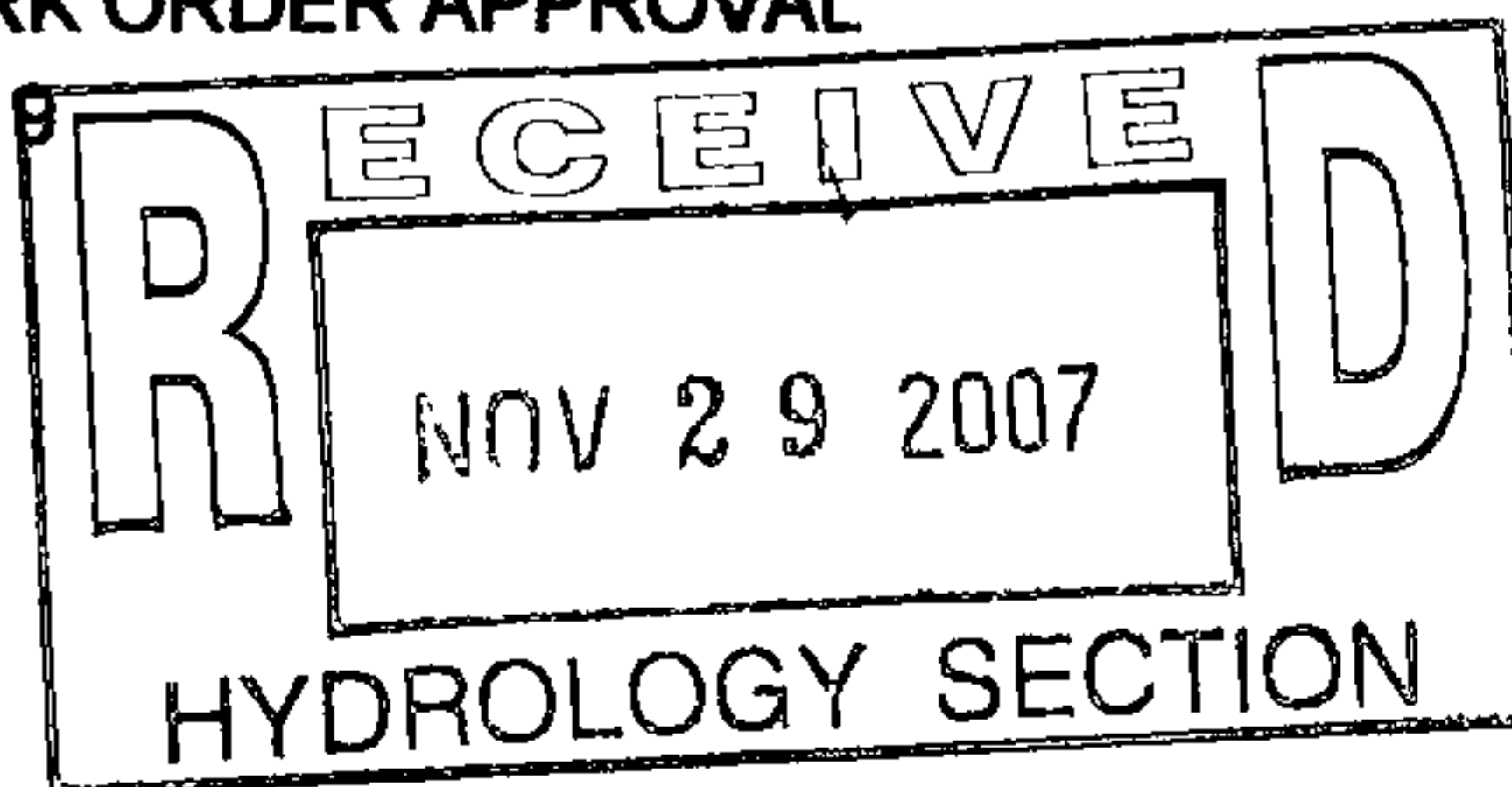
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-18

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

*need to copy
to be submitted
to*



DATE SUBMITTED: 11/29/07 BY: Jessica Hunter

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 28, 2007

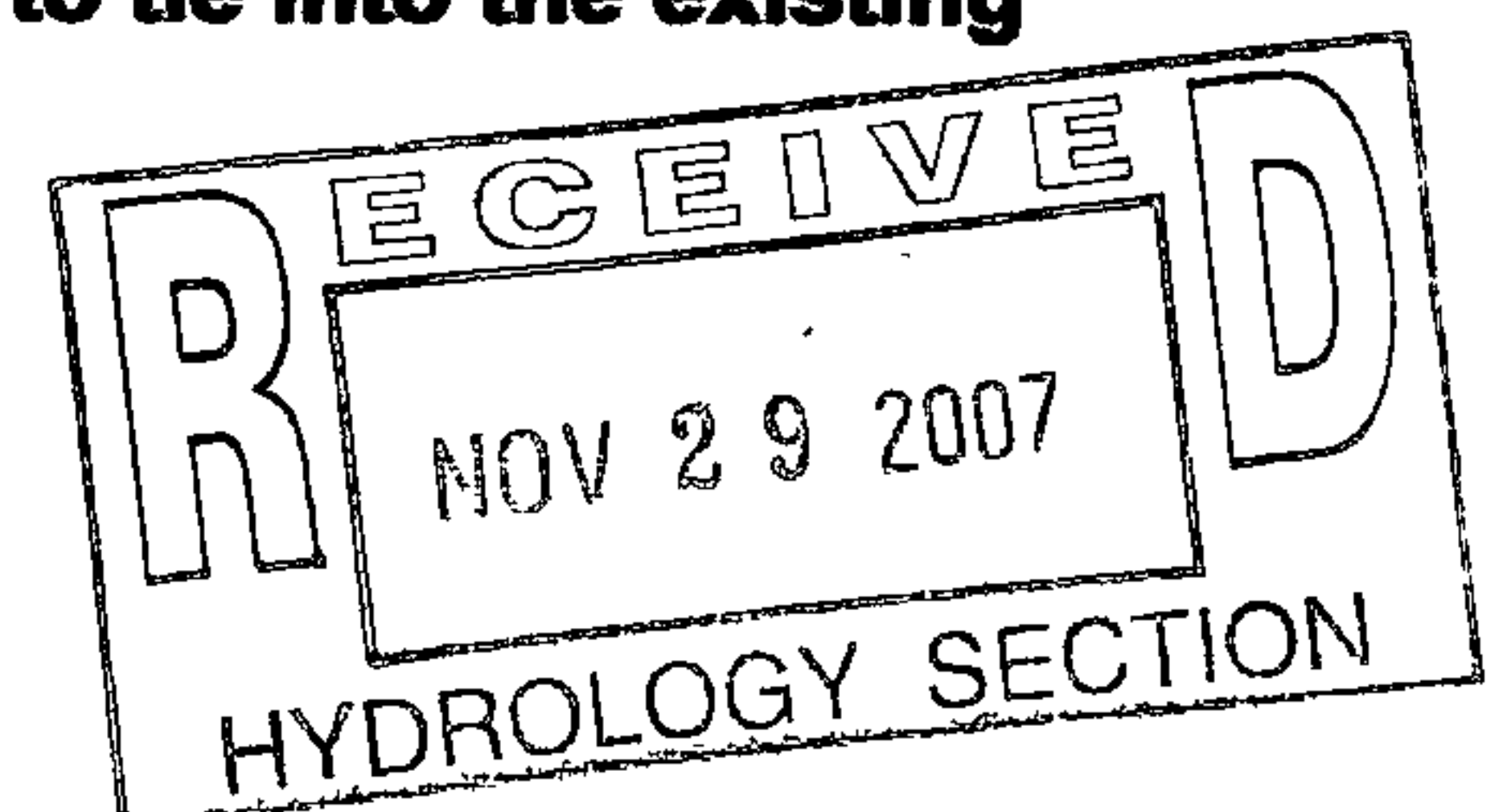
Ms. Kristal D. Metro, P.E.
Senior Engineer, Planning Department.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Tract 8 West Bluff Center Subdivision, Traffic Circulation Layout
Engineer's Stamp dated 10-9-07 (H-11/DO59C)**

Dear Ms. Metro:

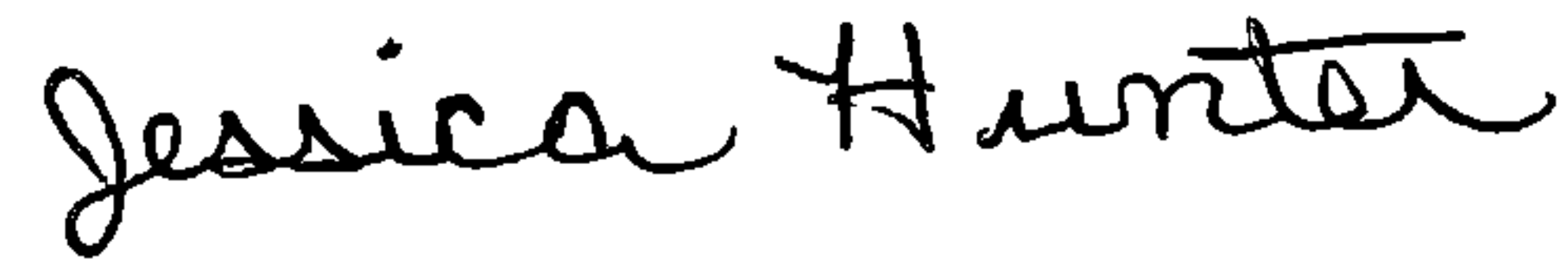
Pursuant to your letter dated November 16, 2007, Tierra West LLC, on behalf of the owner would like to address the comments listed in that correspondence. The responses are as follows:

- 1) At the exit onto Corona, the minimum end aisle radius will need to be 15'.
The exit onto Corona was designed to minimize the disturbance to the existing curb inlets in Corona. The northern inlet will be modified to a Type "D" inlet, leaving the southern inlet intact. In order to accomplish this, the proposed curb will need to tie into the existing curb between the two inlets. Incorporating a 15' radius curb would necessitate reconfiguring both inlets. In lieu of a 15' radius curve we propose a compound curve consisting of a 15' radius followed by a 10' radius tying into the existing curb in Corona. The driveway cut is a one-way exit only. Therefore, there will be no right turn movements from Corona into the site along the 10' radius curb. Vehicles exiting the site onto southbound Corona will not be affected by the 10' radius, due to the width of the driveway out. An Auto turn simulation of a City of Albuquerque trash truck exiting the site and making a left hand turn onto Corona is attached for reference.
- 2) Show a detail of the internal wheelchair ramp. Consider redesigning to accommodate ADA. This design currently conflicts with ADA.
The internal wheelchair ramp has been removed. According to the ADA, any slope greater than 5% requires a ramp. The slope of the sidewalk is 5%; therefore, a ramp is not required.
- 3) The hatching needs to be removed off of the City Right-of-Way. This appears to be a pedestrian access; however, it needs to tie into the back of the sidewalk and not the curb.
The hatching represents stained concrete paving and is a pedestrian access. It has been added to the legend. The access was modified to tie into the existing back of sidewalk.



