

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 29, 2022

Courtney Lynch
Development Management Group. LLC
4209 Gallatin Pike
Nashville, TN 37216

Re: Chase Bank - ATM
5201 Ouray Rd. NW
Traffic Circulation Layout
Architect's Stamp 04-20-22 (H11-D059E)

Dear Mr. Lynch,

Based upon the information provided in your submittal received 04-22-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

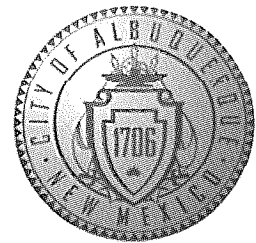
1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Provide Lease agreement with property owner.
3. Due to proposing ATM at some of parking stalls, Provide parking calculation showing the rest of the parking spaces still meet the requirement for this property.
4. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
5. Provide 20 ft long space for each car in the drive-through.
6. Last car in the drive-through is blocking the parking space adjacent to the ATM drive-through. Please address this concern.
7. Provide the drive aisle width from the ATM to the north landscape island.
8. Please specify the City Standard Drawing Number when applicable.
9. Keynote 8: Provide details for "STOP" "DO NOT ENTER" sign.
10. Provide shared access agreement.
11. Please provide a letter of response for all comments given.
12. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

\ma via: email
C: CO Clerk, File

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Chase Bank - ATM **Building Permit #:** N/A **Hydrology File #:** N/A
DRB#: N/A **EPC#:** N/A **Work Order#:** n/A
Legal Description: Portion of Tracts 10, 11, and 12 of the West Bluff Shopping Center
City Address: 5201 Ouray Road NW

Applicant: Development Management Group, LLC **Contact:** Courtney Lynch
Address: 4209 Gallatin Pike, Nashville, TN 37216
Phone#: (615) 227-5863 **Fax#:** N/A **E-mail:** clynch@dmgnashville.com

Other Contact: Golden Sands General Contractors, Inc. **Contact:** Holly Spence
Address: 12200 N. Stemmons Frwy #305, Dallas, TX 75234
Phone#: (972) 232-7500 **Fax#:** N/A **E-mail:** holly.spence@goldensandsgc.com

TYPE OF DEVELOPMENT: ☐ PLAT (# of lots) ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

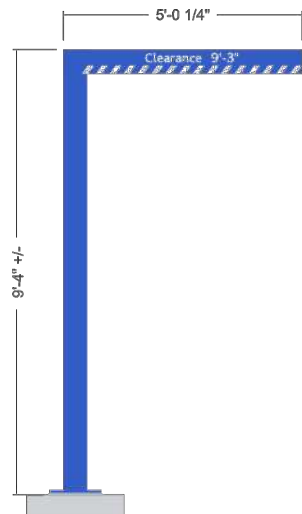
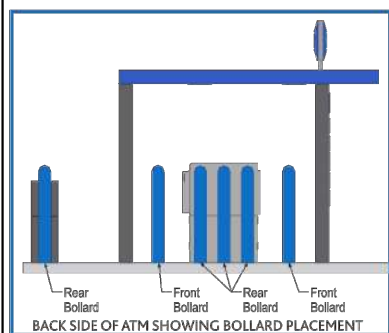
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 04/21/22 **By:** Courtney Lynch

COA STAFF:

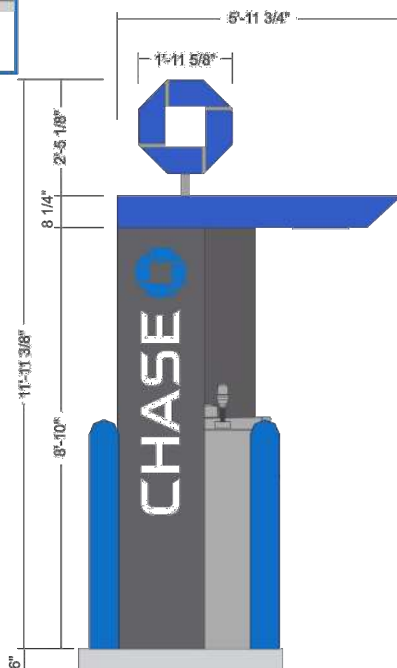
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

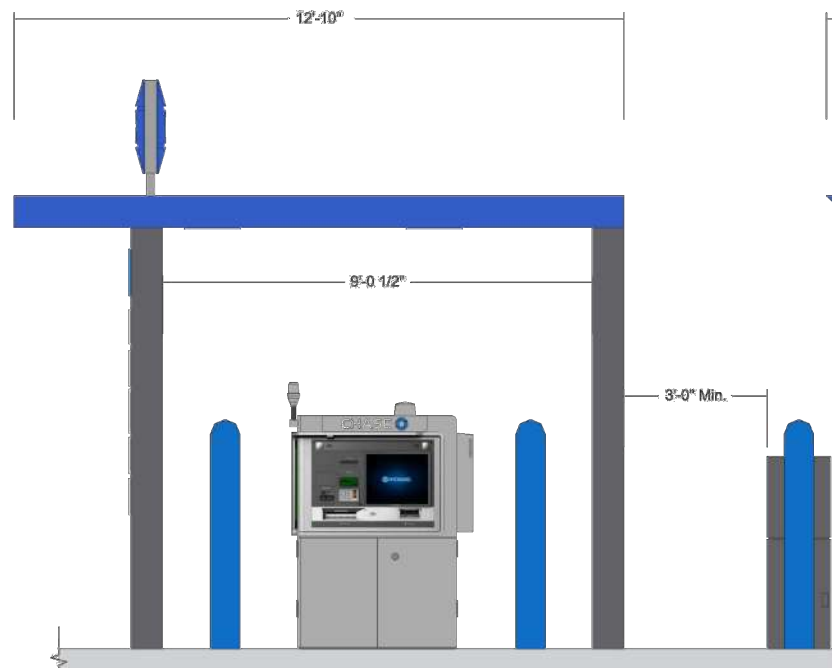


ELEVATION

E01 HB-U Headache Bar



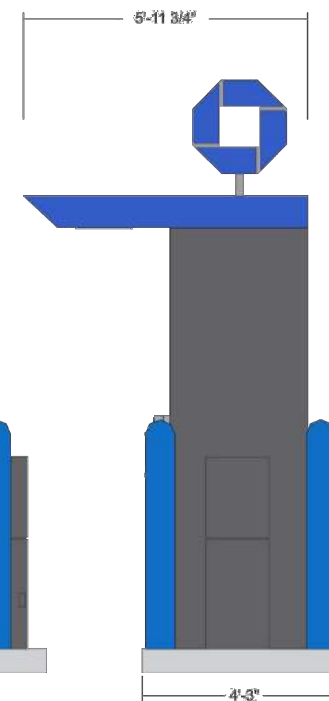
APPROACH
ELEVATION



ELEVATION

E02 CAN-ATM-SIG-OCT ATM Signature Canopy w/ Octagon

* Utility Pedestal
to be installed by GC



DEPARTURE
ELEVATION



7100 Westwind Dr.
Suite 150
El Paso TX, 79912
Ph: (915) 585-7028
angel@nrna.com

Members of the American
Institute of Architects

Project:

CHASE

SAN MATEO BLVD DRIVE-UP ATM

2529 SAN MATEO BLVD NE ALBUQUERQUE, NM

Sheet Title:

Elevations

Sheet Number:

A-6.4

Issue Date: July 30th, 2021

Project Number: 2117-001

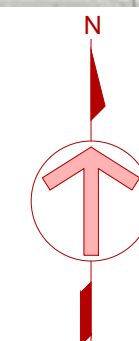


WEST BLUFF Drive-Up ATM

5201 Ouray Road, N.W., Albuquerque, New Mexico 87120 # C11126998891



① **ATM RENDERING**
N.T.S.



