CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor 11mothy M. Keller

April 29, 2022

Courtney Lynch Development Management Group. LLC 4209 Gallatin Pike Nashville, TN 37216

Re: Chase Bank - ATM 5201 Ouray Rd. NW Traffic Circulation Layout Architect's Stamp 04-20-22 (H11-D059E)

Dear Mr. Lynch,

2.

Based upon the information provided in your submittal received 04-22-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1.	Please show a vicinity map showing the location of the development in relation to streets
	and well known landmarks.

PO Box 1293

- 3. Due to proposing ATM at some of parking stalls, Provide parking calculation showing the rest of the parking spaces still meet the requirement for this property.
- Albuquerque 4. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.

NM 87103

5. Provide 20 ft long space for each car in the drive-through.

Provide Lease agreement with property owner.

6. Last car in the drive-through is blocking the parking space adjacent to the ATM drivethrough. Please address this concern.

www.cabq.gov

- 7. Provide the drive aisle width from the ATM to the north landscape island.
 - 8. Please specify the City Standard Drawing Number when applicable.
 - 9. Keynote 8: Provide details for "STOP" "DO NOT ENTER" sign.
 - 10. Provide shared access agreement.
 - 11. Please provide a letter of response for all comments given.
 - 12. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

Once corrections are complete resubmit

1. The Traffic Circulation Layout

CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



- 2. A Drainage Transportation Information Sheet (DTIS)
- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- 4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

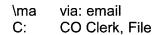
If you have any questions, please contact me at (505) 924-3675.

Sincerely,

avun

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

PO Box 1293



Albuquerque

NM 87103

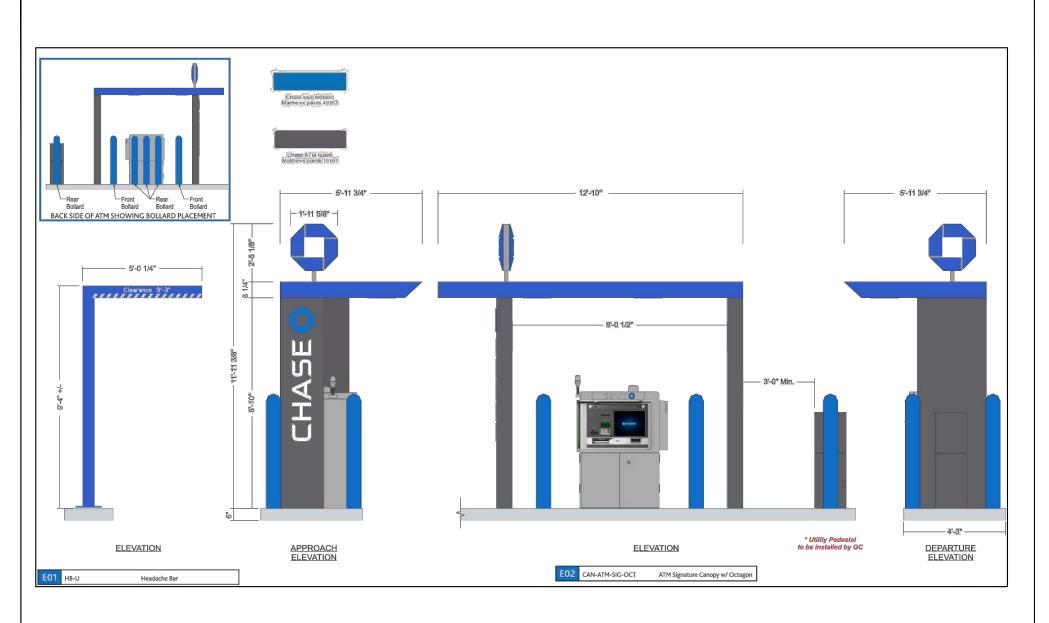
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City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Chase Bank - ATM	Building Permi	it #: <u>N/A</u>	Hydrology File #:		
DRB#: <u>N/A</u>	EPC#: N/A		Work Order#: <u>n/A</u>		
Legal Description: Portion of Tracts 10, 11	, and 12 of the	West Bluff Shoppin	g Center		
City Address: 5201 Ouray Road NW					
Applicant: Development Management Grou			Contact: Courtney Lynch		
Address: <u>4209 Gallatin Pike, Nashville, TN</u>					
Phone#:(615) 227-5863					
Other Contact: Golden Sands General Contr Address: 12200 N. Stemmons Frwy #305, D	ractors, Inc.	34	Contact: Holly Spence		
Phone#: (972) 232-7500	Fax#:N/A		E-mail: holly.spence@goldensandsgc.com		
TYPE OF DEVELOPMENT: PLAT (#					
IS THIS A RESUBMITTAL? Yes	X No				
DEPARTMENT X TRANSPORTATION	HYDRO	DLOGY/DRAINAGE			
Check all that Apply: TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION PAD CERTIFICATION ORADING PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT AN ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?	X BUILDING F CERTIFICAT PRELIMINA SITE PLAN SITE PLAN FINAL PLAT PPLIC SIA/ RELEA FOUNDATIO GRADING P SO-19 APPR PAVING PEI		SE OF FINANCIAL GUARANTEE ON PERMIT APPROVAL PERMIT APPROVAL OVAL RMIT APPROVAL PAD CERTIFICATION ER APPROVAL		
DATE SUBMITTED: 04/21/22	By: Courtne		FY)		
COA STAFF:		BMITTAL RECEIVED:			