If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



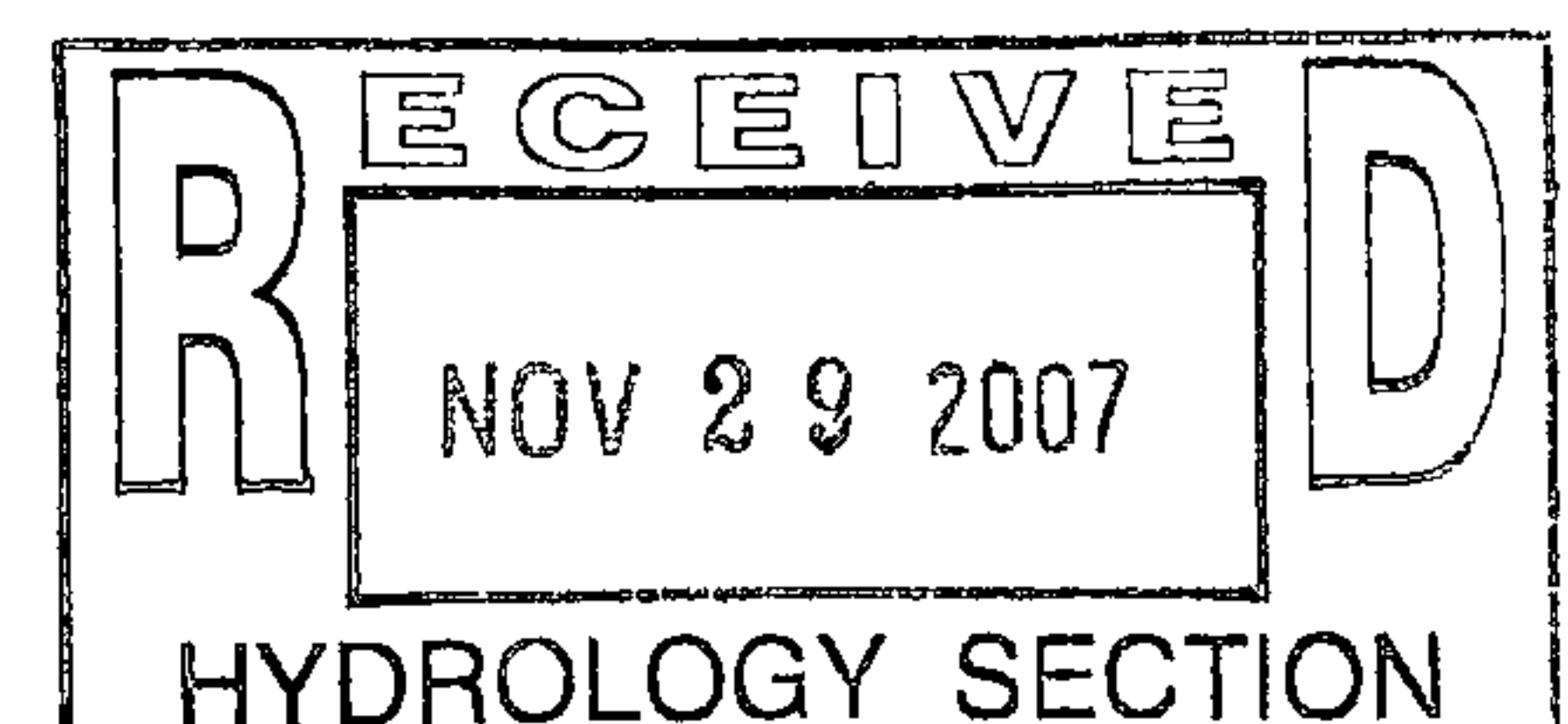
Jessica Hunter, E.I.

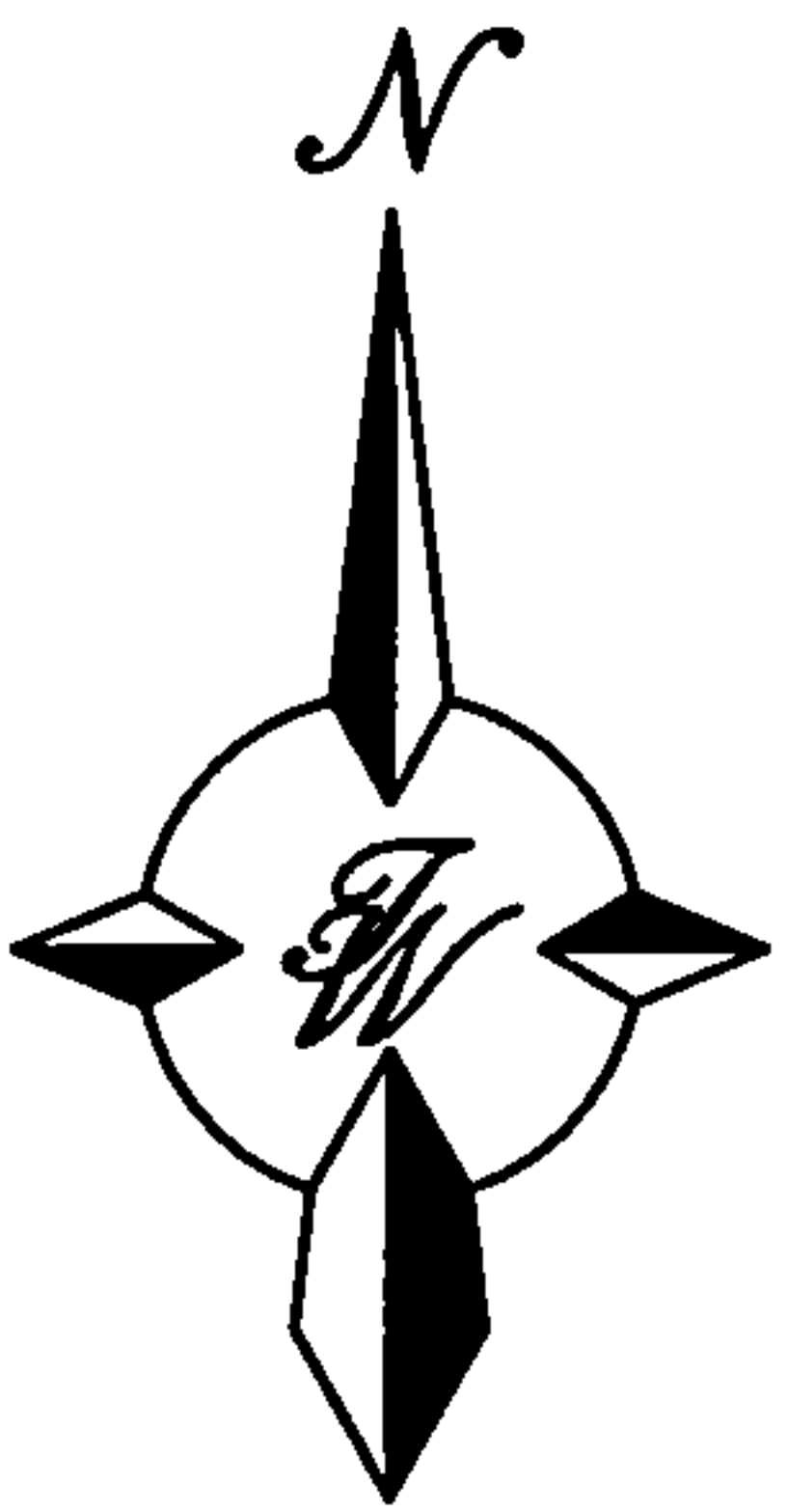
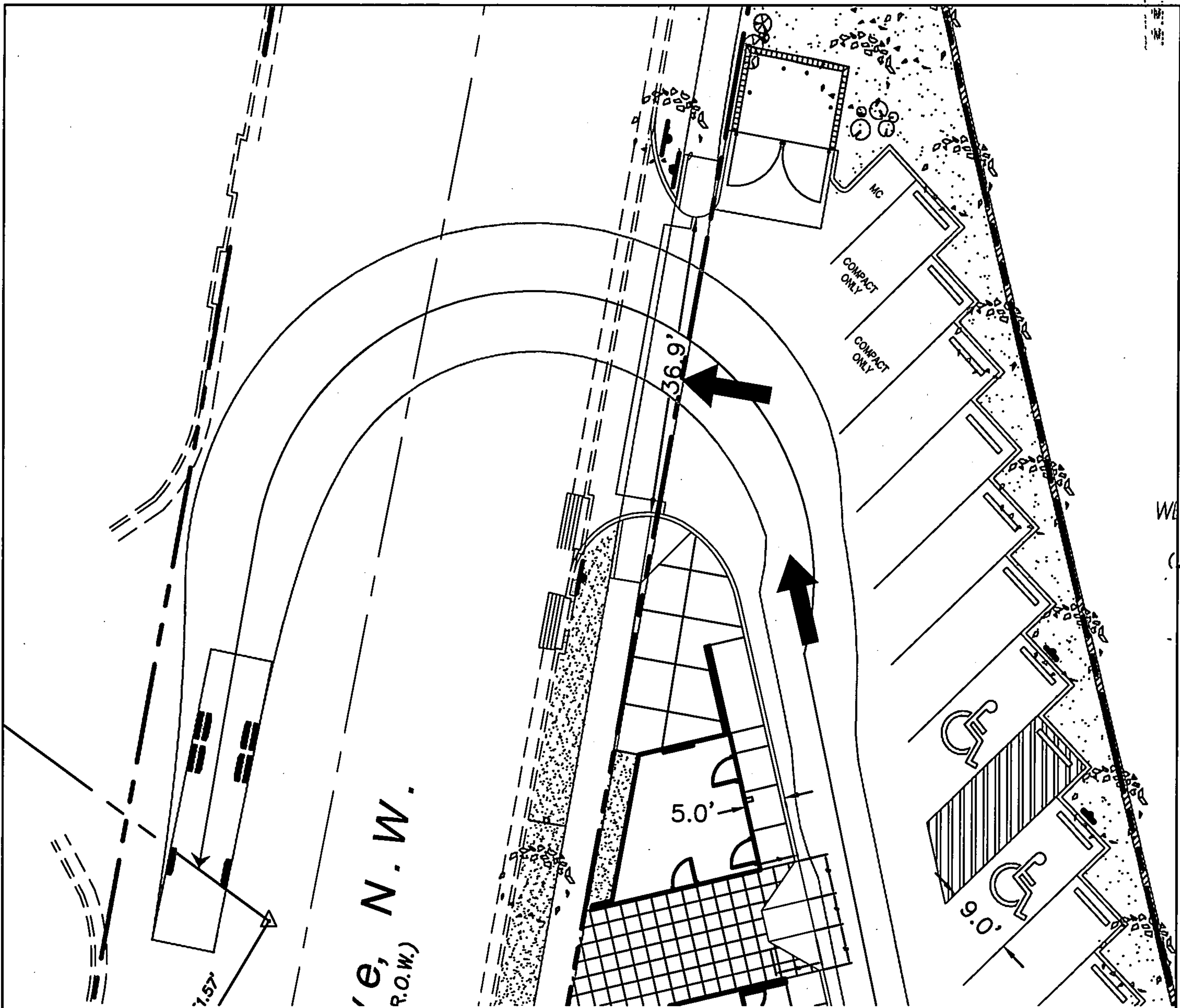
Enclosure/s