SITE PLAN

SCALE: 1" = 40'-0"

LEGAL DESCRIPTION
A PORTION OF TRACTS 10 & 11
WEST BLUFF CENTER SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

FINAL CONSTRUCTION DOCUMENTS

CONSULTANTS

Architectural NEW REPUBLIC ARCHITECTS

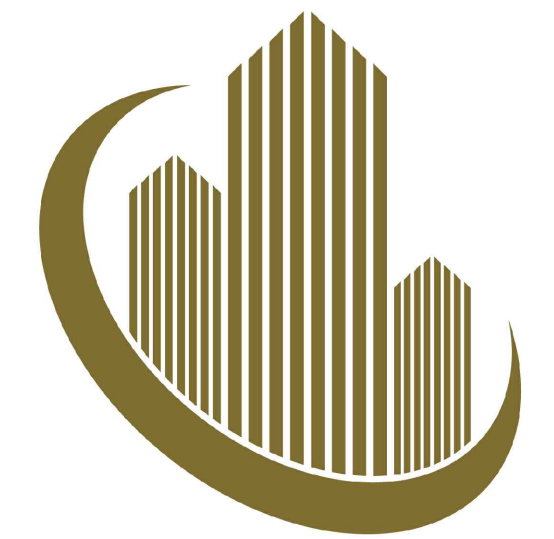
7100 Westwind Dr. Suite 150
El Paso, Texas 79912

TEL: (915) 585-7028
TEL: (915) 585-7032

Electrical HENDERSON ENGINEERS

8311 W. Sunset Rd. Suite 240
Las Vegas, Nevada 89113

TEL: (702) 635-3538



GOLDEN SANDS
GENERAL CONTRACTORS



7100 Westwind Dr.
Suite 150
El Paso, Tx. 79912
Ph: (915) 585-7028
angel@nraia.com

Members of the American
Institute of Architects

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PROJECT DATA

ADDRESS: 5201 OURAY ROAD, N.W.,
ALBUQUERQUE, NEW MEXICO 87120

BUILDING CODE: 2015 I.B.C.
BUILDING OCCUPANCY: "B" BUSINESS
SQUARE FOOTAGE: 1,651.74 Sq. Ft.
NEW ATM KIOSK: 502.62 Sq. Ft.
OCCUPANCY LOAD: N/A
CONSTRUCTION TYPE: II-B
SPRINKLERED: N/A
PARKING REQUIREMENTS:

PROPOSED DRIVE-UP ATM TO BE LOCATED ON EXISTING
APPROVED RETAIL CENTER.

LOCATION

5201 OURAY ROAD, N.W.
ALBUQUERQUE, NEW MEXICO 87120

DEVELOPER / APPLICANT

GOLDEN SANDS GENERAL CONTRACTORS
12200 N. STEMMONS FRWAY #305
DALLAS, TEXAS 75234

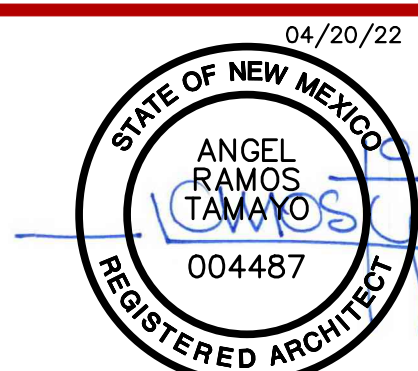
OWNER REP.