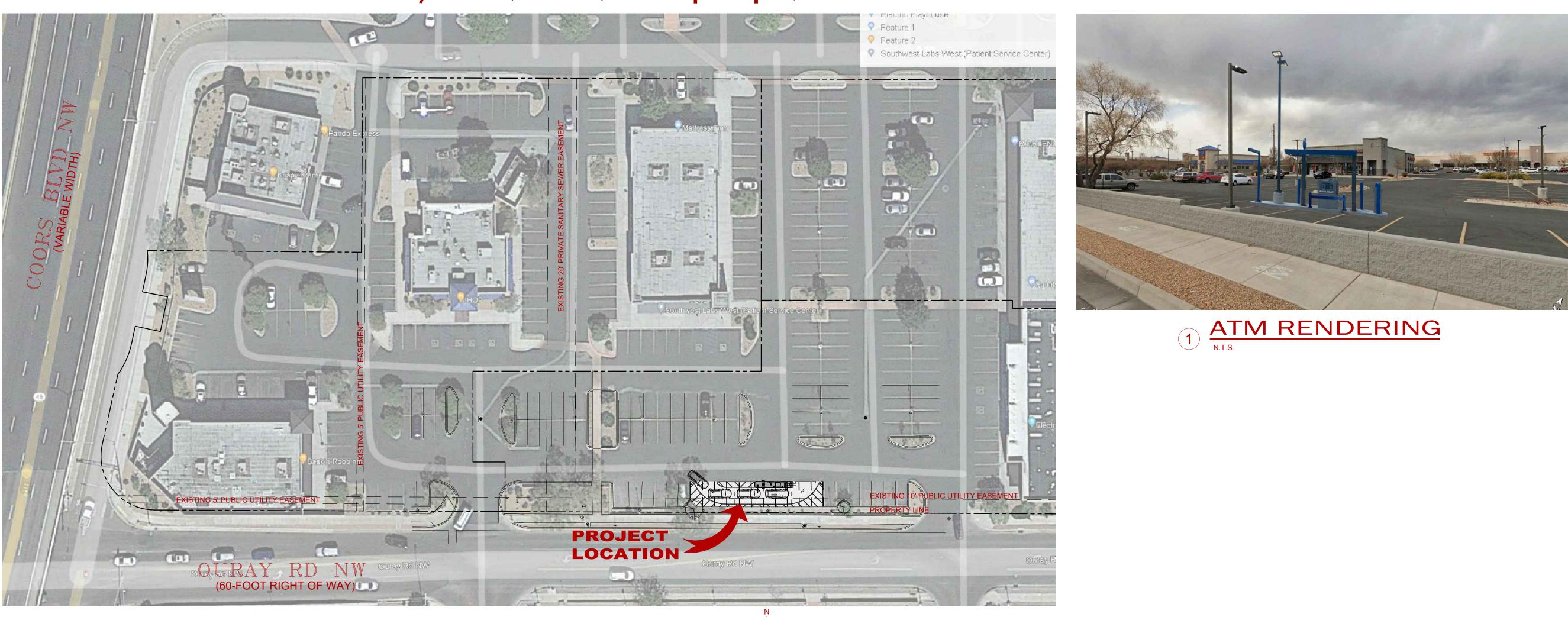


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nded or authorized for neuse by any party on extensions of such project or any other project. Any rease, including capying and/or modifying the document, without witten parmission from New Republic Design Co. for the specific purpose intended is a violation of feder



5201 Ouray Road, N.W., Albuquerque, New Mexico 87120 # C11126998891





7100 Westwind Dr. Suite 150 El Paso, Texas 79912

CHASE WEST BLUFF Drive-Up ATM

SCALE: 1" = 40'-0" LEGAL DESCRIPTION A PORTION OF TRACTS 10 & 11 WEST BLUFF CENTER SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FINAL CONSTRUCTION DOCUMENTS

SITE PLAN

CONSULTANTS

TEL: (915) 585-7028

TEL: (915) 585-7032

Electrical HENDERSON ENGINEERS

8311 W. Sunset Rd. Suite 240 Las Vegas, Nevada 89113

TEL: (702) 635-3538



El Paso, Tx. 79912 Ph: (915) 585-7028 angel@nraia.com

Members of the American Institute of Architects

INDEX OF DRAWINGS

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E-1	ELECTRICAL SYMB. & GENERAL NOTES
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E-7	ELECTRICAL SPECIFICATIONS

PROJECT DATA

ADDRESS:	5201 OURAY ROAD, N.W. ALBUQUERQUE, NEW MEXICO 87120
BUILDING OCCUPANCY	
SPRINKLERED: PARKING REQUIREMENT	
PROPOSED DRIVE-UP ATM TO E APPROVED RETAIL CENTER.	BE LOCATED ON EXISTING

LOCATION

5201 OURAY ROAD, N.W. ALBUQUERQUE, NEW MEXICO 87120

DEVELOPER / APPLICANT

GOLDEN SANDS GENERAL CONTRACTORS 12200 N. STEMMONS FRWAY #305 DALLAS, TEXAS 75234

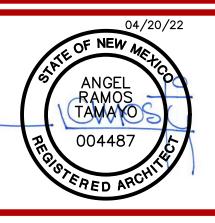
OWNER REP.

ssue Date

GOLDEN SANDS GENERAL CONTRACTORS 12200 N. STEMMONS FRWAY #305 DALLAS, TEXAS 75234 **BUILDING CODE**

2015 INTERNATIONAL BUILDING CODE

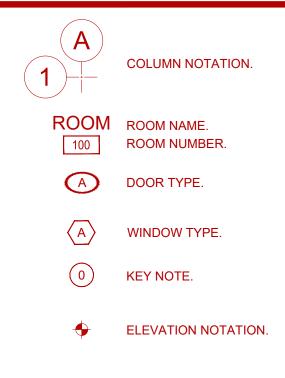
Final Construction Documents April 20th 2022

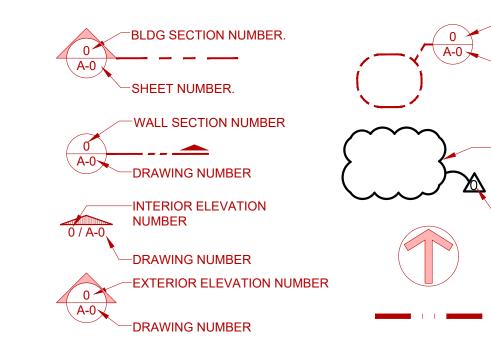


ABBREVIATIONS

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DL DEAD LOAD H/C HANDICAPPED OBS OBSCORE STOR STORAGE DN DOWN HD HAND OD OUTSIDE DIAMETER STRUC STRUCTURE 9AL)	DIV DIVISION						STL	STEEL		
DN DOWN HD HAND OD OUTSIDE DIAMETER STRUCT S		ND	H/C							
					OD	OUTSIDE DIAMETER				
D.O. DOOR OPENING HDCP HANDICAPPED OFF OFFICE SUSP SUSPENDED						OFFICE				
DOM DOMESTIC HDR HEADER OH OVERHEAD, OPPOSITE HAND SUSP SUSPENDED					OH		3038			
DS DOWNSPOLIT HDWE HARDWARE OPNG OPENING										
DWG DRAWING HEIGHT OPP OPPOSITE										
HM HOLLOW METAL OFD OVER FLOW DRAIN					OFD					