JN: 27039

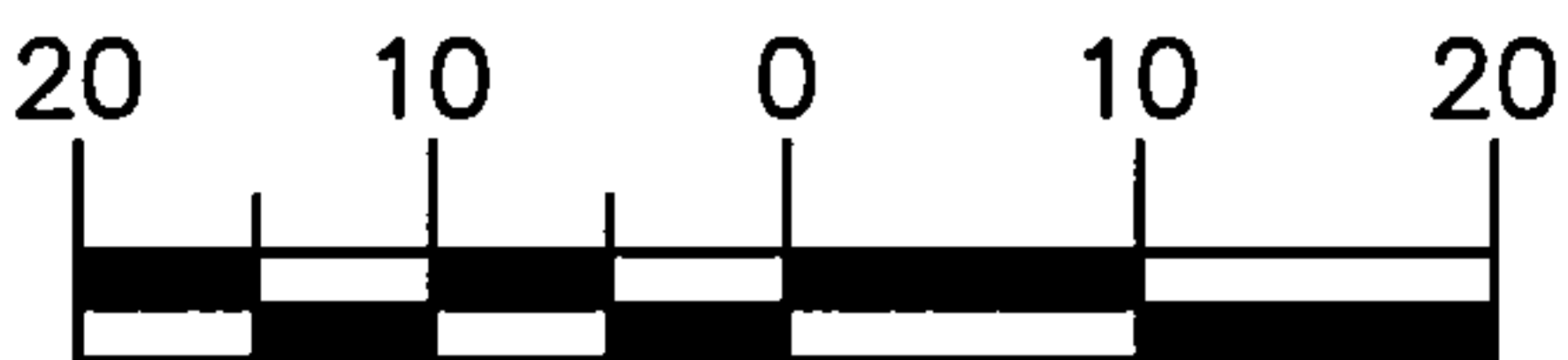
JH/bdm

2007:27039: Resplr Metro 11-27-07





GRAPHIC SCALE



SCALE: 1"=20'

WESTSIDE RETAIL

LEFT TURN EXHIBIT

DRAWN BY
DFT

DATE
10-27-07

2739-TCL

SHEET #

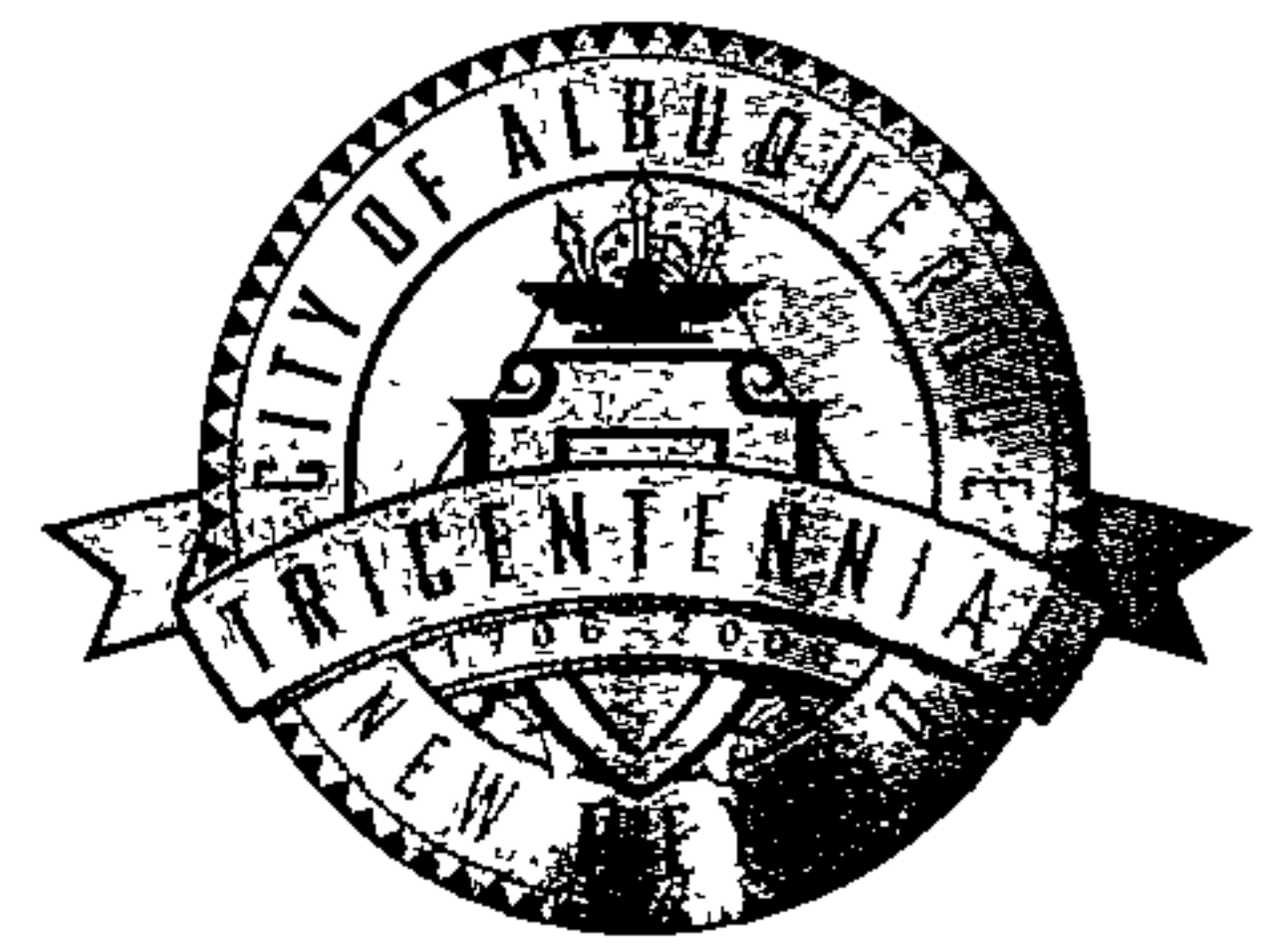
TIERRA WEST

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109 2 9 2007
(505)858-3100

HYDROLOGY SECTION

JOB #
27039

CITY OF ALBUQUERQUE



December 5, 2007

Ronald Bohannon, P.E.
Tierra West, LLc
5571 Midway Park Place N.E.
Albuquerque, NM 87109

Re: Westside Retail, Tract 8 West Bluff Center, Grading and Drainage Plan
Engineer's Stamp dated 11-28-07 (H-11/D059C)

Mr. Bohannon,

Based upon the information provided in your submittal received 11-30-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate Work Order, not a SO-19, will be required to construct the inlets in Corona Drive.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 or 768-3645.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

Cc: ^{swb}Bradley Bingham
File

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

H-11 / D059c

PROJECT TITLE: Tract 8 West Bluff Center
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-11-Z
WORK ORDER #: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Geltmore, LLC
ADDRESS: 6211 San Mateo Blvd NE Ste 130
CITY, STATE: Albuquerque, NM

CONTACT: Paul Silverman
PHONE: (505) 294-8625
ZIP CODE: 87110

ARCHITECT: NCA Architects
ADDRESS: 1306 Rio Grande Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Mildred Ortiz
PHONE: (505) 255-6400
ZIP CODE: 87108

SURVEYOR: Precision Surveys
ADDRESS: 8500 -A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders
ADDRESS: 2732 Vassar Place Suite E
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: (505) 857-0050
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

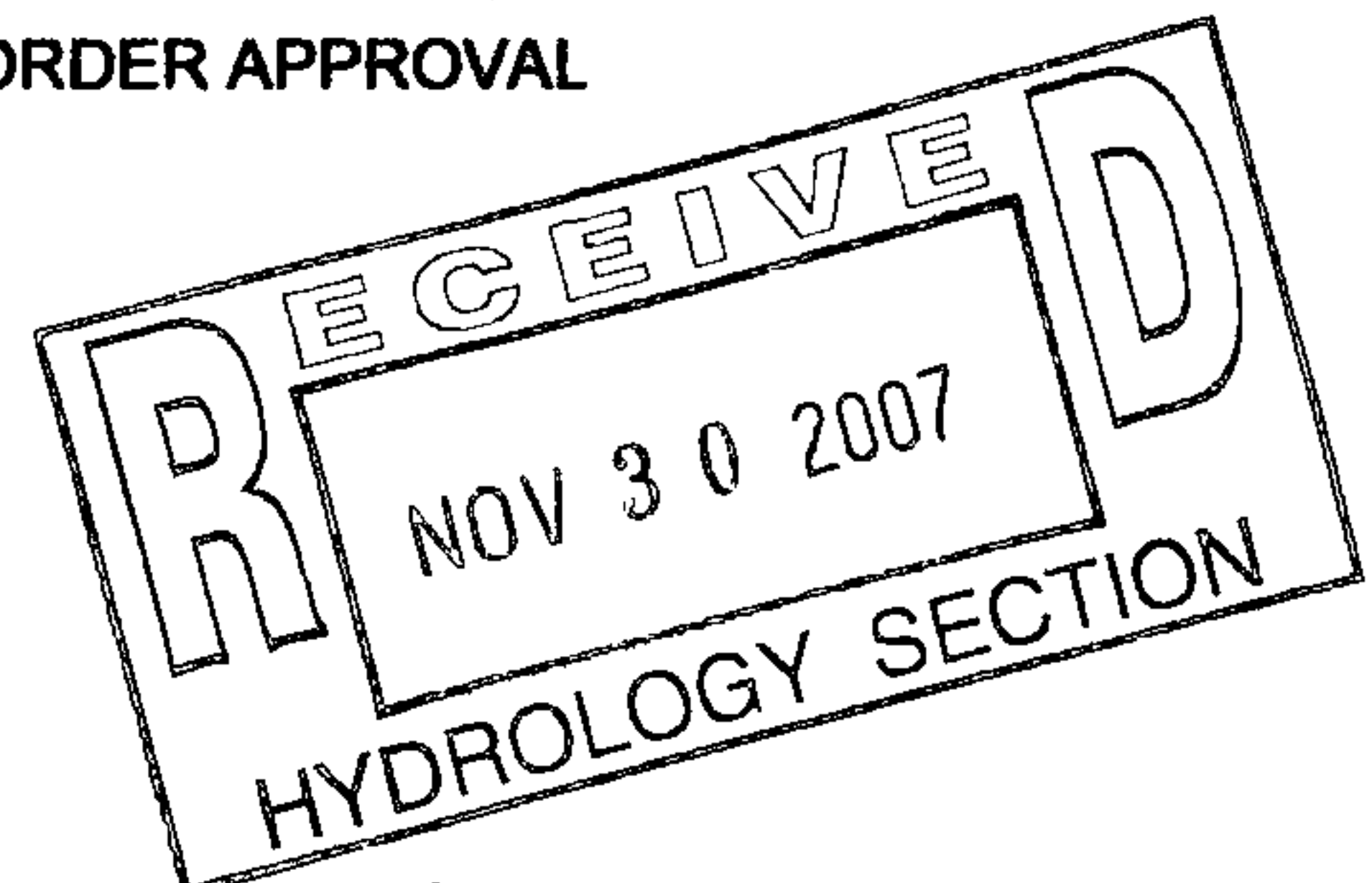
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER- TCL Resubmittal

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 8/ 11/30/07 BY: Jessica Hunter

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 28, 2007

Mr. Brad Bingham, P.E..
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Tract 8 West Bluff Center Subdivision, Traffic Circulation Layout
Engineer's Stamp dated 10-9-07 (H-11/DO59C)**

Dear Mr. Bingham:

Pursuant to Mr. Cherne's letter dated October 12, 2007, Tierra West LLC, on behalf of the owner, I would like to address the comments listed in that correspondence. The responses are as follows:

- 1) The proposed D inlet in Corona Dr. needs to be a Double D inlet, s stated in the previous letter.
The inlet has been changed to a double D inlet.
- 2) The build note "connect to existing inlet" should be changed to reflect that there will be a new inlet.
The note has been changed.
- 3) As stated in the previous letter, storm drain work in the City ROW will be accomplished per the Work Order process.
An SO-19 will be filed for the connection to the existing city storm drain system.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

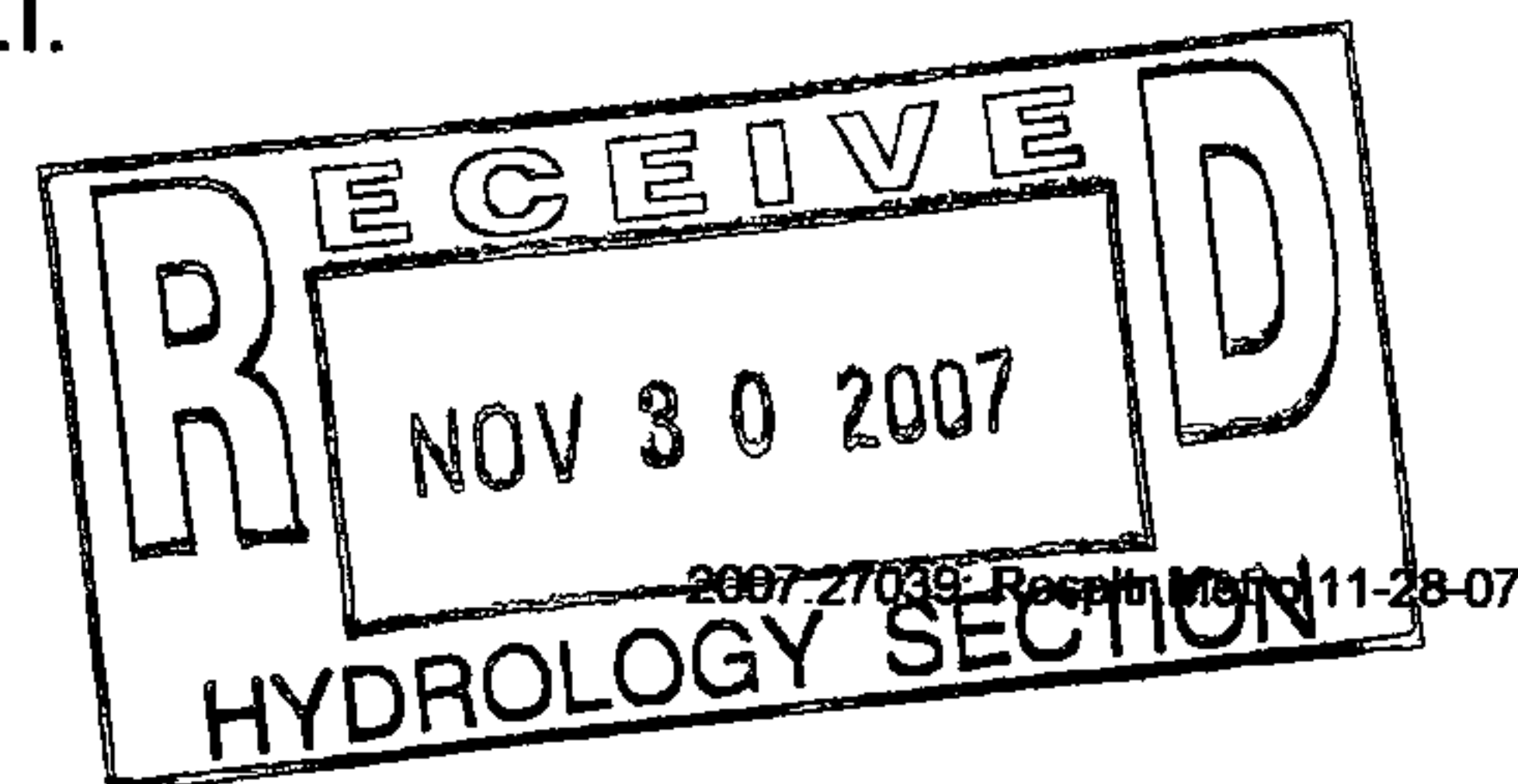
Sincerely,

Jessica Hunter

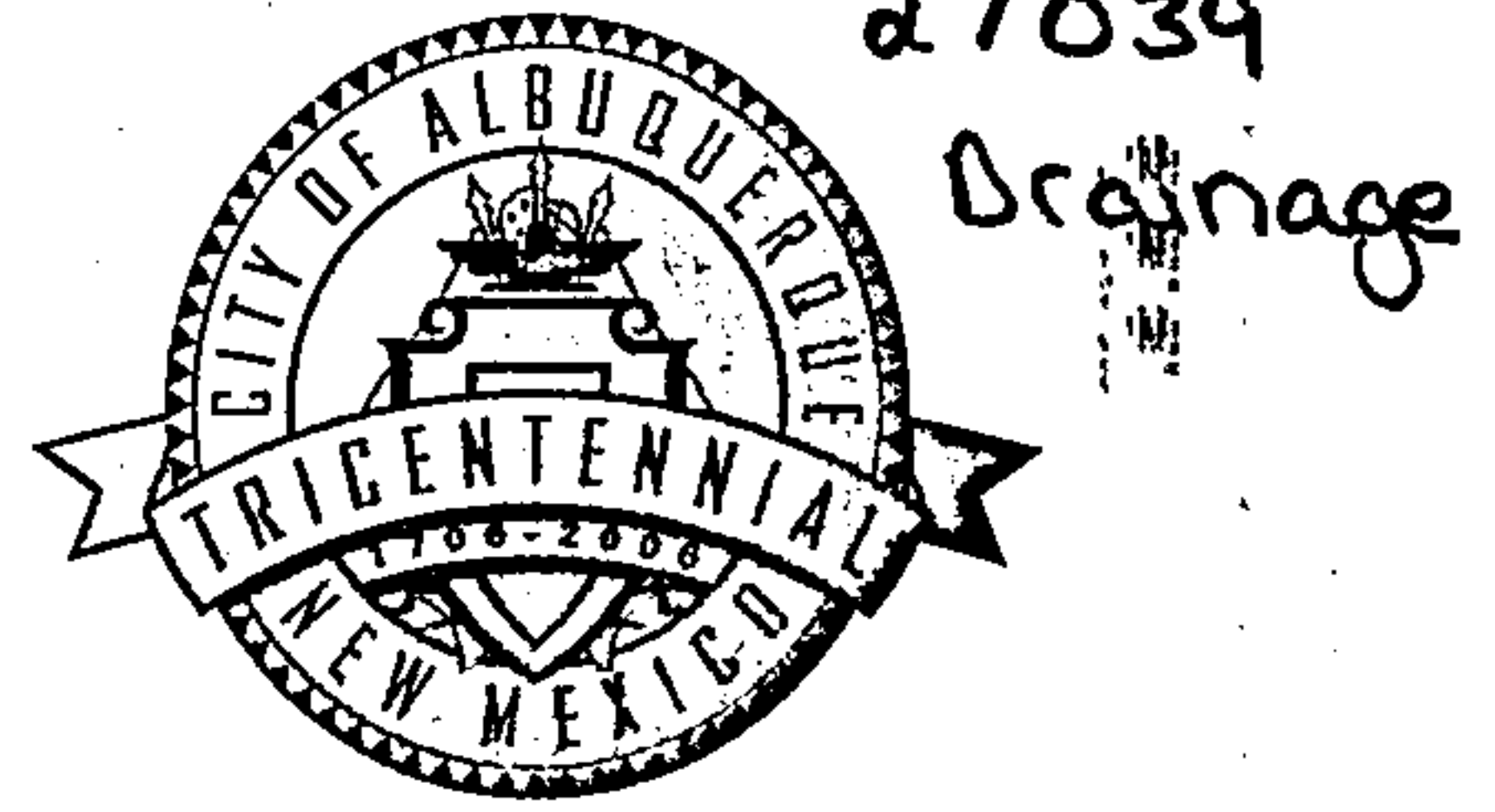
Jessica Hunter, E.I.

Enclosure/s

JN: 27039
JH/bdm



CITY OF ALBUQUERQUE



October 12, 2007

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Tract 8, Westside Retail Grading and Drainage Plan
Engineer's Stamp dated 10-9-07 (H11/D059C)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-11-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- The proposed D inlet in Corona Dr. needs to be a Double D inlet, as stated in the previous letter. *The inlet has been changed to a double D inlet.*
- The build note "connect to existing inlet" should be changed to reflect that there will be a new inlet. *The note has been changed.*
- As stated in the previous letter, storm drain work in the City ROW will be accomplished per the Work Order process. *An SO-19 will be filed for the connection to the existing City storm drain system.*

If you have any questions, you can contact me at 924-3695.

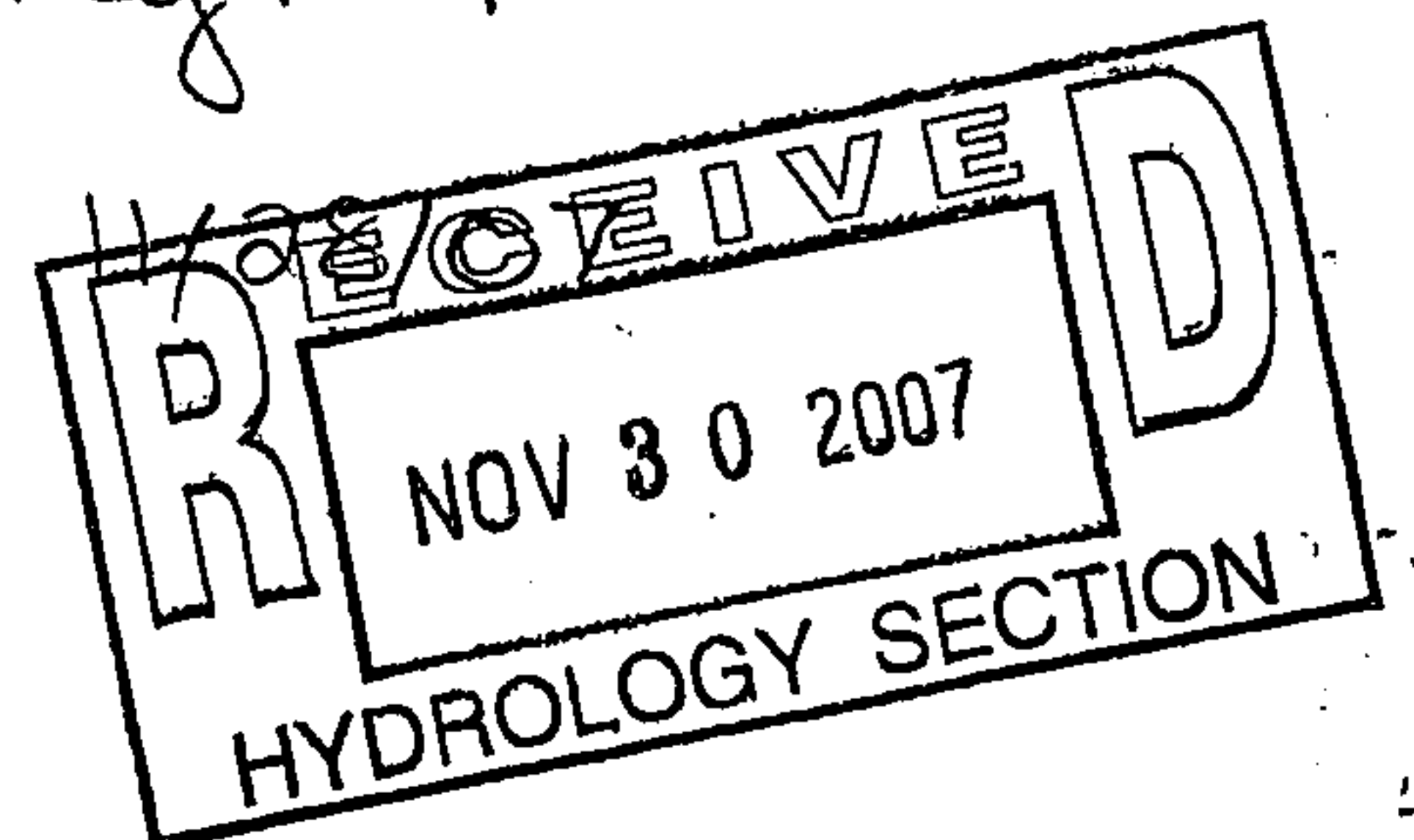
Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