GOLDEN SANDS GENERAL CONTRACTORS
12200 N. STEMMONS FRWAY #305
DALLAS, TEXAS 75234

BUILDING CODE

2015 INTERNATIONAL BUILDING CODE

Issue Date: Final Construction Documents
April 20th 2022



CHASE - ALBUQUERQUE, NM. - JOB: C11126998891

A		E	EAST	HMI	HOLLOW METAL INSULATED	PAL	PERSONNEL MATERIAL AIRLOCK	SUSP	SUSPENDED
A/C	AIR CONDITIONING	EA	EACH	HOR	HORIZONTAL	P LAM	PLASTIC LAMINATE	SW	SHEET VINYL SWITCH
ACC	ACCESS	EF	ELECTRICAL PLASTIC CONTRACTOR	HP	HORIZONTAL PART	PR	PARTITION	SY	SQUARE YARD
ACOUS	ACOUSTIC (AL)	EHD	EACH FACE	HR	HIGH POINT	PRTN	PARTITION	SYM	SYMMETRY (ICAL)
ADD	ADDENDUM	EJ	ELECTRIC HAND DRYER	HTG	HANDRAIL, HOUR	PVMT	PAVEMENT	SYS	SYSTEM
ADJ	ADJACENT	EJCP	EXPANSION JOINT	HTV	HEATING	PC	PLUMBING/PIPING CONTRACTOR		
ADJUST	ADJUSTABLE	EL	EXPANSION JOINT COVER PLATE	HTR	HEATER	PCC	PRECAST CONCRETE		
AFF	ABOVE FINISH FLOOR	EL ELEV	ELEVATION	HVAC	HEATING / VENTILATING /	PCF	POUNDS PER CUBIC FOOT		
AGGR	AGGREGATE	ELEC	ELECTRIC (AL)		AIR CONDITIONING	PERF	PERFORATED	T	TREAD
AHU	AIR HANDLING UNIT	EMER	EMERGENCY	HW	HOT WATER	PERM	PERMANENT	T&G	TONGUE AND GROOVE
ALUM	ALUMINUM	ENCL	ENCLOSURE			PIR	PICTURE RAIL	TB	TOWEL BAR
ALT	ALTERNATE	EQ	EQUAL			PL	PLATE	TD	TOWEL DISPENSER
AP	ACCESS PANEL	EQUIP	EQUIPMENT			PLAS	PLASTER	TDW	TOWEL DISPENSER AND WASTE
APPROX	APPROXIMATE (LY)	EP	ELECTRICAL PANEL	IBC	INTERNATIONAL BUILDING CODE	PLAST	PLASTIC	TEL	TELEPHONE
ARCH	ARCHITECTURAL	EPDM	ETHYLENE PROPYLENE	ID	INSIDE DIAMETER	PLBG	PLUMBING	TELECOM	TELECOMMUNICATIONS
ASPH	ASPHALT		DIENE POLYMER	IN	INCH OR INCHES	PLYWD	PLYWOOD	TEMP	TEMPORARY
AVG	AVERAGE	EMT	ELECTRICAL METAL TUBE	INCL	INCLUDE (ING)	PM	PICTURE MOLD	TERR	TERRAZZO
ATC, ACT	ACOUSTICAL CEILING	EST	ESTIMATE (D)	INSUL	INSULATE (D), (ION)	PMF	REMODLED FILLER	THK	THICK (NESS)
ARU	TILE	ETR	EXISTING TO REMAIN	INT	INTERIOR	PNL	PANEL	THRU	THROUGH
	AIR ROTATION UNIT	EWC	ELECTRIC WATER COOLER	INV	INVERT	PNT	PAINT	TBK	TACKBOARD
		ES	EMERGENCY STOP			POLYSO	POLYISOCYANURATE INSULATION	TO	TOP OF
B		ES GWB	EXTERIOR SHEATHING	J	JOIST	PREP	PATCH & REPAIR	TOC	TOP OF CURB
BA	BREATHING AIR	EW	GYPSPUM WALL BOARD	JAN	JANITOR	PR	PAIR	TOL	TOLERANCE
BD	BOARD	EW/SS	EYE WASH/SAFETY SHOWER	JCT	JUNCTION	PRL	PIPE RAIL	TOM	TOP OF MASONRY
BET	BETWEEN	EXH	EXHAUST	JT	JOINT	PROJ	PROJECT (ION)	TOP	TOP OF PIER
BIT	BITUMINOUS	EXIST, EX	EXISTING			PROP	PROPERTY	TOS	TOP OF STEEL
BLGD	BUILDING	EXP	EXPANSION, EXPAND	K	KNOCKED DOWN	PDF	POUNDS PER SQUARE FOOT	TOW	TOP OF WALL
BLK	BLOCK	EXPO	EXPOSED	K		PSI	POUNDS PER SQUARE INCH	T&P	TAPE AND PRIME
BLKG	BLOCKING	EXT	EXTERIOR			PT	PRESSURE TREATED	TP	TOILET PARTITION
BM	BENCHMARK	EXTR	EXTRUDED			PTD	PAINTED	TPH	TOILET PAPER HOLDER
BN	BULLNOSE					PVC	POLYVINYL CHLORIDE	TRANS	TRANSVERSE
BO	BOTTOM OF			L	LENGTH, LONG			TS	TERMINATION STRIP
BOC	BOTTOM OF CURB	F	FIRE ALARM	LAB	LABORATORY	Q	QUART	T/S	TOP OF STEEL
BOT	BOTTOM	FAB	FABRICATE	LAM	LAMINATE (D)	QT	QUARRY TILE	TV	TELEVISION
BRD	BOARD	FAP	FIRE ALARM CONTROL PANEL	LAV	LAVATORY	QUAN	QUANTITY	TYP	TYPICAL
BRG	BEARING	FD	FLOOR DRAIN	LF	LEFT FOOT (FEET)			TYPPOS	TYPICAL, OTHER SIDE
BRK	BRICK	FE	FOUNDATION	LH	LEFT HAND			TWC	TEXTILE WALL COVERING
BSMT	BASEMENT	FNDN	FOUNDATION	LL	LIVE LOAD	R	RISER, RADIUS	U	UNIT HEATER
BUR	BUILT-UP-PROOF	FEC	FIRE EXTINGUISHER CABINET	LLH	LONG LEG HORIZONTAL	R		UC	UNDERCUT
		FF	FINISHED FLOOR	LLV	LONG LEG VERTICAL	RA	RETURN AIR	UH	UNDERWRITER'S LAVATORIES
C		FG	FIBERGLASS	LONG	LONGITUDINAL	RAD	RADIUS	UL	UNDERWRITER'S LAVATORIES
CAB	CABINET	FH	FLOOR HATCH	LOUV	LOUVER	RB	RUBBER BASE	ULC	UNDERWRITER'S LAVATORIES
CB	CATCH BASIN	FHC	FIRE HOSE CABINET	LP	LOW POINT	RC	REFLECTED CEILING		CERTIFICATION
CCT	CUBICLE CURTAIN TRACK	FIG	FINISH (ED)	LSD	LIQUID SOAP DISPENSER	RCV	RECEIVING	UNEX	UNEXCAVATED
CEM	CEMENT	FIN	FINISH (ED)	LT	LIGHT	ROD	ROOF DRAIN	UNF	UNFINISHED
CER	CERAMIC	FIXT	FIXTURE	LW	LONG WAY	RECP	RECEPTACLE	UON	UNLESS OTHERWISE NOTED
CF	CUBIC FOOT (FEET)	FL	FLANGE	M	MAGNETIC	REF	REFERENCE	UR	URINAL
CFM	CUBIC FOOT PER MINUTE	FLASH	FLASHING	MAG	MATERIAL	REFR	REFRIGERATOR,	UV	UNIT VENTILATOR
CFMF	COLD FORMED METAL FRAMING	FLEX	FLEXIBLE	MAL	MATERIAL AIRLOCK		REFRIGERATION		
CFR	CODE OF FEDERAL REGULATIONS	FLR	FLOOR (ING)	MANUF	MANUFACTURER	REINF	REINFORCE (D), (ING)		
CG	CORNER GUARD	FLOOR	FLOOR (ING)	MAR	MARBLE	REOCD	REQUIRED		
CI	CAST IRON	FOC	FACE OF CONCRETE	MAS	MASONRY	RES	RESILIENT	V	VARIES (ABLE)
CIP	CAST IN PLACE	FOM	FACE OF MASONRY	MAT	MATERIAL	RET	RETURN, RETAINING	VB	VINYL BASE
CJ	CONTROL JOINT	FOP	FACE OF PARTITION	MAX MDO	MAXIMUM MEDIUM DENSITY OVERLAY	REV	REVISION (S), REVISED	VC	VINYL COVE
CL									

	COLUMN NOTATION.		BLDG SECTION NUMBER.		DETAIL NUMBER OR ENLARGED AREA DRAWING NUMBER		PARTITION TYPE.
	ROOM NAME. ROOM NUMBER.		WALL SECTION NUMBER DRAWING NUMBER		REVISION CLOUD		METAL STUD PARTITION.
	DOOR TYPE.		INTERIOR ELEVATION NUMBER DRAWING NUMBER		REVISION #		EXISTING PARTITION.
	WINDOW TYPE.		EXTERIOR ELEVATION NUMBER DRAWING NUMBER		NORTH ARROW.		DOOR.
	KEY NOTE.				MATCH LINE.		CENTERLINE.
	ELEVATION NOTATION.						BREAKLINE.
							ALIGN SURFACES.

1. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS FOR CONTRACTORS IN ALL TRADES TO FURNISH A COMPLETE PROJECT TO OWNER. CONTRACTOR SHALL FURNISH ALL LABOR, SUPERVISION, MATERIALS, AND EQUIPMENT NECESSARY TO COMPLETE ALL DEMOLITION AND NEW WORK SHOWN ON DRAWINGS LISTED ON DRAWING COVER SHEET. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REALLOCATIONS OF EXISTING SERVICES THAT ARE TO REMAIN AND WHICH INTERFERE WITH NEW WORK.
2. CONTRACTOR SHALL COORDINATE WITH OWNER BEFORE STARTING WORK FOR THE FOLLOWING: SITE ACCESS, RULES AND REGULATIONS, DUMPSTER REQUIREMENT, SAFETY, DAILY CLEAN UP AND REMOVALS, PROTECTIVE ISOLATION REQUIREMENTS AND TIE-INS TO EXISTING SERVICES.
3. ALL WORK SHALL BE PERFORMED AS PER 2019 INTERNATIONAL BUILDING CODE AND LOCAL CODES, NEC, ORDINANCES AND OWNER'S INSURANCE GUIDELINES (LATEST EDITION).
4. ALL CONTRACTORS ARE RESPONSIBLE TO VERIFY SITE CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, SUBMIT REQUEST FOR INFORMATION TO ARCHITECT FOR RESOLUTION.
5. ALL DIMENSIONS ON DRAWINGS ARE TO BE FIELD VERIFIED AND COORDINATED BY CONTRACTOR. CONTRACTOR SHALL PROVIDE A COPY OF EACH SHOP DRAWING ELECTRONICALLY FOR APPROVAL BY OWNER'S REPRESENTATIVES, SHOP DRAWINGS SHALL INCLUDE BUT NOT LIMITED TO: CONSTRUCTION DETAILS, LIGHTING FIXTURES, MISCELLANEOUS STEEL, ETC.
8. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY BARRICADES FOR FLOOR OPENINGS AS REQUIRED TO PROTECT PERSONNEL WORKING ON SITE.
9. ALL CONSTRUCTION PERSONNEL SHALL BE RESTRICTED TO THE AREA OF THE SITE UNDER CONSTRUCTION. ALL OTHER AREAS OF THE SITE SHALL BE DEEMED OFF-LIMITS. CONTRACTOR'S PERSONNEL AND MATERIAL ENTRANCE SHALL BE APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVES.
10. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER FOR ALL TEMPORARY ELECTRICAL POWER TIE-INS, WATER HOOKUPS AND MATERIAL STORAGE REQUIRED FOR THEIR WORK. CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR THEIR SUBCONTRACTORS.
11. CONTRACTOR SHALL, DURING JOB, MAINTAIN ALL WORKING AREAS INCLUDING MATERIAL HANDLING, STAGING AREAS, ENTRIES, EXITS, FIELD OFFICE, AND TOOL BOX AREAS FREE FROM RUBBISH AND DEBRIS. RUBBISH AND DEBRIS SHALL BE REMOVED FROM PREMISES DAILY. ALL AREAS SHALL BE KEPT BROOM CLEAN. EACH CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN ANY DIRT/DUST THAT THE DEMOLITION AND CONSTRUCTIONS WORK CAUSES ON SITE. AT THE COMPLETION OF THE PROJECT, ALL SURFACES SHALL BE LEFT CLEAN AND UNDAMAGED.
12. ANY DAMAGE DUE TO EXISTING BUILDING COMPONENTS OR OWNER'S EQUIPMENT DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL MATCH FINISHES/MATERIALS IN ALL AREAS AFFECTED BY WORK.
13. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED INSPECTION.
14. ALL WORK SHALL BE GUARANTEED INCLUDING LABOR AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF THE PROJECT AND OWNER'S ACCEPTANCE.
15. CONTRACTORS SHALL COORDINATE WITH THE OWNER REGARDING THE LOCATION OF ANY TRAILERS, STAGING AREAS AND THE LOCATION OF ANY EQUIPMENT INCLUDING CRANES TO BE USED AT THE SITE.
16. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR ALL CONSTRUCTION PERSONNEL. LOCATION OF FACILITIES SHALL BE COORDINATED WITH OWNER'S DESIGNATED REPRESENTATIVE.
17. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL SUBMIT TO THE A/E THE FOLLOWING DOCUMENTS:
 - A. COMPREHENSIVE SCHEDULE OF ALL PROPOSED SUBSTITUTIONS TO BE ISSUED ON THIS PROJECT FOR ANY EQUIPMENT, MATERIALS AND/OR ASSEMBLIES.
 - B. A COMPREHENSIVE SUBMITTAL LOG WHICH SHALL INDICATE SUBMISSION DATES FOR EACH DOCUMENTS TO BE REVIEWED BY A/E.
18. THE EXECUTION OF ALL THIRD PARTY TESTING/INSPECTION PROCEDURES SHALL BE FACILITATED BY OWNER.
19. THE EXECUTION OF ALL THIRD PARTY TESTING/INSPECTION PROCEDURES SHALL BE FACILITATED BY OWNER.
20. CONTRACTORS SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL-COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER FOR EXACT LOCATION OF ALL ITEMS.
21. THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH TRADE WITH OWNER'S PROJECT MANAGER AND OTHER CONTRACTORS WHO MAY BE ON SITE ON OTHER PROJECTS, SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION FOR A PROPER AND WELL COORDINATED INSTALLATION.
22. CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH OWNER TO PREVENT DISRUPTION TO BUSINESS OPERATIONS.
23. ALL MATERIALS AND PRODUCTS MUST BE INSTALLED BY CERTIFIED PERSONNEL AND MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS.
24. THIS KIOSK WILL BE LOCATED A DISTANCE GREATER THAN 10'-0" FROM PROPERTY LINES OR INTERIOR LOT LINES.
25. THIS KIOSK WILL NOT BE LOCATED IN A FLOOD-PRONE AREA.
26. THIS KIOSK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
27. THE OWNER SHALL POST A SUITABLE PLACARD, SECURELY FASTENED IN PLACE, READILY VISIBLE WITH ALL DESIGN CRITERIA INFORMATION.
28. UNLESS NOTED OTHERWISE MATERIALS SHALL BE AS FOLLOWS:
ALUMINUM SHAPES - 6061-T6
ALUMINUM SHEET - 5052-H32
STEEL SHAPES - A500
STEEL PLATE (NOT BENT) - A36
STEEL SHEET (BENT) - A653-1010
29. BOLTS: GRADE 5 UNLESS NOTED OTHERWISE.
30. ALL WELDS BY A CERTIFIED WELDER IN CONFORMANCE WITH "AWS" 1.1 STANDARD FOR ALUMINUM, AND "AWS" 1.2 STANDARD FOR STEEL
31. CONTRACTOR TO COMPACT BASE OF FOUNDATION PRIOR TO CONCRETE PLACEMENT TO ENSURE ALLOWABLE BEARING OF 3000 PSF IS OBTAINED.
32. ALL CONCRETE IN CONFORMANCE WITH ACI STANDARDS-AIR ENTRAINED 4-6%.
33. ALL REINFORCING STEEL TO BE AASTM A615 FY=60 KSI.

ITEMS TO BE INSTALLED IN FILED:

1. KIOSK COMPONENT CONNECTION TO FOUNDATIONS.
2. ROOF TO KIOSK COMPONENT CONNECTIONS.
3. ELECTRICAL METER CONNECTION AND DISCONNECT.
4. ALL SITE WORK INCLUDING FOUNDATIONS.

CONCRETE.

PLASTER, MORTAR, SAND, GYPSUM.

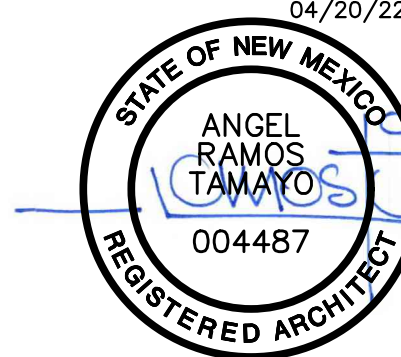


NEW REPUBLIC
ARCHITECTS

Members of the American
Institute of Architects

[illegible]