SYMBOLS





ND GROOVE **PENSER** SPENSER AND WASTE **/UNICATIONS** SS) JRB ASONRY TEEL ALL PRIME RTITION PER HOLDER SE ION STRIP TEEL THER SIDE ALL COVERING RITERS' LAVATORIES RITER'S LAVATORIES TION ATED **THERWISE NOTED** ILATOR BLE) **MPOSITION TILE** DGE BANDING ASS FIELD L COVERING ТН OSET ΓING OOFED (ING) VIRE FABRIC VIRE MESH OR ROUND BEFORE), FTER) Y LINÉ,

GENERAL PROJECT REQUIREMENTS

- THE INTENT OF THESE DRAWINGS AND SPECIFIC FOR CONTRACTORS IN ALL TRADES TO FURNISH COMPLETE PROJECT TO OWNER. CONTRACTOR FURNISH ALL LABOR, SUPERVISION, MATERIALS EQUIPMENT NECESSARY TO COMPLETE ALL DE AND NEW WORK SHOWN ON DRAWINGS LISTED DRAWING COVER SHEET. CONTRACTOR SHALL **RESPONSIBLE FOR ALL REALLOCATIONS OF EXI** SERVICES THAT ARE TO REMAIN AND WHICH INT WITH NEW WORK.
- CONTRACTOR SHALL COORDINATE WITH OWNE STARTING WORK FOR THE FOLLOWING: SITE AC RULES AND REGULATIONS, DUMPSTER REQUIRE SAFETY, DAILY CLEAN UP AND REMOVALS, PRO **ISOLATION REQUIREMENTS AND TIE-INS TO EXIS** SERVICES.
- 3. ALL WORK SHALL BE PERFORMED AS PER 2019 INTERNATIONAL BUILDING CODE AND LOCAL CO ORDINANCES AND OWNER'S INSURANCE GUIDE (LATEST EDITION).
- 4. ALL CONTRACTORS ARE RESPONSIBLE TO VERI CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCRI BETWEEN DRAWINGS AND FIELD CONDITIONS, S **REQUEST FOR INFORMATION TO ARCHITECT FO** RESOLUTION.
- ALL DIMENSIONS ON DRAWINGS ARE TO BE FIEL VERIFIED AND COORDINATED BY CONTRACTOR CONTRACTOR SHALL PROVIDE A COPY OF EACH DRAWING ELECTRONICALLY FOR APPROVAL BY REPRESENTATIVES, SHOP DRAWINGS SHALL INC BUT NOT LIMITED TO: CONSTRUCTION DETAILS, FIXTURES, MISCELLANEOUS STEEL, ETC.
- 8. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES FOR FLOOR OPENINGS AS REQUIR PROTECT PERSONNEL WORKING ON SITE.
- 9. ALL CONSTRUCTION PERSONNEL SHALL BE RES TO THE AREA OF THE SITE UNDER CONSTRUCTI OTHER AREAS OF THE SITE SHALL BE DEEMED OFF-LIMITS. CONTRACTOR'S PERSONNEL AND M ENTRANCE SHALL BE APPROVED IN ADVANCE B OWNER'S REPRESENTATIVES.
- 10. CONTRACTOR SHALL OBTAIN APPROVAL FROM FOR ALL TEMPORARY ELECTRICAL POWER TIE-I WATER HOOKUPS AND MATERIAL STORAGE REC FOR THEIR WORK. CONTRACTOR SHALL MAKE A NECESSARY ARRANGEMENTS FOR THEIR SUBCONTRACTORS.
- 11. CONTRACTOR SHALL, DURING JOB, MAINTAIN AL WORKING AREAS INCLUDING MATERIAL HANDLI STAGING AREAS, ENTRIES, EXITS, FIELD OFFICE TOOL BOX AREAS FREE FROM RUBBISH AND DE RUBBISH AND DEBRIS SHALL BE REMOVED FROM PREMISES DAILY. ALL AREAS SHALL BE KEPT BR CLEAN. EACH CONTRACTOR SHALL BE RESPONS CLEAN ANY DIRT/DUST THAT THE DEMOLITION A CONSTRUCTIONS WORK CAUSES ON SITE. AT TH COMPLETION OF THE PROJECT, ALL SURFACES LEFT CLEAN AND UNDAMAGED.
- 12. ANY DAMAGE DONE TO EXISTING BUILDING COM OR OWNER'S EQUIPMENT DURING DEMOLITION CONSTRUCTION SHALL BE REPLACED OR REPAI ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTO MATCH FINISHES/MATERIALS IN ALL AREAS AFF WORK.
- 13. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTION.
- 14. ALL WORK SHALL BE GUARANTEED INCLUDING I AND MATERIALS FOR A PERIOD OF ONE YEAR A FINAL COMPLETION OF THE PROJECT AND OWN ACCEPTANCE.
- 15. CONTRACTORS SHALL COORDINATE WITH THE (THE LOCATION OF ANY TRAILERS, STAGING ARE THE LOCATION OF ANY EQUIPMENT INCLUDING TO BE USED AT THE SITE.
- 16. CONTRACTOR SHALL PROVIDE TEMPORARY TOIL FACILITIES FOR ALL CONSTRUCTION PERSONNE LOCATION OF FACILITIES SHALL BE COORDINAT OWNER'S DESIGNATED REPRESENTATIVE.
- 17. PRIOR TO THE COMMENCEMENT OF ANY CONST ACTIVITIES, THE CONTRACTOR SHALL SUBMIT 1 THE FOLLOWING DOCUMENTS: A. COMPREHENSIVE SCHEDULE OF ALL PROF SUBSTITUTIONS TO BE ISSUED ON THIS PROJECT ANY EQUIPMENT, MATERIALS AND/OR ASSEMBL B. A COMPREHENSIVE SUBMITTAL LOG WHIC INDICATE SUBMISSION DATES FOR EACH DOCUM BE REVIEWED BY A/E

ARCHITECTURAL MATERIAI



PLASTER, MORTAR, SAND, GYPSUM.

- —DETAIL NUMBER OR <a>A> ENLARGED AREA -DRAWING NUMBER -REVISION CLOUD _____Ç -REVISION # NORTH ARROW. ALIG

PARTITION TYPE.

DOOR.