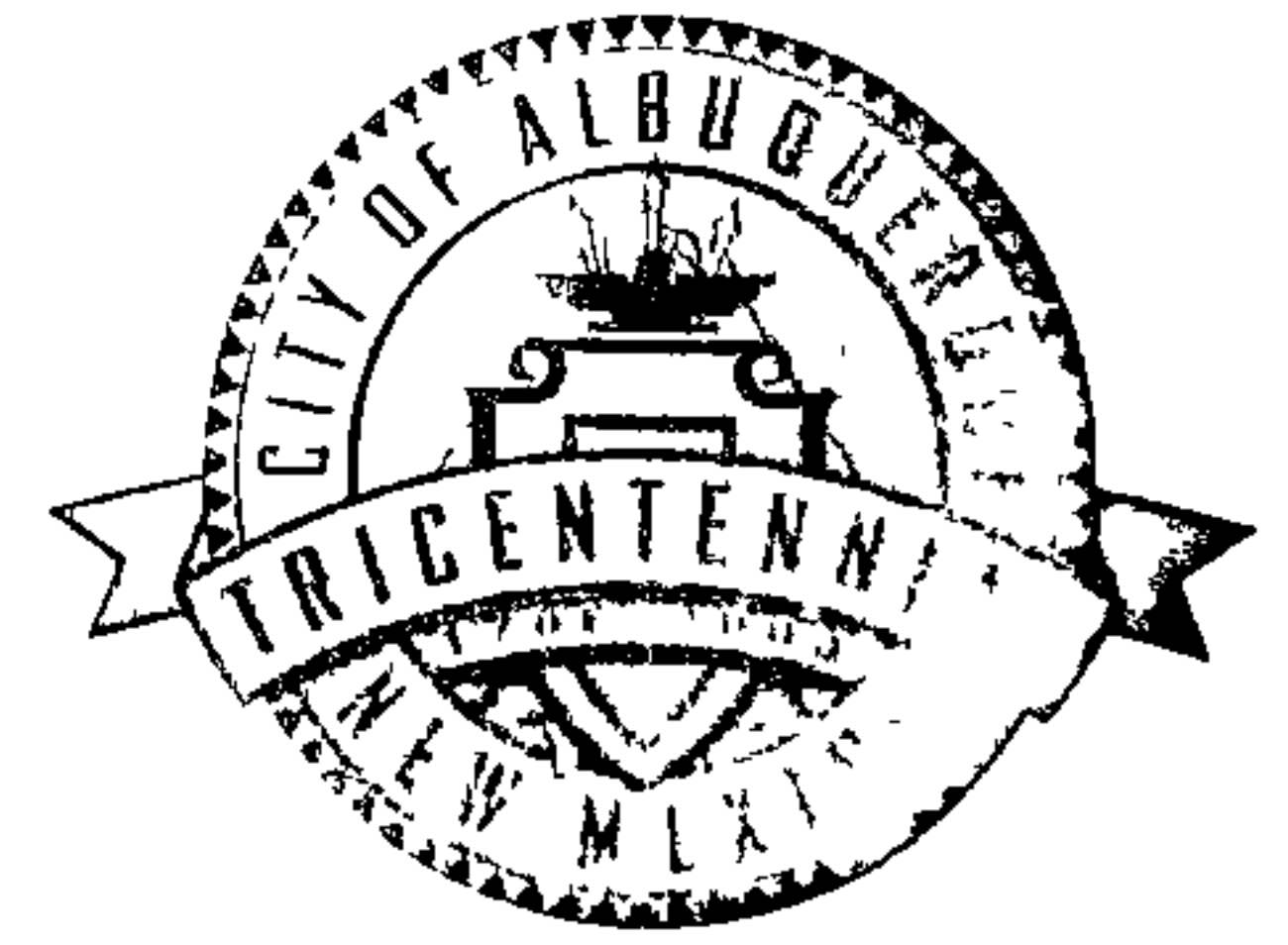
Brad Bingham

C: file

→ Date



CITY OF ALBUQUERQUE



November 16, 2007

Ronald Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place NW
Albuquerque, NM 87109

**Re: Tract 8 West Bluff Center Subdivision, Traffic Circulation Layout
Engineer's Stamp dated 11-16-07 (H-11/D059C)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 11-16-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. At the exit onto Corona, the minimum end aisle radius will need to be 15' in lieu of the 10'.
2. Show a detail of the internal wheelchair ramp. Consider redesigning to accommodate ADA. This design currently conflicts with ADA.
3. The hatching needs to be removed off of City Right-of-Way. This appears to be a pedestrian access; however, it needs to tie into the back of the sidewalk and not the curb.

P.O. Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3991.

Sincerely,

www.cabq.gov

Kristal D. Metro, P.E.
Transportation Engineer, Planning Dept.
Development and Building Services

C: File



CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

WEST BLUFF CENTER, LLC request(s) a Special Exception No:..... **06ZHE - 00852**
special exception to: **06ZHE - 00853**

- a. Section 14. 16. 3. 1. (A). (27): a **VARIANCE** of 4 parking spaces to the 24 parking spaces requirement, Project No: **1003333**
Hearing Date: 07-18-06
Closing of Public Record: 07-18-06
Date of Decision: 08-01-06
- b. Section 14. 16. 3. 10. (E). (4). (a):
a **VARIANCE** of 5 feet to the 10
foot landscaping buffer located
along the residential /
nonresidential boundary,

on all or a portion of Lot(s) 8, West Bluff
Center Addition, zoned C-2 and located at
2700 CORONA NW (H-11)

STATEMENT OF FACTS: The applicant, West Bluff Center, LLC, is requesting the above listed variances to allow for the construction of retail businesses. The applicant's agent, Mr. Charles P. Price, III, Esq., testified that the lot is exceptional in shape and size as compared to other lots in the vicinity in that it is triangular shaped due to City action. The proposed angle parking on the property will encroach on the landscaping buffer area, however there will be landscaping on the property. An on-site inspection revealed that indeed this property is exceptional in shape and size. The applicant testified that the yellow sign was posted.

Based on all the testimony and a review of the entire file, it is determined that there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this parcel is exceptional as compared to other parcels in the vicinity and, therefore, it meets the test for the granting of a variance as provided for by Section 14.16.4.2. I further find that, as a result of the exceptional aspect of the property, the regulations produce an unnecessary hardship in that it will limit the owners' reasonable use of the property and/or deprive the owner of a reasonable return on the property. Furthermore, I find the particular variance is appropriate to prevent the unnecessary hardship and further find that the variance will differ from development which will be permitted under the existing regular zoning regulations no more than what is necessary to overcome the unnecessary hardship. Finally, the variance

August 1, 2006

will not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of the Zoning Ordinance, substantial justice and the general public interest.

DECISION: Approved with conditions.

CONDITIONS: The owner will place landscaping along the residential buffer of the property to a smaller degree as well as along the residential/ non-residential boundary.

If you wish to appeal this decision, you may do so in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B)., of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.

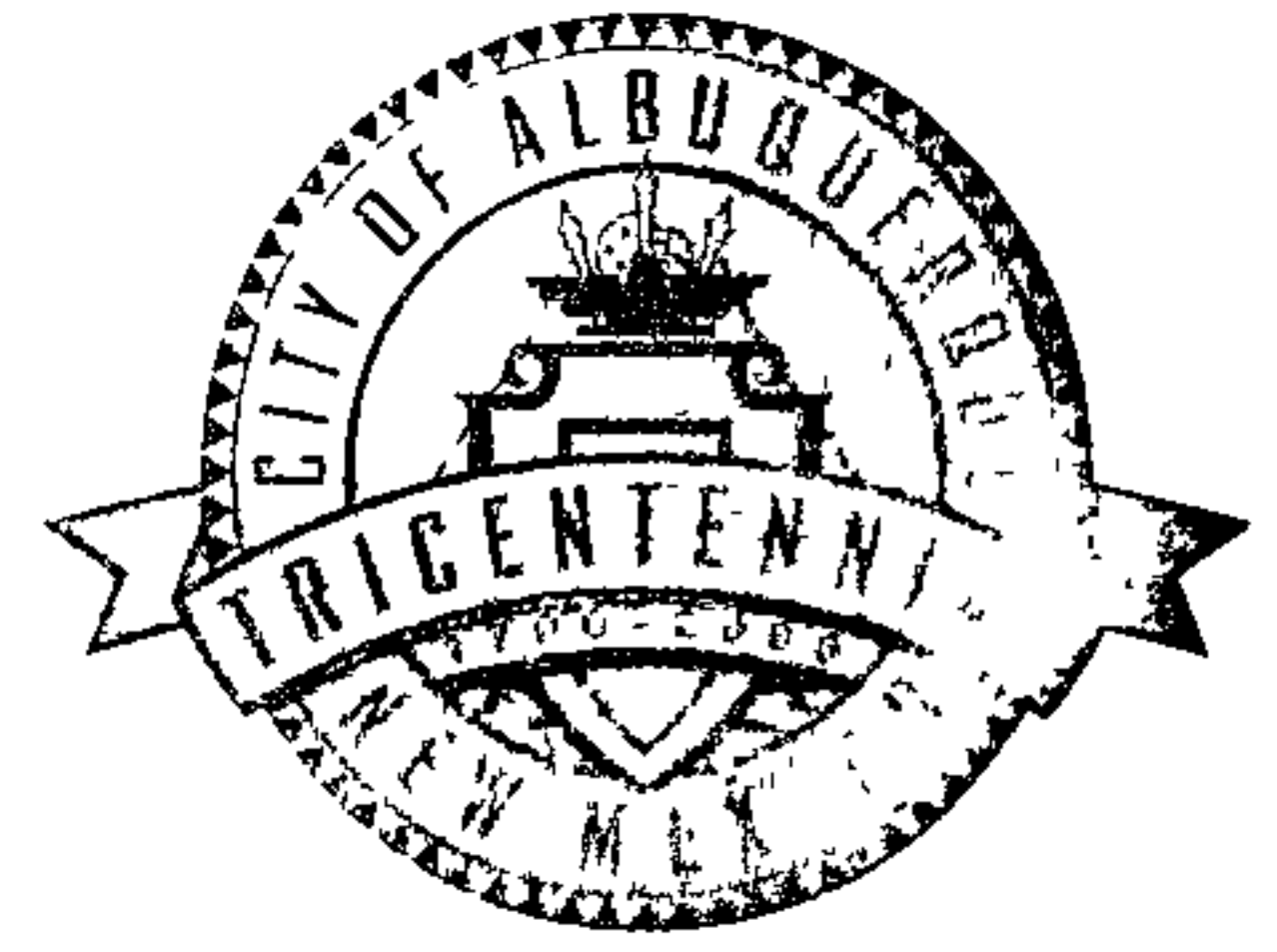

Roberto Albertorio, Esq.
Zoning Hearing Examiner

06ZHE – 00852 & 00853 (Continued)