04/20/22



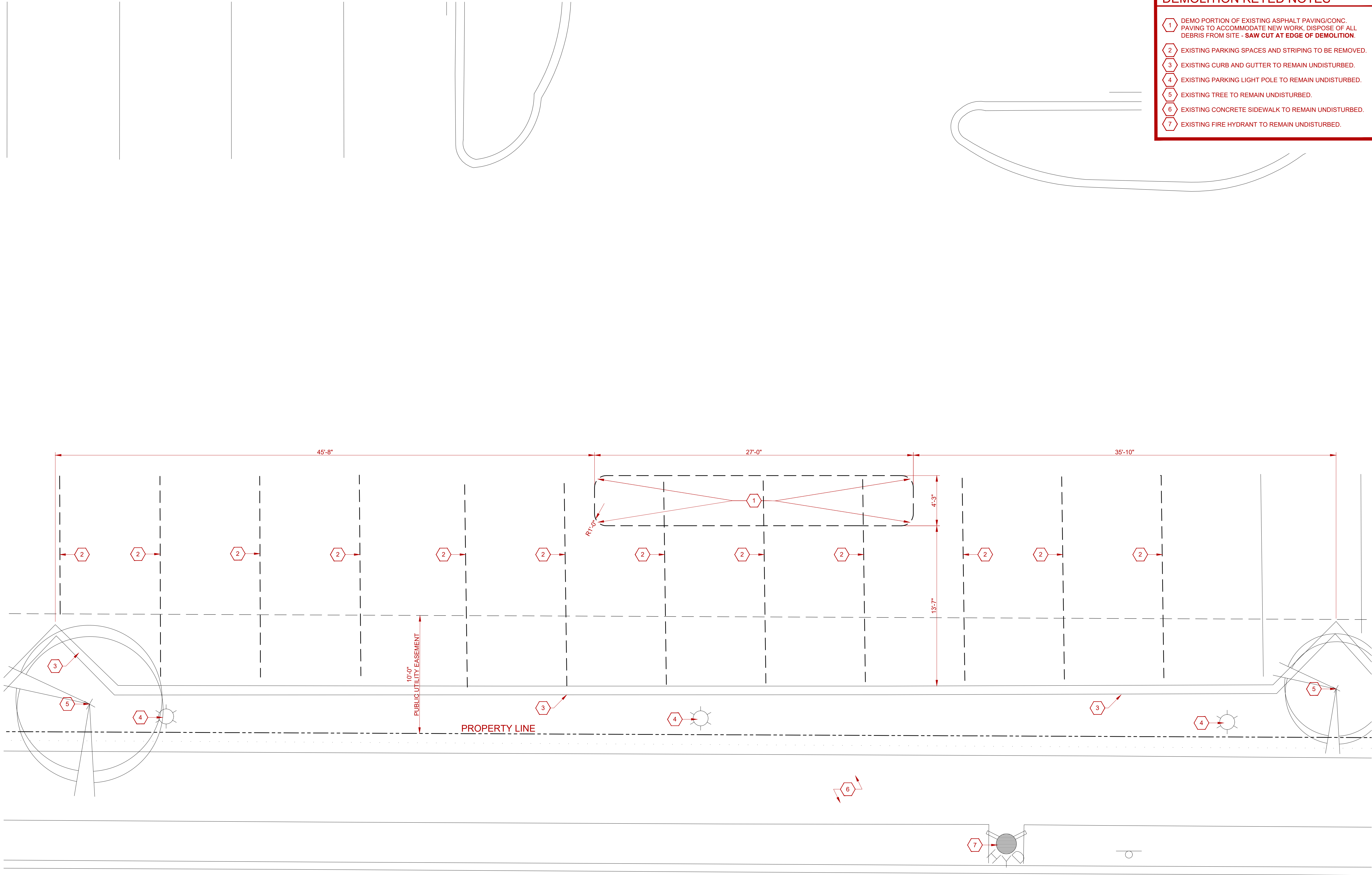
Job Number _____

Sheet Number

GN-1.0

SHEET 1 OF 5

CHASE - ALBUQUERQUE, NM. - JOB: C11126998891

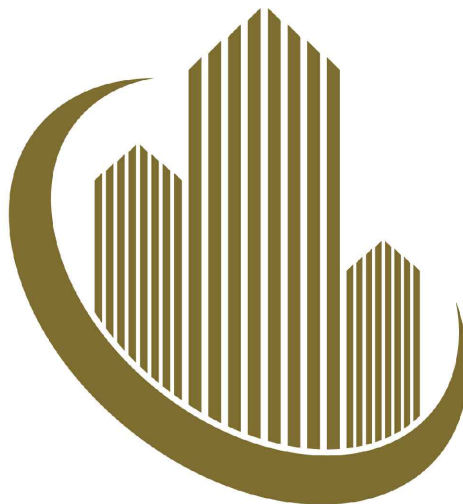


DEMOLITION KEYED NOTES

- 1 DEMO PORTION OF EXISTING ASPHALT PAVING/CONG. PAVING TO ACCOMMODATE NEW WORK, DISPOSE OF ALL DEBRIS FROM SITE - **SAW CUT AT EDGE OF DEMOLITION.**
- 2 EXISTING PARKING SPACES AND STRIPING TO BE REMOVED.
- 3 EXISTING CURB AND GUTTER TO REMAIN UNDISTURBED.
- 4 EXISTING PARKING LIGHT POLE TO REMAIN UNDISTURBED.
- 5 EXISTING TREE TO REMAIN UNDISTURBED.
- 6 EXISTING CONCRETE SIDEWALK TO REMAIN UNDISTURBED.
- 7 EXISTING FIRE HYDRANT TO REMAIN UNDISTURBED.



DRIVE-UP ATM
5201 OURAY ROAD, N.W.
ALBUQUERQUE, NEW MEXICO 87120



GOLDEN SANDS
GENERAL CONTRACTORS

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Construction Documents

Issue Date

April 20th, 2022

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Project Name Job Number
WEST BLUFF DRIVE-UP ATM # C11126998891

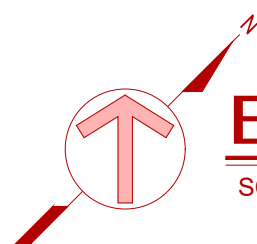
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ENLARGED DEMOLITION SITE PLAN