CENTERLINE.

BREAKLINE.

ALIGN SURFACES.

METAL STUD PARTITION.

EXISTING PARTITION.

MATCH LINE.

FICATIONS IS SH A PR SHALL S, AND	18.	THE EXECUTION OF ALL THIRD PARTY TESTING/INSPECTION PROCEDURES SHALL BE FACILITATED BY OWNER.			
EMOLITION D ON BE KISTING	19.	THE EXECUTION OF ALL THIRD PARTY TESTING/INSPECTION PROCEDURES SHALL BE FACILITATED BY OWNER.			
NTERFERE ER BEFORE CCESS, REMENT, DTECTIVE USTING	20.	CONTRACTORS SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL-COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER FOR EXACT LOCATION OF ALL ITEMS.		5 Albug	
9 ODES, NEC, ELINES RIFY SITE REPANCIES SUBMIT	21.	THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH TRADE WITH OWNER'S PROJECT MANAGER AND OTHER CONTRACTORS WHO MAY BE ON SITE ON OTHER PROJECTS, SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION FOR A PROPER AND WELL COORDINATED INSTALLATION.			
OR	22.	CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH OWNER TO PREVENT DISRUPTION TO BUSINESS OPERATIONS.			
r, Ch Shop Y owner's Nclude	23.	ALL MATERIALS AND PRODUCTS MUST BE INSTALLED BY CERTIFIED PERSONELL AND MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS.			
S, LIGHTING	24.	THIS KIOSK WILL BE LOCATED A DISTANCE GREATER THAN 10'-0" FROM PROPERTY LINES OR INTERIOR LOT LINES.			
IRED TO	25.	THIS KIOSK WILL NOT BE LOCATED IN A FLOOD-PRONE AREA.		G	
ESTRICTED TION. ALL) MATERIAL	26.	THIS KIOSK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).		G	
BY	27.	THE OWNER SHALL POST A SUITABLE PLACARD, SECURELY FASTENED IN PLACE, READILY VISIBLE WITH ALL DESIGN CRITERIA INFORMATION.		122) -
1 OWNER -INS, EQUIRED ALL	28.	UNLESS NOTED OTHERWISE MATERIALS SHALL BE AS FOLLOWS: ALUMINUM SHAPES - 6061-T6 ALUMINUM SHEET - 5052-H32 STEEL SHAPES - A500		Tel: 972	2
ALL ∟ING, ≿E, AND	20	STEEL PLATE (NOT BENT) - A36 STEEL SHEET (BENT) - A635-1010 BOLTS: GRADE 5 UNLESS NOTED OTHERWISE.			
EBRIS. OM BROOM NSIBLE TO	30.	ALL WELDS BY A CERTIFIED WELDER IN CONFORMANCE WITH "AWS" 1.1 STANDARD FOR ALUMINUM, AND			
AND THE S SHALL BE		"AWS" 1.2 STANDARD FOR STEEL CONTRACTOR TO COMPACT BASE OF FOUNDATION PRIOR TO CONCRETE PLACEMENT TO ENSURE ALLOWABLE			
MPONENTS NAND/OR	32.	BEARING OF 3000 PSF IS OBTAINED. ALL CONCRETE IN ACCORDANCE WITH ACI			
AIRED TO FOR SHALL FECTED BY	33.	STANDARDS-AIR ENTRAINED 4-6%. ALL REINFORCING STEEL TO BE AASTM A615 FY=60 KSI.			
		MS TO BE INSTALLED IN FILED: KIOSK COMPONENT CONNECTION TO FOUNDATIONS.			
LABOR	2.	ROOF TO KIOSK COMPONENT CONNECTIONS.		Issue	e
AFTER NER'S	3. 4.	ELECTRICAL METER CONNECTION AND DISCONNECT. ALL SITE WORK INCLUDING FOUNDATIONS.			_
E OWNER REAS AND G CRANES					_
DILET IEL. TED WITH					
STRUCTION TO THE A/E				Construction Parts	
DPOSED ECT FOR BLIES. ICH SHALL JMENTS TO				issue Date April 20th Seal/Signatu	
LSYM	BC	DLS			
I.				Project Name WEST BLUI	
				Sheet Title	
				Sheet Number	r
	_	NEW REPUBLIC JOB: 2202-002	- 1		