August 1, 2006

cc: Zoning Enforcement (2)
 ZHE File (2)
 West Bluff Center, LLC, 6211 San Mateo Blvd NE, # 130, 87109
 Charles P. Price III, Esq, 1401 Central Ave NW, 87104
 Dr. Joe Valles, 5020 Grande Vista Ct NW, 87120
 John Landman, President, West Bluff NA, 2236 Ana Ct NW, 87120

CITY OF ALBUQUERQUE



August 29, 2007

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Westside Retail, Tract 8 West Bluff Center Subdivision,
Traffic Circulation Layout
Engineer's Stamp dated 8-20-07 (H11-D059C)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 8-21-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. Please list the width and length for all parking spaces. What angle are the spaces designed at?
3. Is there a ramp at Ouray Road and Corona Drive?
4. The detail for the 'Do Not Enter' sign is mislabeled.
5. Provide build notes for all proposed driveways, referring to the appropriate City Standard by standard number.
6. Your calculations show that you are providing fewer parking spaces than required. Has zoning given you permission to do this?
7. All wheelchair ramps located within the public right of way must have truncated domes.
8. Show a clear vicinity map.
9. The handicapped spaces must include an 8-foot wide van access aisle. Please amend your detail accordingly.
10. Include two copies of the traffic circulation layout at the next submittal.
11. Define width of all sidewalk.
12. When the premises contain more than 20 spaces, up to 25% of those spaces can be compact car spaces. However, you only have 20 spaces. Therefore, you do not have sufficient parking to warrant compact car spaces.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



October 16, 2007

Ronald Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place NW
Albuquerque, NM 87109

**Re: Tract 8 West Bluff Center Subdivision, Traffic Circulation Layout
Engineer's Stamp dated 10-09-07 (H-11/D059C)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-11-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. For passenger vehicles, the minimum end island radius is 15 feet.
2. Show a detail of the internal wheelchair ramp.
3. List the width of the drive aisle.
4. Define all symbols and hatching.
5. Clarify existing versus proposed conditions; our records do not reflect a sidewalk along Corona Drive.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

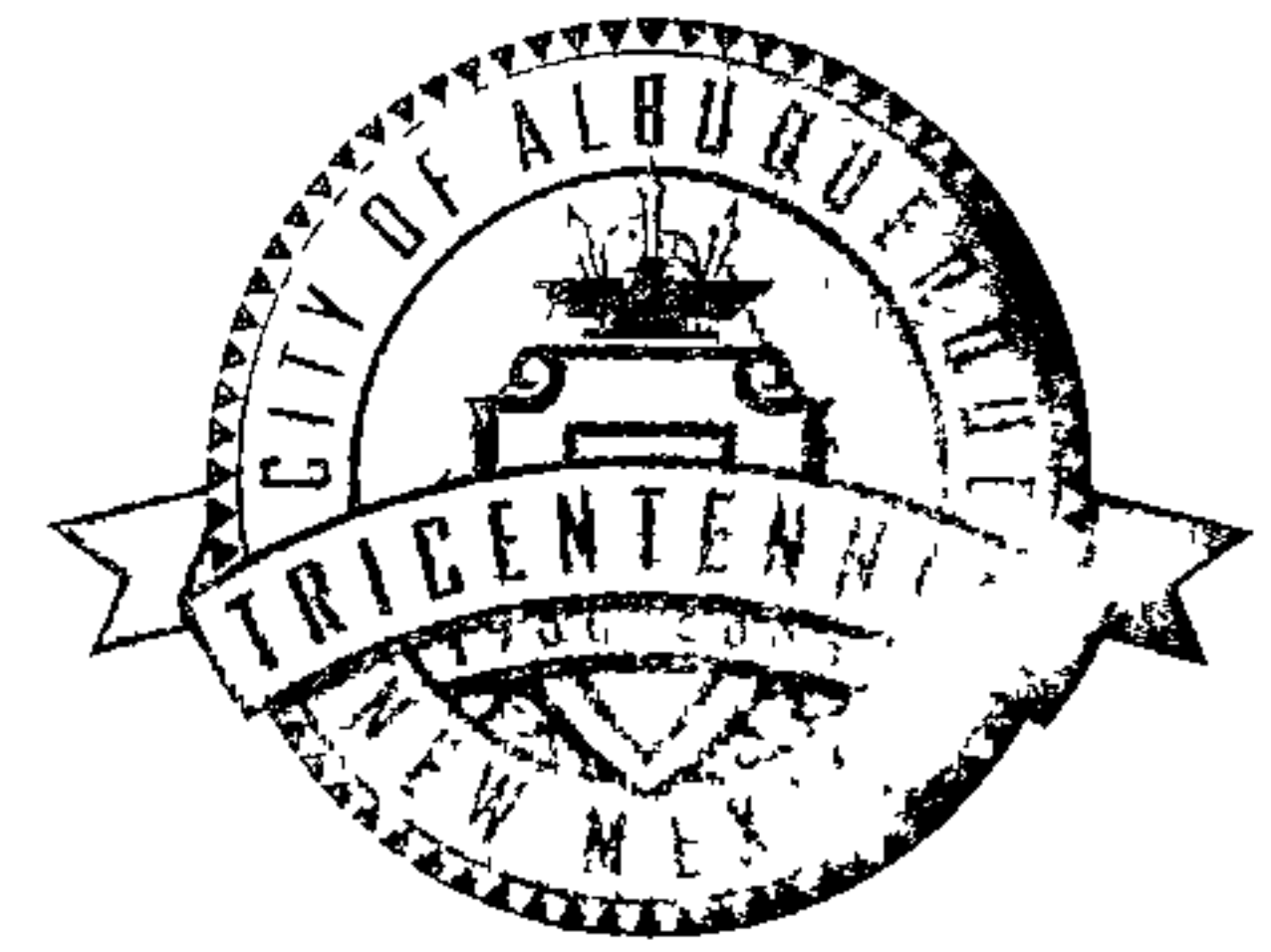
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 29, 2007

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Tract 8 West Bluff Center Subdivision Grading and Drainage Plan
Engineer's Stamp dated 8-10-07 (H11/D059C)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 8-20-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- The Type "C" inlet in Corona Dr. should be replaced with a Double "D" inlet. Therefore, the modified type "D" inlet detail can be removed from the plan.
- The private entrances should be built per COA STD DWG 2426 and include the necessary water block.
- The roof and the paved walk-through between the buildings should drain towards the center of the site.
- The trash enclosure should not drain to the sanitary sewer. Only the trash enclosures at restaurants are required to drain to the sanitary sewer.
- Storm drain work in the City ROW will be accomplished per the Work Order process.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Tract 8, West Bluff Center Subdivision
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-11-7 / 0059C
WORK ORDER #: _____

LEGAL DESCRIPTION Tract 8, West Bluff Center Subdivision
CITY ADDRESS: _____

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NW NE
CITY, STATE: Albuquerque, NM

CONTACT: Jessica Hunter, EI / Ronald R. Bohannon, PI
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Geltmore, LLC
ADDRESS: 6211 San Mateo Boulevard NE, Ste 130
CITY, STATE: Albuquerque, NM

CONTACT: Paul Silverman
PHONE: (505) 294-8625
ZIP CODE: 8710

ARCHITECT: NCA Architects
ADDRESS: 1306 Rio Grande Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Mildred Ortiz
PHONE: (505) 255-6400
ZIP CODE: 87108

SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders
ADDRESS: 2732 Vassar Place, Suite E
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: (505) 857-0050
ZIP CODE: 87137

CHECK TYPE OF SUBMITTAL:

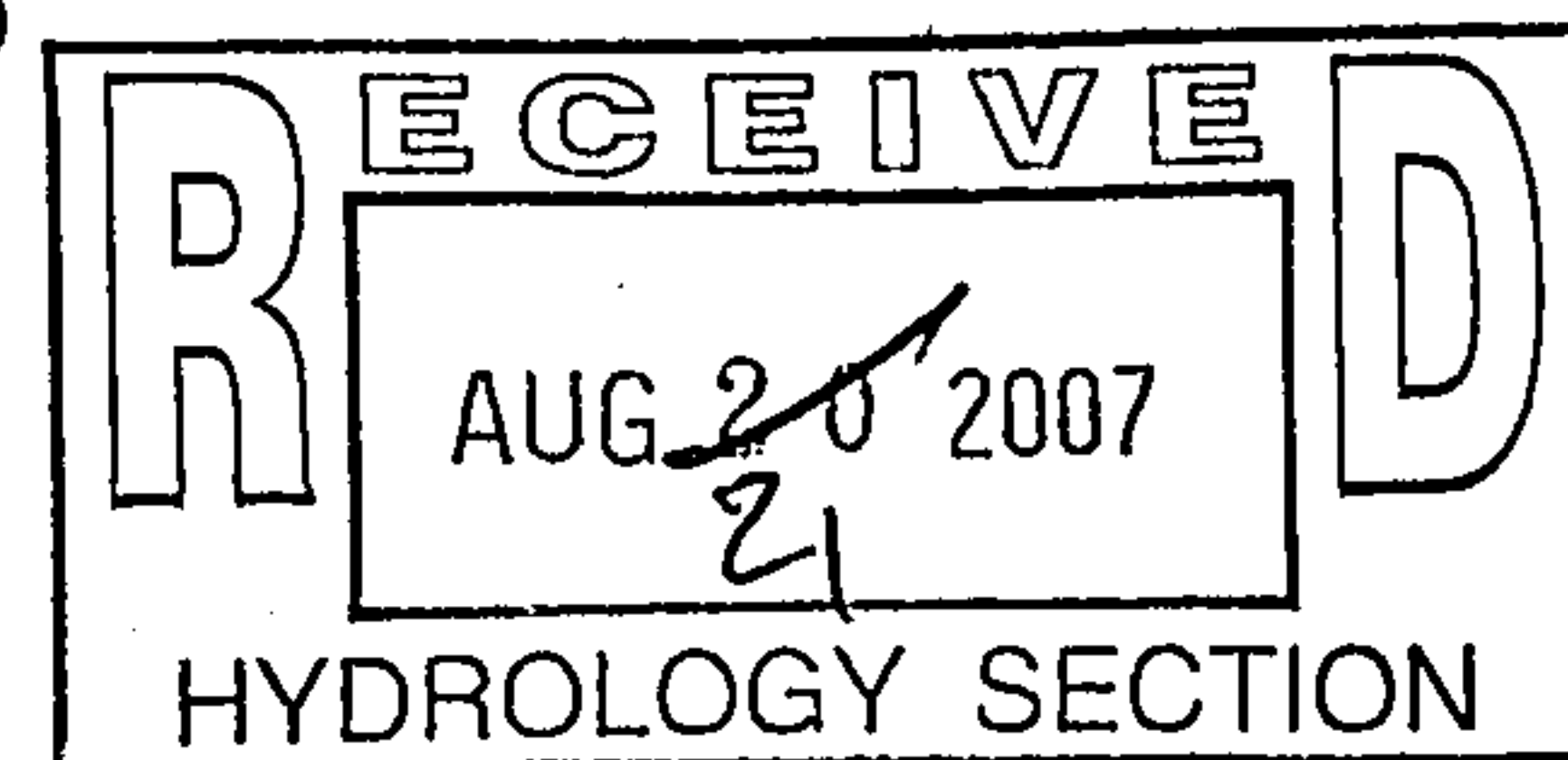
- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: August 20, 2007