Sheet Number

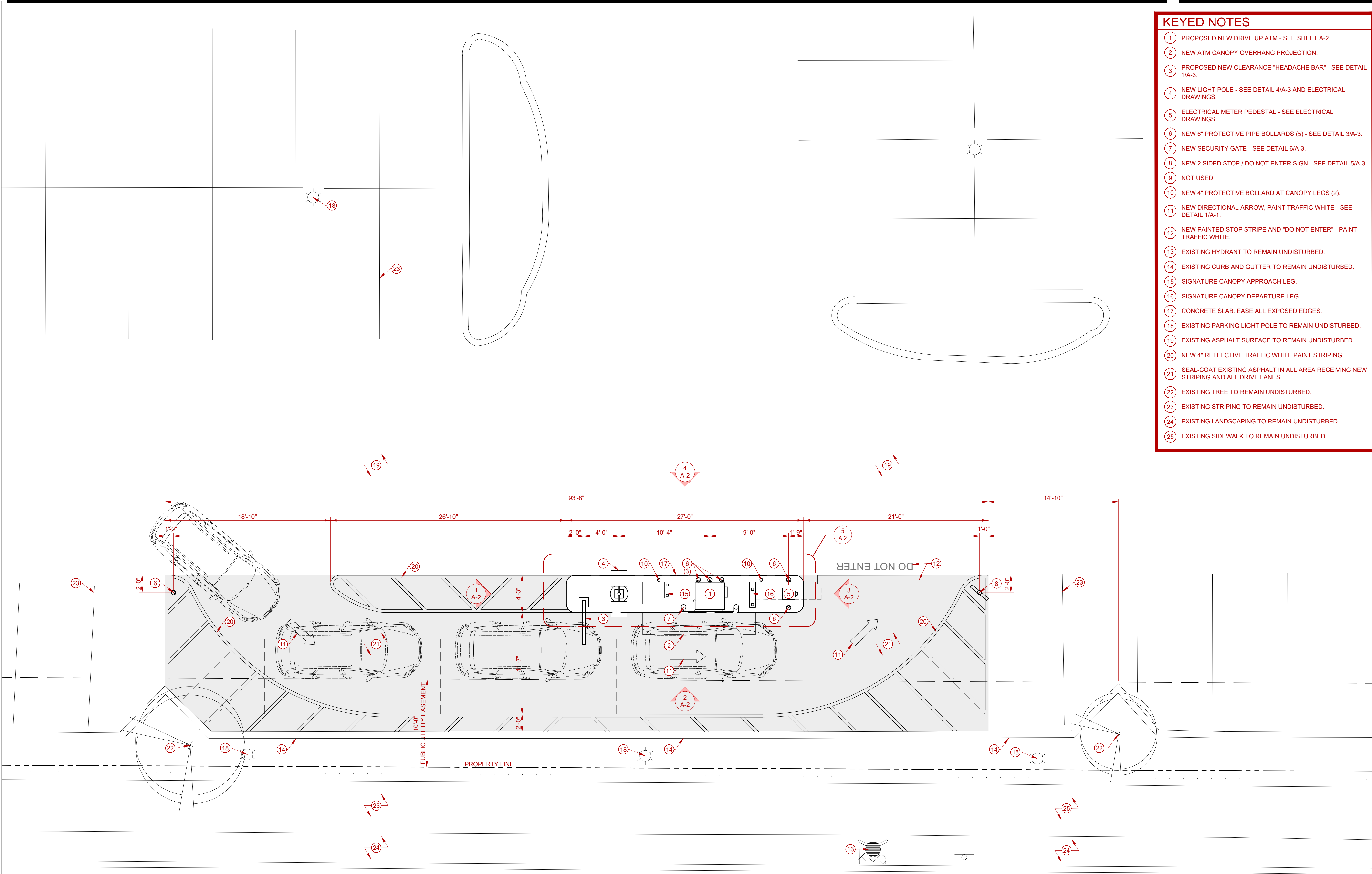
D-1

SHEET 2 OF 5



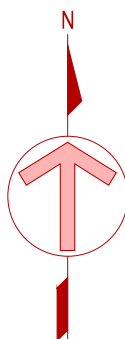
ENLARGED DEMOLITION SITE PLAN

SCALE: 1/4" = 1'-0"



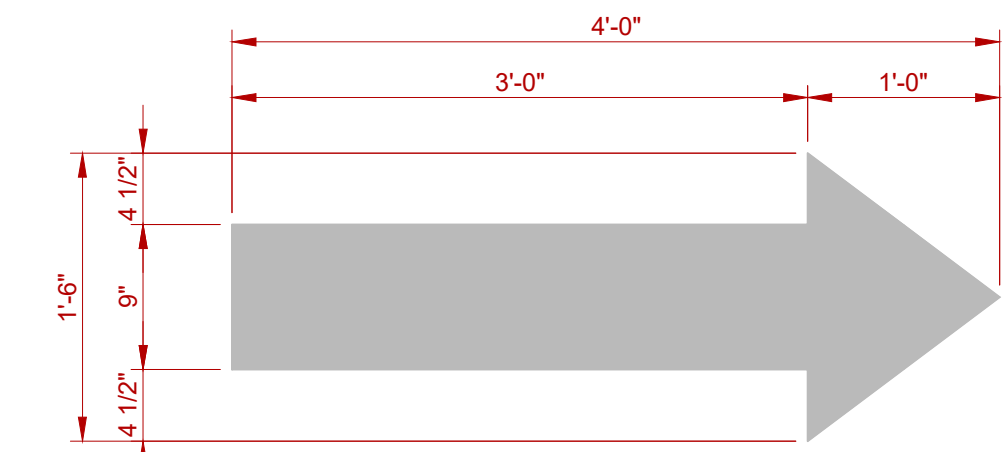
KEYED NOTES

- 1 PROPOSED NEW DRIVE UP ATM - SEE SHEET A-2.
- 2 NEW ATM CANOPY OVERHANG PROJECTION.
- 3 PROPOSED NEW CLEARANCE "HEADACHE BAR" - SEE DETAIL 1/A-3.
- 4 NEW LIGHT POLE - SEE DETAIL 4/A-3 AND ELECTRICAL DRAWINGS.
- 5 ELECTRICAL METER PEDESTAL - SEE ELECTRICAL DRAWINGS
- 6 NEW 6" PROTECTIVE PIPE BOLLARDS (5) - SEE DETAIL 3/A-3.
- 7 NEW SECURITY GATE - SEE DETAIL 6/A-3.
- 8 NEW 2 SIDED STOP / DO NOT ENTER SIGN - SEE DETAIL 5/A-3.
- 9 NOT USED
- 10 NEW 4" PROTECTIVE BOLLARD AT CANOPY LEGS (2).
- 11 NEW DIRECTIONAL ARROW, PAINT TRAFFIC WHITE - SEE DETAIL 1/A-1.
- 12 NEW PAINTED STOP STRIPE AND "DO NOT ENTER" - PAINT TRAFFIC WHITE.
- 13 EXISTING HYDRANT TO REMAIN UNDISTURBED.
- 14 EXISTING CURB AND GUTTER TO REMAIN UNDISTURBED.
- 15 SIGNATURE CANOPY APPROACH LEG.
- 16 SIGNATURE CANOPY DEPARTURE LEG.
- 17 CONCRETE SLAB. EASE ALL EXPOSED EDGES.
- 18 EXISTING PARKING LIGHT POLE TO REMAIN UNDISTURBED.
- 19 EXISTING ASPHALT SURFACE TO REMAIN UNDISTURBED.
- 20 NEW 4" REFLECTIVE TRAFFIC WHITE PAINT STRIPING.
- 21 SEAL-COAT EXISTING ASPHALT IN ALL AREA RECEIVING NEW STRIPING AND ALL DRIVE LANES.
- 22 EXISTING TREE TO REMAIN UNDISTURBED.
- 23 EXISTING STRIPING TO REMAIN UNDISTURBED.
- 24 EXISTING LANDSCAPING TO REMAIN UNDISTURBED.
- 25 EXISTING SIDEWALK TO REMAIN UNDISTURBED.



ENLARGED PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"



NOTE:
PAINTED DIRECTIONAL
PAVEMENT MARKINGS-USE
THERMOPLASTIC MARKINGS
(TPMM) 90 MILS AS PER DOT
STANDARDS

1 PAVEMENT MARKINGS

SCALE: 1" = 1'-0"

NEW REPUBLIC JOB: 2202-002



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Project Name Job Number
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Sheet Title