NEW REPUBLIC JOB: 2202-002



DRIVE-UP ATM 5201 OURAY ROAD, N.W. QUERQUE, NEW MEXICO 87120



GOLDEN SANDS GENERAL CONTRACTORS

200 N Stemmons Frwy #305 Dallas, Texas 75234 72-232-7500 | Fax: 972-499-2422



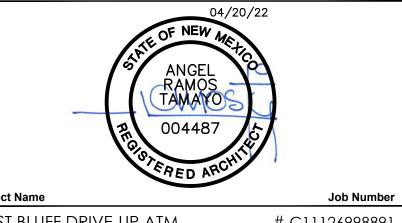
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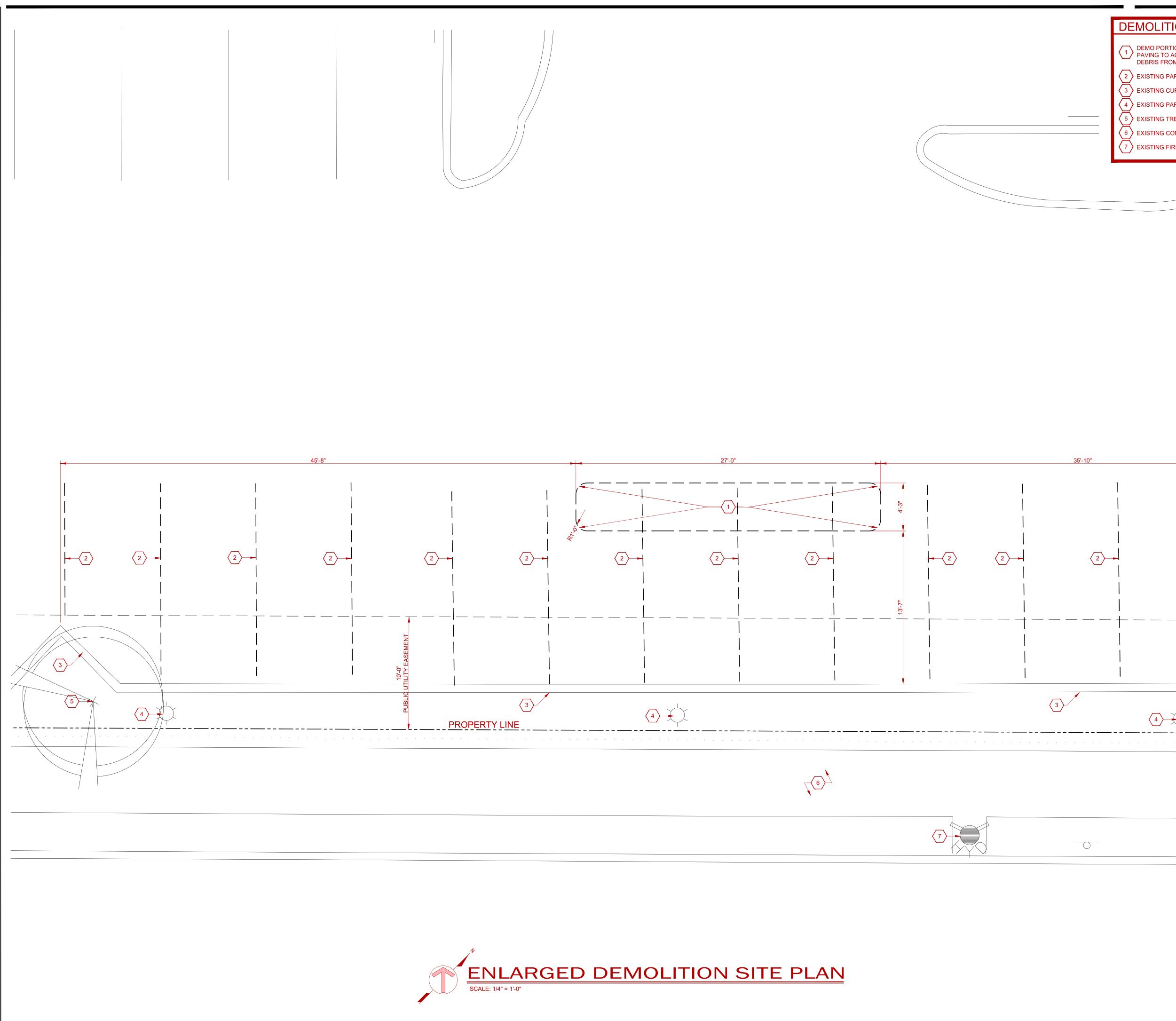


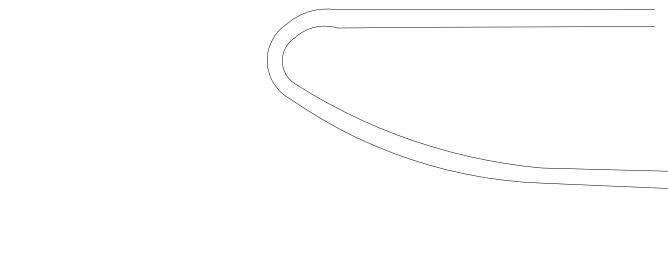
JFF DRIVE-UP ATM

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GENERAL NOTES







DEMOLITION KEYED NOTES

DEMO PORTION OF EXISTING ASPHALT PAVING/CONC. PAVING TO ACCOMMODATE NEW WORK, DISPOSE OF ALL DEBRIS FROM SITE - **SAW CUT AT EDGE OF DEMOLITION**. \langle 2 \rangle EXISTING PARKING SPACES AND STRIPING TO BE REMOVED $\overline{3}$ EXISTING CURB AND GUTTER TO REMAIN UNDISTURBED. $\langle 4 \rangle$ EXISTING PARKING LIGHT POLE TO REMAIN UNDISTURBED. \rangle EXISTING TREE TO REMAIN UNDISTURBED.

EXISTING CONCRETE SIDEWALK TO REMAIN UNDISTURBED > EXISTING FIRE HYDRANT TO REMAIN UNDISTURBED.



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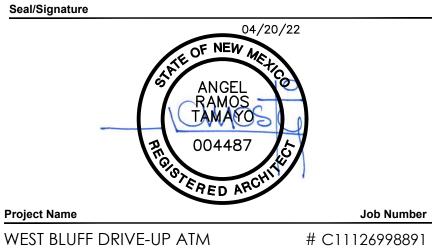
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WEST BLUFF DRIVE-UP ATM