BY: Jessica Hunter, EI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/20/2007 Issued By: PLNABG

Permit Number: 2007 060 023

Category Code 970

Application Number: 07REV-60023, Review - Drainage Plan Or Traffic Impact

Address:

Location Description: H-11, WESTBLUFF CENTER SUBDIVISION

Project Number: null

Applicant

West Bluff Center Subdivision

Tract 8 Westbluff Center
Albuquerque, NM 87108

Agent / Contact

Tierra West Llc

Ronald Bohannon

5571 Midway Park Pl Ne
Albuquerque, NM 87108

twllc@tierrawestllc.com

Application Fees

441006/4983000	REV Actions	\$50.00
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TOTAL: \$50.00

City Of Albuquerque
Treasury Division

8/20/2007	4:31PM	LOC: ANNX
WS# 006		TRANSH 0032
RECEIPT# 00081056-00081056		
PERMIT# 2007060023		TRSCCS
Trans Amt	\$50.00	
REV Actions		\$50.00
CK		\$50.00
CHANGE		\$0.00

Thank You

DRAINAGE REPORT

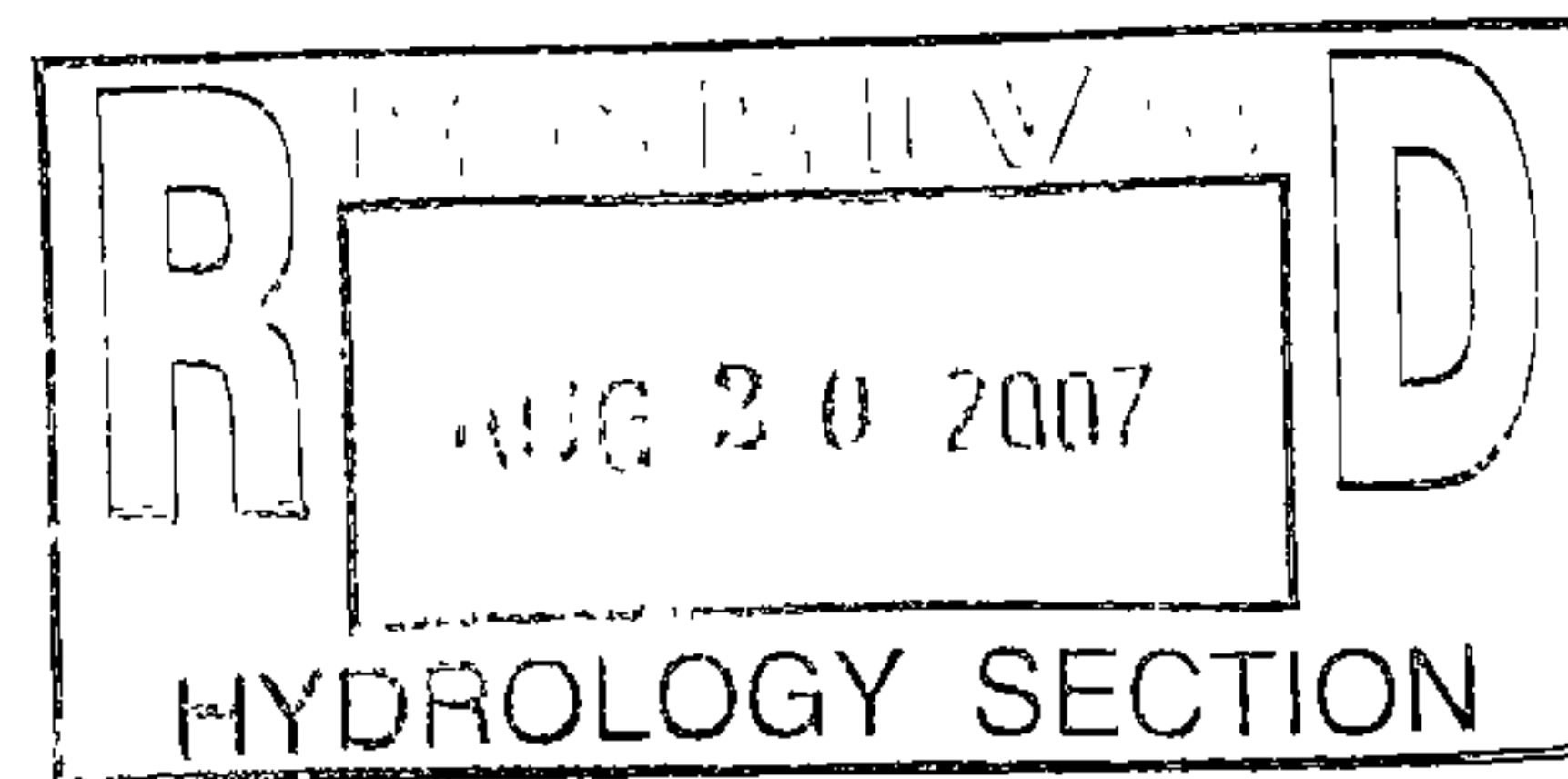
for

Tract 8 West Bluff Center Subdivision Albuquerque, NM

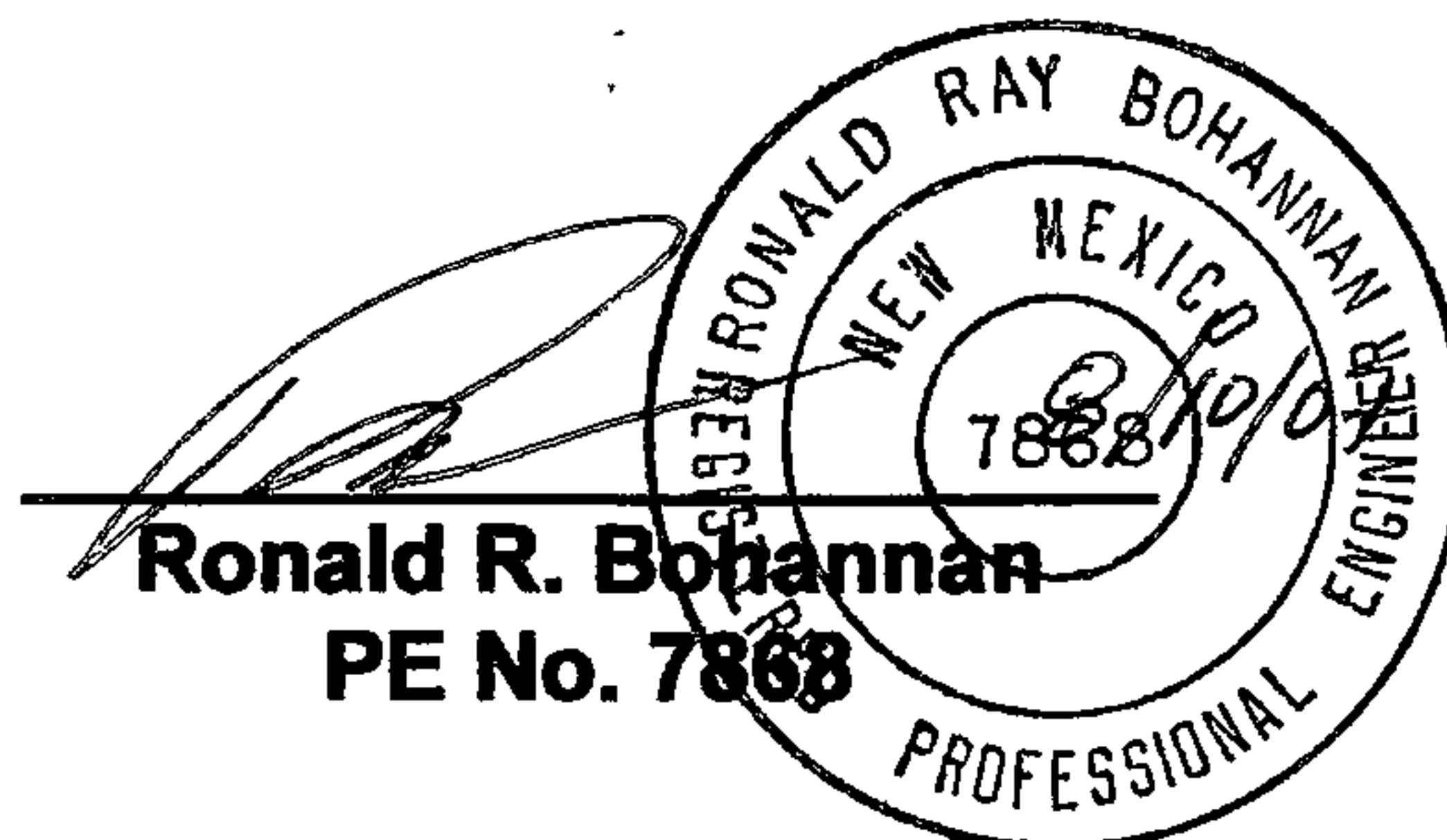
Prepared by:

**Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109**

May 2007



I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.