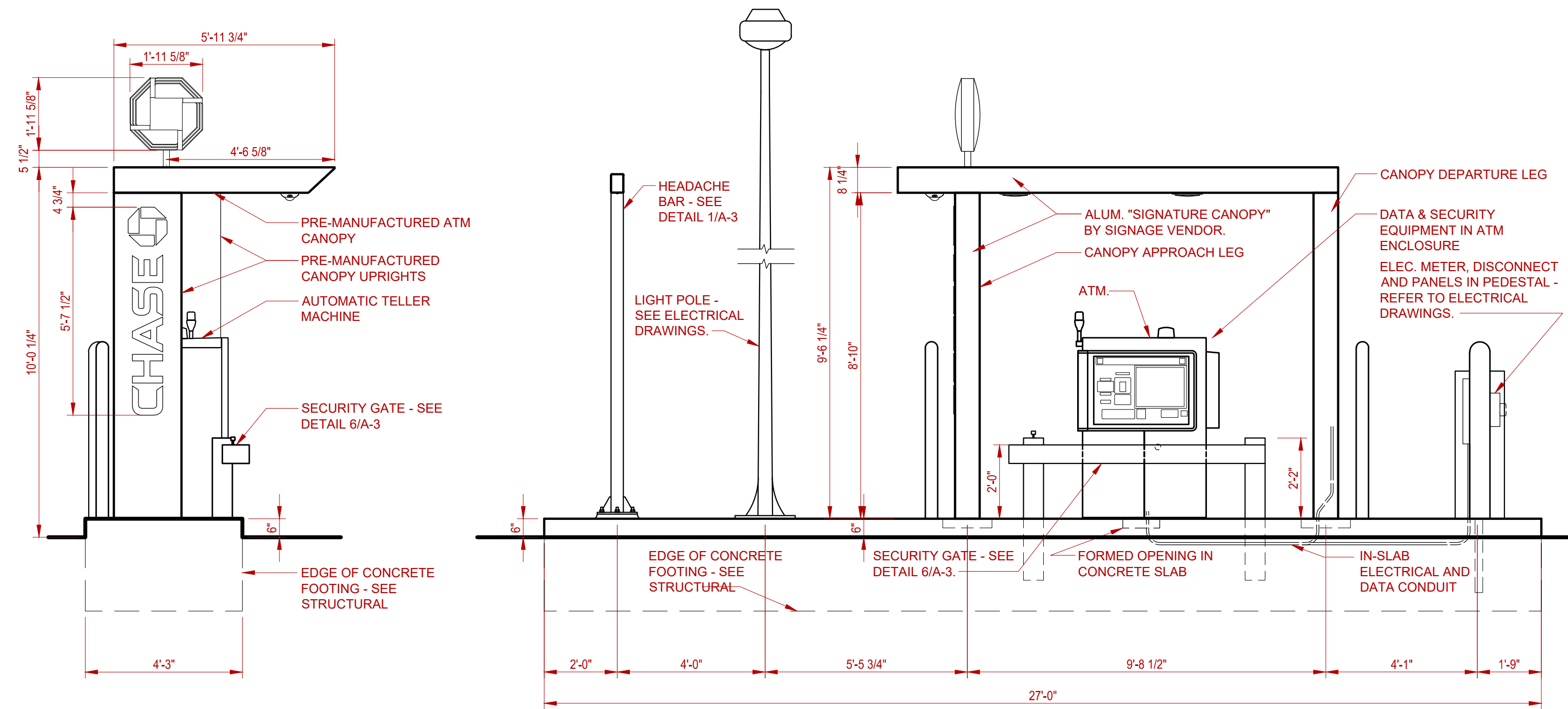
ENLARGED PROPOSED SITE PLAN

Sheet Number

A-1

SHEET 3 OF 5

CHASE - ALBUQUERQUE, NM. - JOB: C11126998891

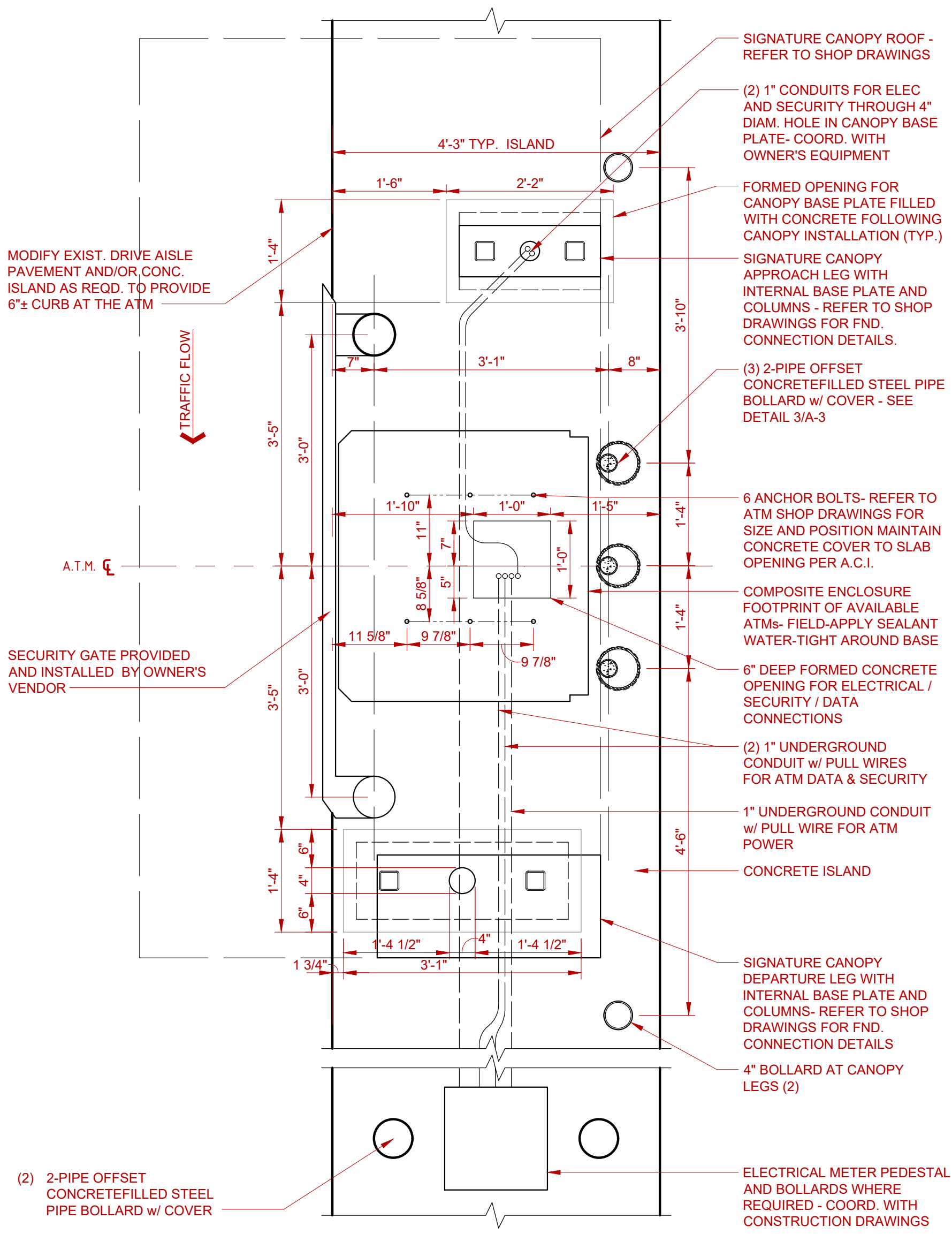


DRIVE-UP - A.T.M. APPROACH ELEVATION

SCALE: 3/8" = 1'-0"