Sheet Title

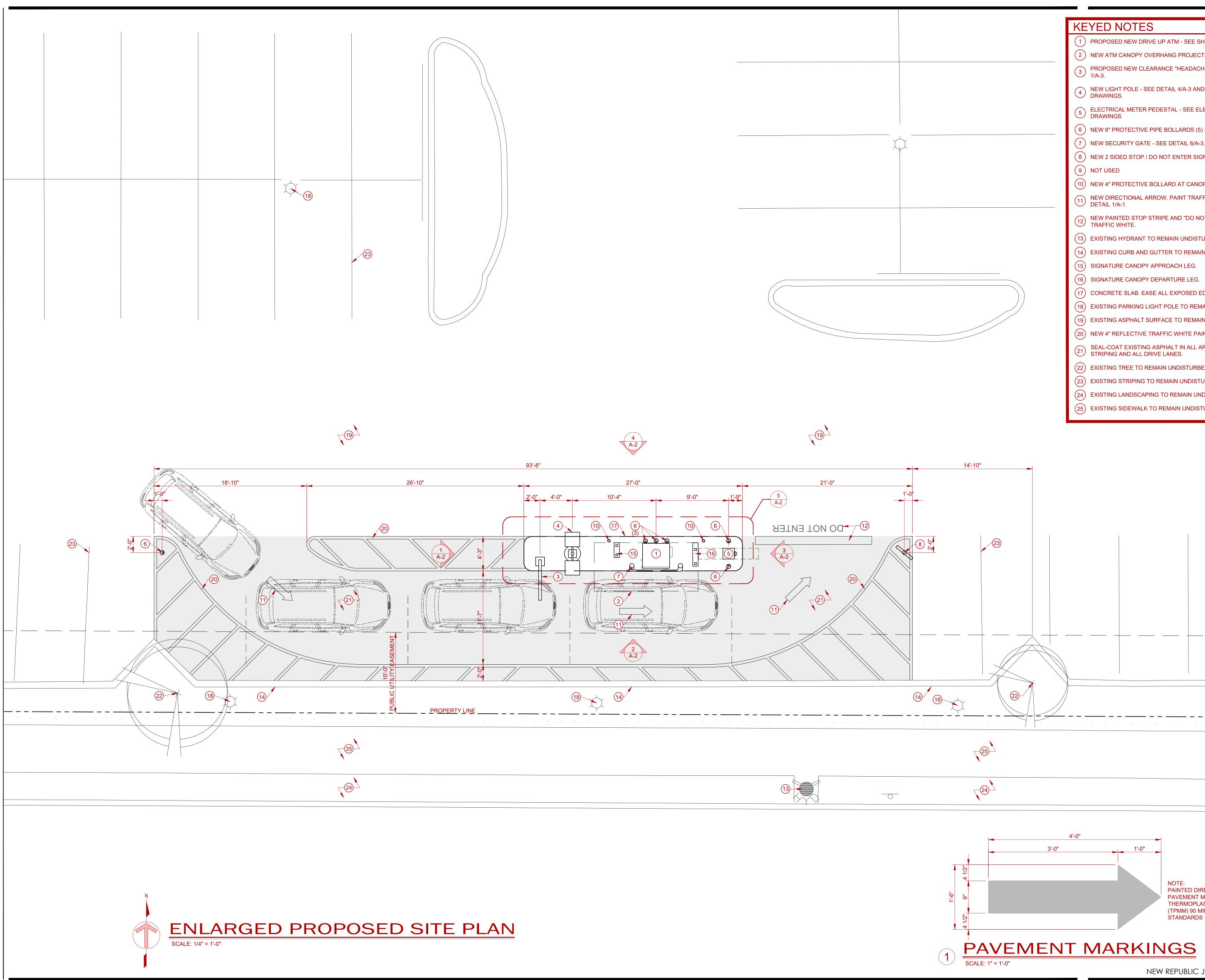
ENLARGED DEMO SITE PLAN

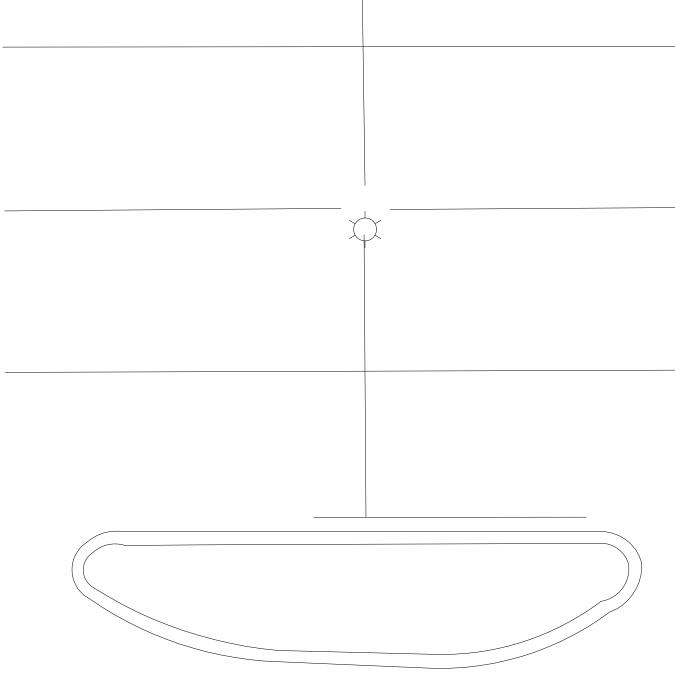
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NEW REPUBLIC JOB: 2202-002

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KEVED NOTES

KE	YED NOTES
(1)	PROPOSED NEW DRIVE UP ATM - SEE SHEET A-2.
2	NEW ATM CANOPY OVERHANG PROJECTION.
3	PROPOSED NEW CLEARANCE "HEADACHE BAR" - SEE DETAIL 1/A-3.
4	NEW LIGHT POLE - SEE DETAIL 4/A-3 AND ELECTRICAL DRAWINGS.
5	ELECTRICAL METER PEDESTAL - SEE ELECTRICAL DRAWINGS
6	NEW 6" PROTECTIVE PIPE BOLLARDS (5) - SEE DETAIL 3/A-3.
7	NEW SECURITY GATE - SEE DETAIL 6/A-3.
8	NEW 2 SIDED STOP / DO NOT ENTER SIGN - SEE DETAIL 5/A-3.
9	NOT USED
10	NEW 4" PROTECTIVE BOLLARD AT CANOPY LEGS (2).
(11)	NEW DIRECTIONAL ARROW, PAINT TRAFFIC WHITE - SEE DETAIL 1/A-1.
(12)	NEW PAINTED STOP STRIPE AND "DO NOT ENTER" - PAINT TRAFFIC WHITE.
(13)	EXISTING HYDRANT TO REMAIN UNDISTURBED.
(14)	EXISTING CURB AND GUTTER TO REMAIN UNDISTURBED.
(15)	SIGNATURE CANOPY APPROACH LEG.
(16)	SIGNATURE CANOPY DEPARTURE LEG.
17	CONCRETE SLAB. EASE ALL EXPOSED EDGES.
(18)	EXISTING PARKING LIGHT POLE TO REMAIN UNDISTURBED.
(19)	EXISTING ASPHALT SURFACE TO REMAIN UNDISTURBED.
20	NEW 4" REFLECTIVE TRAFFIC WHITE PAINT STRIPING.
21)	SEAL-COAT EXISTING ASPHALT IN ALL AREA RECEIVING NEW STRIPING AND ALL DRIVE LANES.
22	EXISTING TREE TO REMAIN UNDISTURBED.
23	EXISTING STRIPING TO REMAIN UNDISTURBED.
24	EXISTING LANDSCAPING TO REMAIN UNDISTURBED.
(25)	EXISTING SIDEWALK TO REMAIN UNDISTURBED.