**Ronald R. Bohannon
PE No. 7868**

Job No 27039

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MAP POCKET

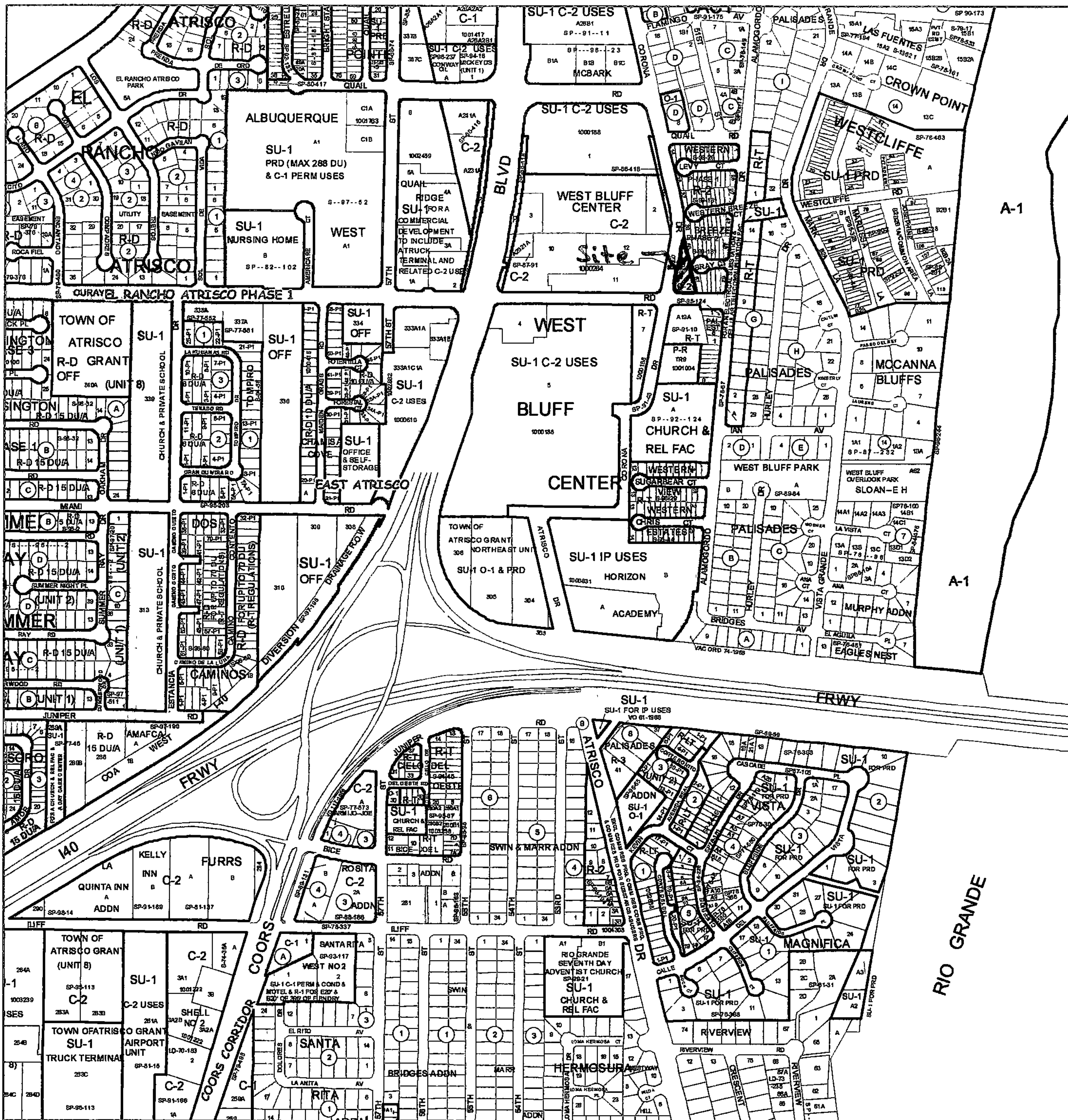
Grading and Drainage Plan

Section I

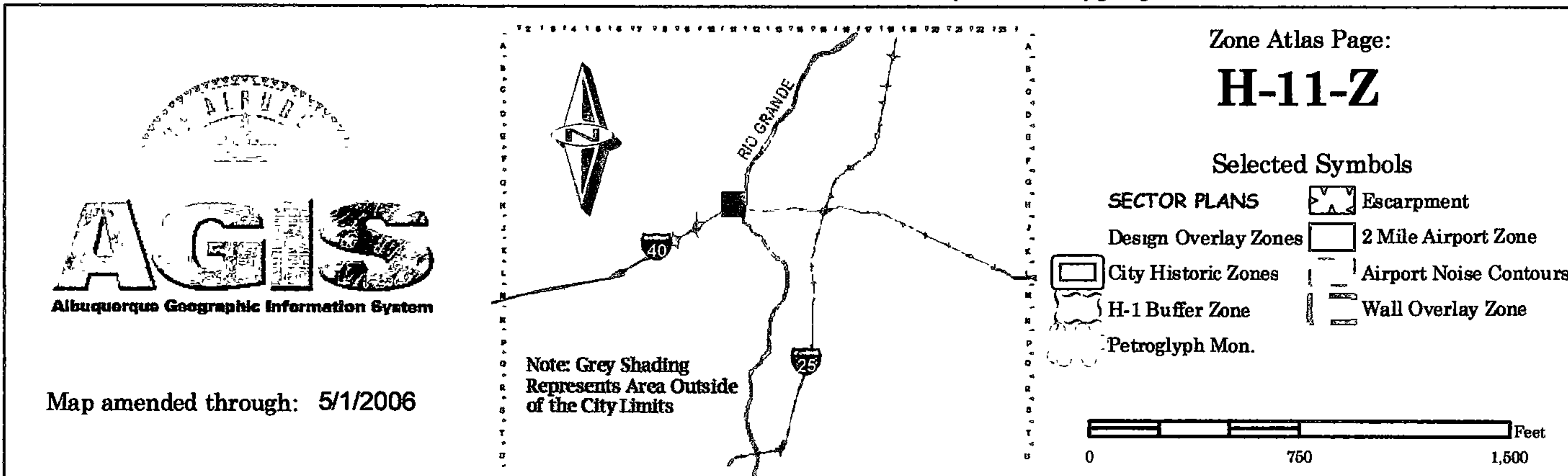
Report

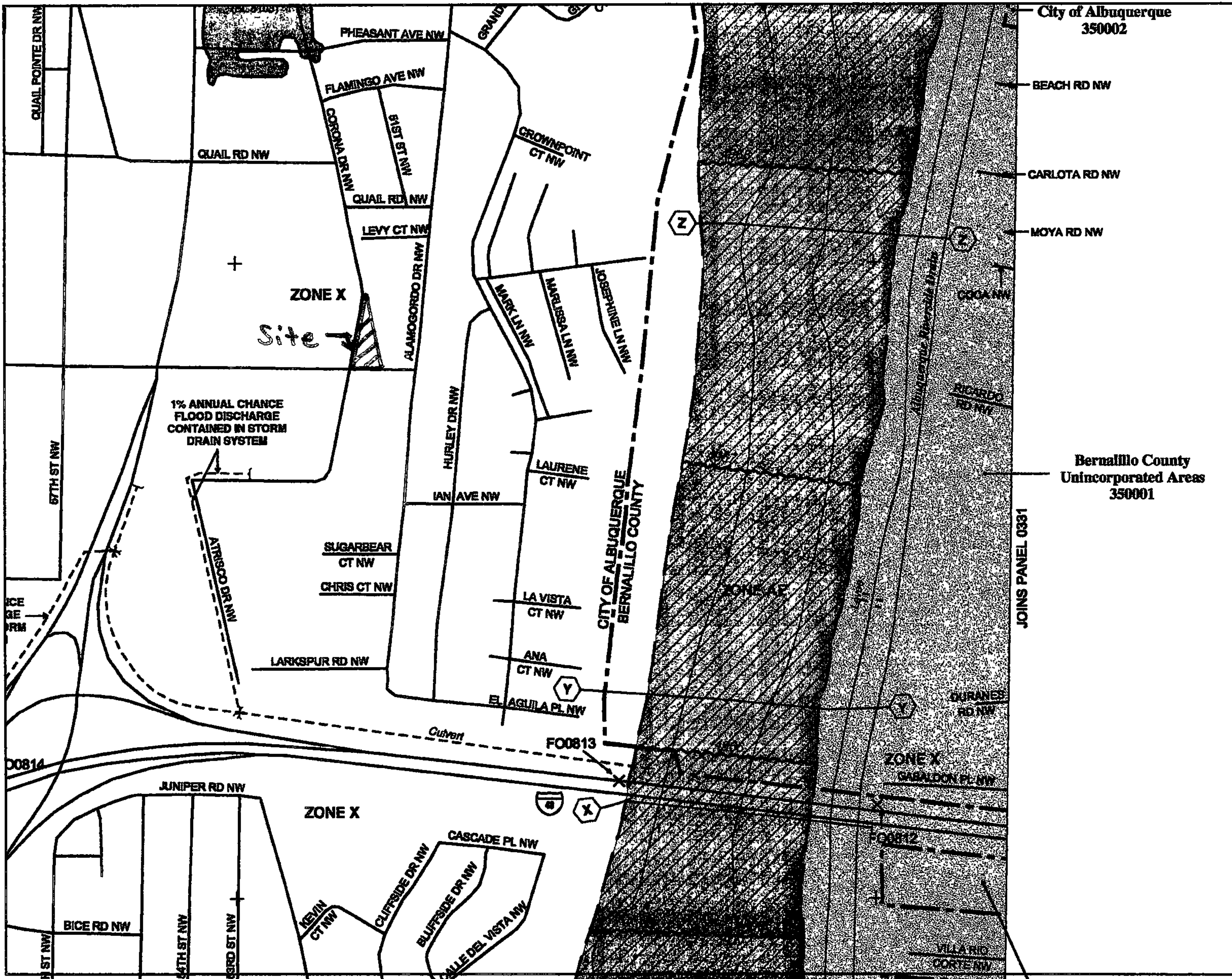
Purpose

The purpose of this report is to provide the drainage analysis for the development of Tract 8, West Bluff Center Subdivision. The site is located at the northeast corner of Corona Drive and Ouray Road. The site contains approximately 0.4 acres and is currently undeveloped (see attached Zone Atlas Map H-11). The proposed development for the site is a retail/office building.



For more current information and more details visit <http://www.cabq.gov/gis>





MAP SCALE 1" = 500'

500 1000 FEET

500 1000 METERS

PANEL 0327E

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO

AND INCORPORATED AREAS

PANEL 327 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0327	E
BERNALILLO COUNTY	350001	0327	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0327E

MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Existing Drainage Conditions

The site is currently undeveloped. It is bounded on the west by Corona Drive, on the south by Ouray Road, and on the northeast by an existing residential neighborhood. The existing onsite runoff was calculated to be 0.55 cfs using the weighted E method for a 100-year storm with a land treatment of 100% Type A. No offsite runoff enters the site. There is an existing 48" RCP storm drain in Corona Drive with two type "C" inlets on the east side of the street adjacent to the site.

Proposed Drainage Conditions

The drainage for this site was addressed in the drainage report for the West Bluff Subdivision (Tierra West, 2000). The report included the drainage from this site as an offsite basin entering the existing storm drain in Corona Drive at 3.58 cfs. ^{including street} Using the weighted E method for a 100-year storm with a land treatment of 20% Type B and 80% Type D, the proposed runoff from the site was calculated to be 1.67 cfs.

The runoff from the site will enter a Type 'D' inlet in the parking lot and go through an 18" RCP pipe that will connect to the existing storm drain in Corona Drive.

Summary

The site generates a total developed flow of 1.67 cfs. The existing storm drain system in Corona Drive was designed for 3.58 cfs exiting the site. Since the developed flow is less than what the storm system was designed for, the site can free discharge into the existing inlets.

Section II

Runoff Calculations

Weighted E Method

Westside Retail

Existing Conditions

											100-Year, 24-Hr		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Onsite													
1	18693.00	0.429	100%	0.43	0%	0.00	0%	0	0%	0.00	0.440	0.016	0.55
Total	18,693	0.429		0.43		0.00		0.00		0.00		0.016	0.55

Proposed Conditions

											100-Year, 24-Hr		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Onsite													
1	18693.00	0.429	0%	0	20%	0.09	0%	0	80%	0.34	1.710	0.061	1.67
Total	18,693	0.429		0		0.09		0.00		0.34		0.061	1.67

Equations for Weighted E Method:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted E} \cdot \text{Total Area}$$

$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

$$\text{Volume (24 hr)} = V_{360} + A_d \cdot (P_{1440} - P_{360}) / 12 \text{ in/ft}$$

Excess Precipitation, E (inches)			
Zone 1	100-Year	10 - Year	2 - Year
E _a	0.44	0.08	0.00
E _b	0.67	0.22	0.01
E _c	0.99	0.44	0.12
E _d	1.97	1.24	0.72

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10 - Year
Q _a	1.29	0.24
Q _b	2.03	0.76
Q _c	2.87	1.49
Q _d	4.37	2.89