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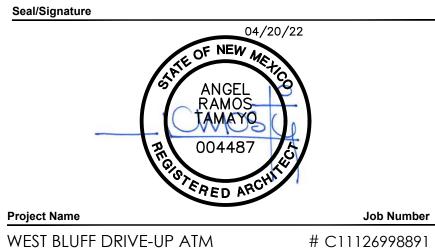
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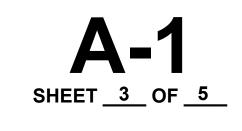
WEST BLUFF DRIVE-UP ATM

Sheet Title

ENLARGED PROPOSED SITE PLAN

Job Number

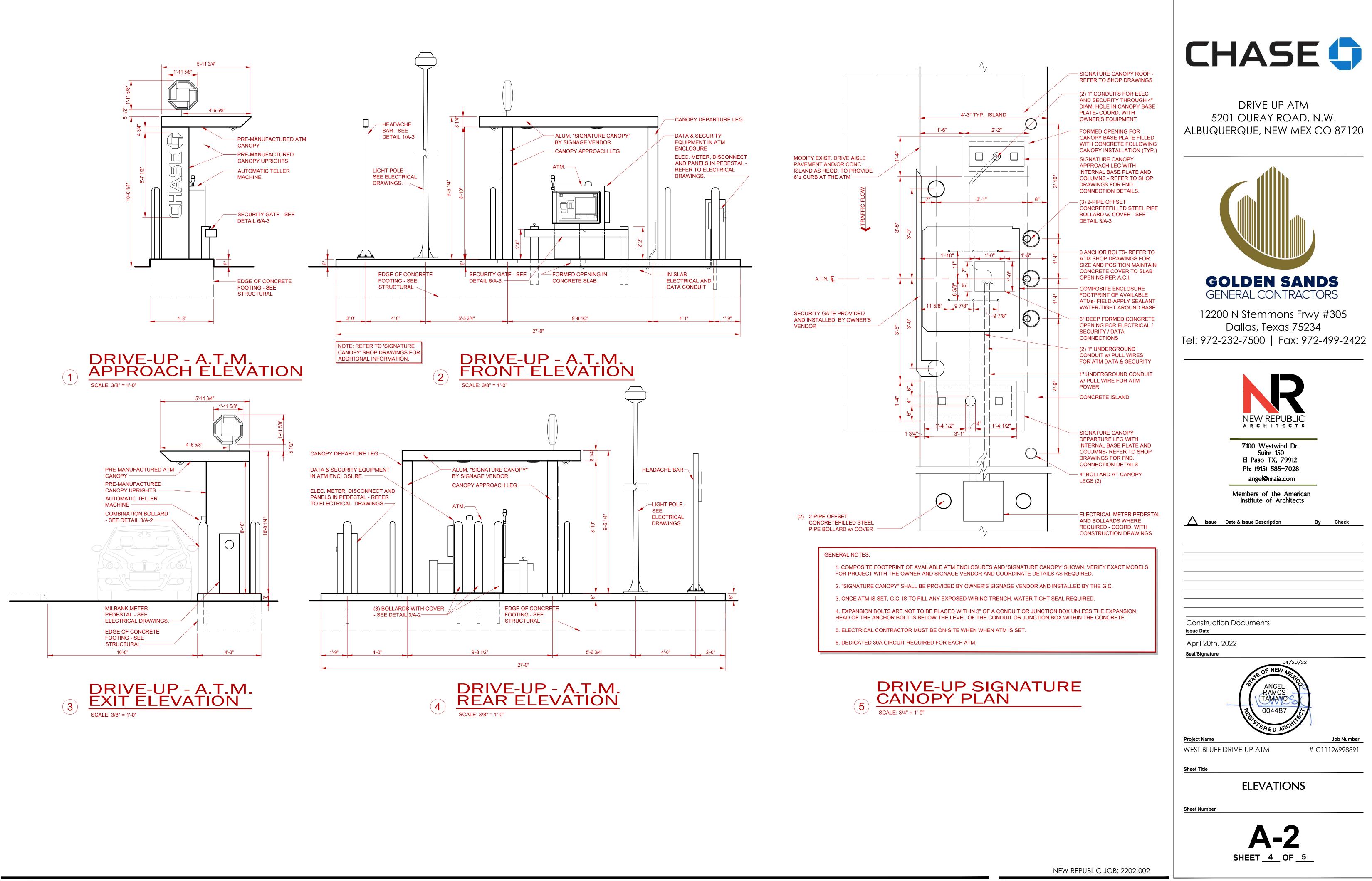
Sheet Number

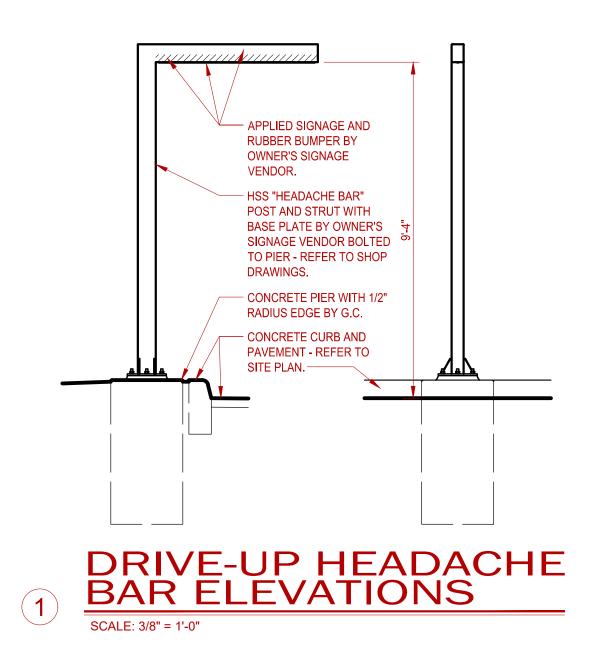


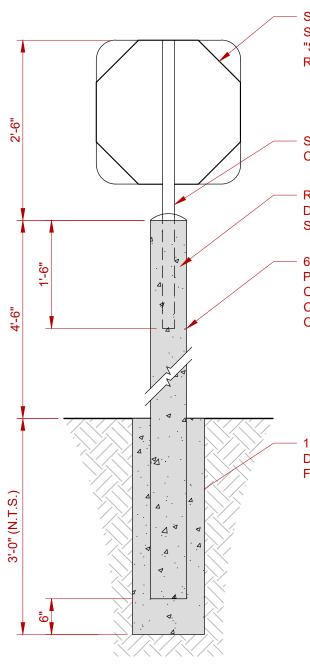
1'-0" NOTE: PAINTED DIRECTIONAL PAVEMENT MARKINGS-USE THERMOPLASTIC MARKINGS (TPMM) 90 MILS AS PER DOT STANDARDS

4'-0"

NEW REPUBLIC JOB: 2202-002







STANDARD DIRECTIONAL SIGNS. ONE SIDE TO READ "STOP", OTHER SIDE TO READ "DO NOT ENTER".

SIGN POST EMBEDED IN CONCRETE BOLLARD.

ROUNDED CONCRET CAP. DRILL HOLE IN CAP FOR SIGN POST.

6" DIA, STANDARD STEEL PIPE. FILL WITH CONCRETE. PROVIDE CHASE BLUE POLYMER COVER.

12" DIAMETER (MIN.), 3"-0" DEEP (MIN.) CONCRETE FOOTING.



2

HAND HOLE.-AREA LIGHT FIXTURE POLE AND BASE SHROUD ASSEMBLY - REFER TO LIGHT FIXTURE SCHEDULE. -



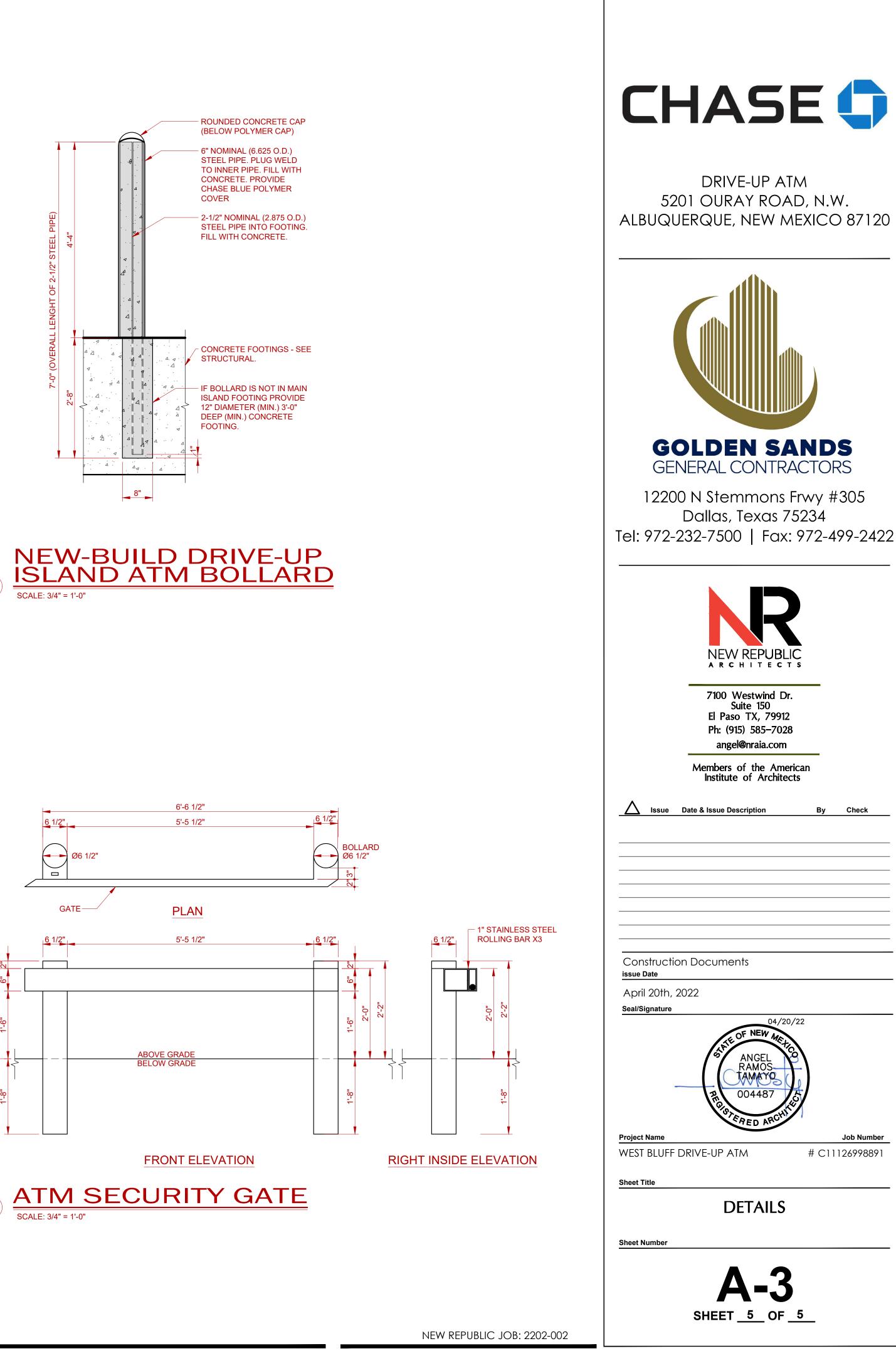


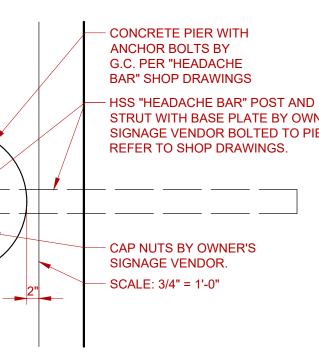


TWO-HEAD LIGHT POLE -PLAN SEE ELEC. DRAWINGS. GATE----1" SEAL-TILE CONDUIT FROM SECURITY EQUIP. LOCATION 5'-5 1/2" 6 1/2" PREFERRED FINISH GRADE POSITION. CONDUITS FOR ELECTRICAL CIRCUITING AND GROUND ROD -REFER TO ELECTRICAL 1. DRAWINGS AND FIXTURE SPECIFICATIONS FOR SIZES AND POSITIONS. 3/4" X 25" X 3" HOT-DIPPED ABOVE GRADE BELOW GRADE GALVANIZED STEEL THREADED ANCHOR BOLTS - UNDISTURBED SOIL OR ENGINEERED COMPACTED FILL AS REQUIRED SECTION LEFT INSIDE ELEVATION 4 LIGHT POLE DETAIL SCALE: 3/4" = 1'-0" 6

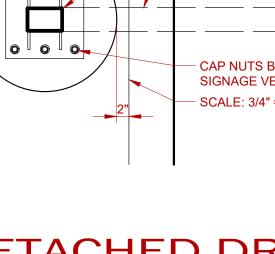
DETACHED DRIVE-UP HEADACHE BAR PLAN SCALE: 3/4" = 1'-0"











PLAN