DRIVE-UP - A.T.M. FRONT ELEVATION

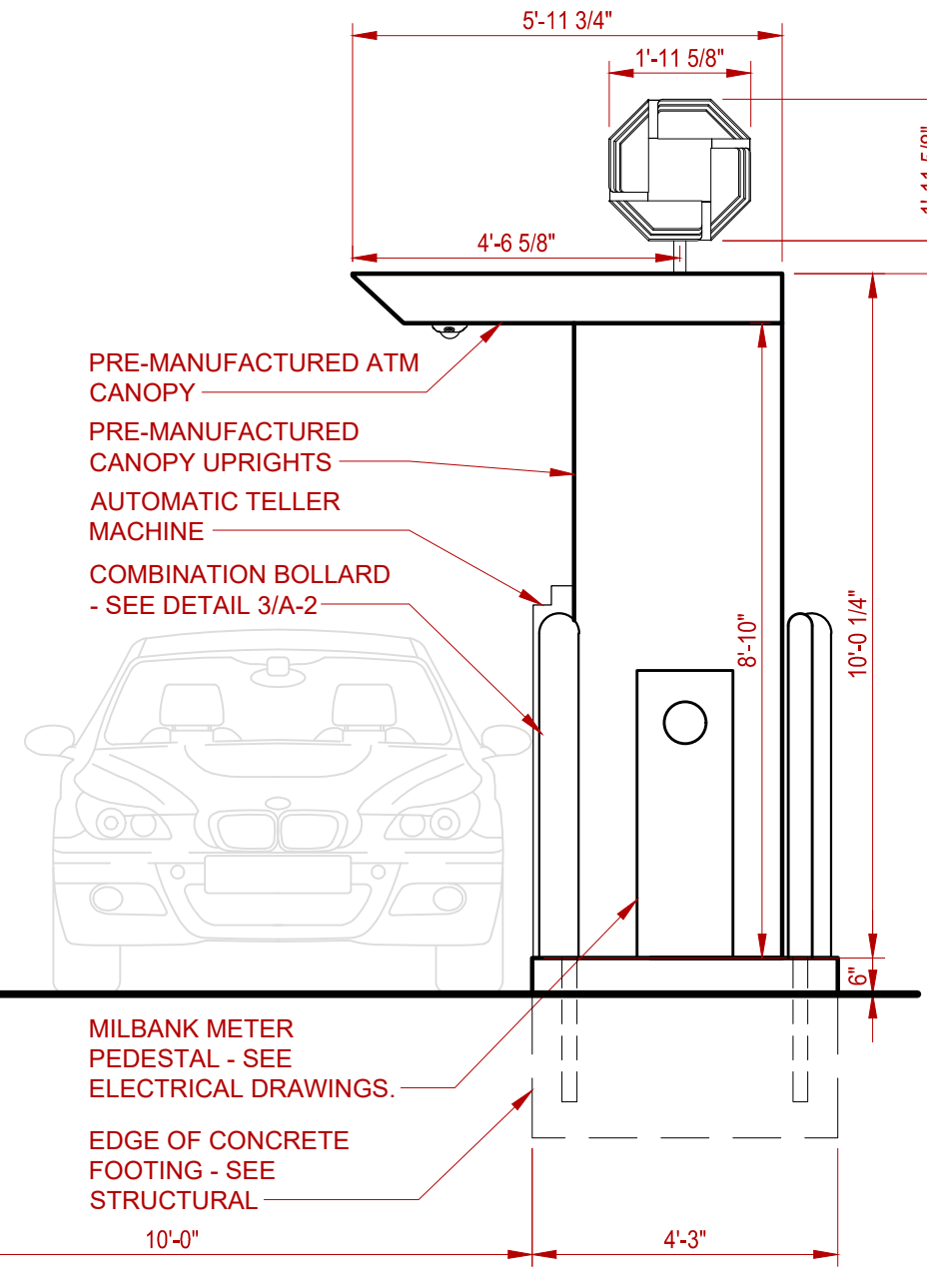
SCALE: 3/8" = 1'-0"



- GENERAL NOTES:**
1. COMPOSITE FOOTPRINT OF AVAILABLE ATM ENCLOSURES AND 'SIGNATURE CANOPY' SHOWN. VERIFY EXACT MODELS FOR PROJECT WITH THE OWNER AND SIGNAGE VENDOR AND COORDINATE DETAILS AS REQUIRED.
 2. "SIGNATURE CANOPY" SHALL BE PROVIDED BY OWNER'S SIGNAGE VENDOR AND INSTALLED BY THE G.C.
 3. ONCE ATM IS SET, G.C. IS TO FILL ANY EXPOSED WIRING TRENCH. WATER TIGHT SEAL REQUIRED.
 4. EXPANSION BOLTS ARE NOT TO BE PLACED WITHIN 3" OF A CONDUIT OR JUNCTION BOX UNLESS THE EXPANSION HEAD OF THE ANCHOR BOLT IS BELOW THE LEVEL OF THE CONDUIT OR JUNCTION BOX WITHIN THE CONCRETE.
 5. ELECTRICAL CONTRACTOR MUST BE ON-SITE WHEN WHEN ATM IS SET.
 6. DEDICATED 30A CIRCUIT REQUIRED FOR EACH ATM.

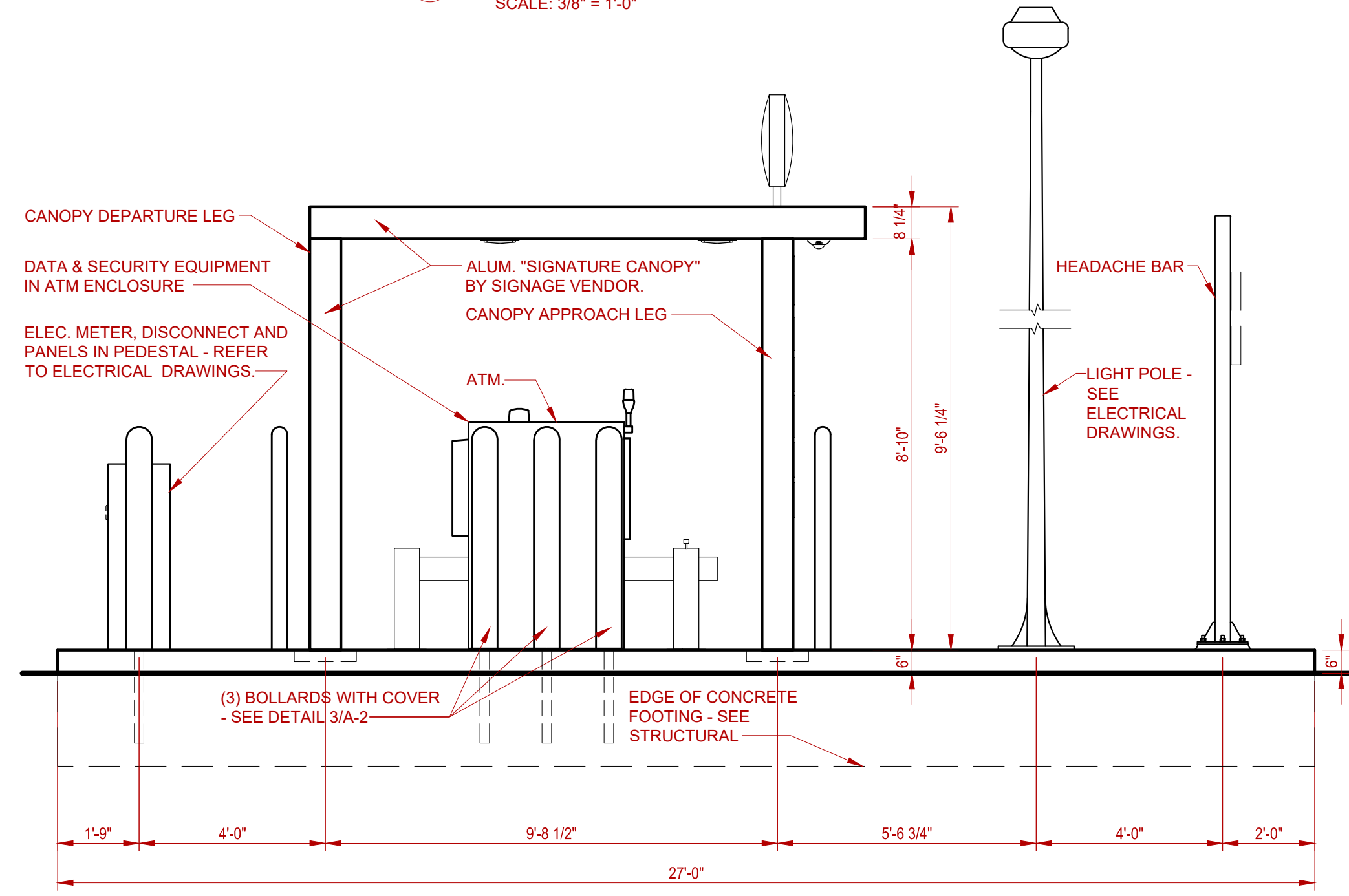
DRIVE-UP SIGNATURE CANOPY PLAN

SCALE: 3/4" = 1'-0"



DRIVE-UP - A.T.M. EXIT ELEVATION

SCALE: 3/8" = 1'-0"

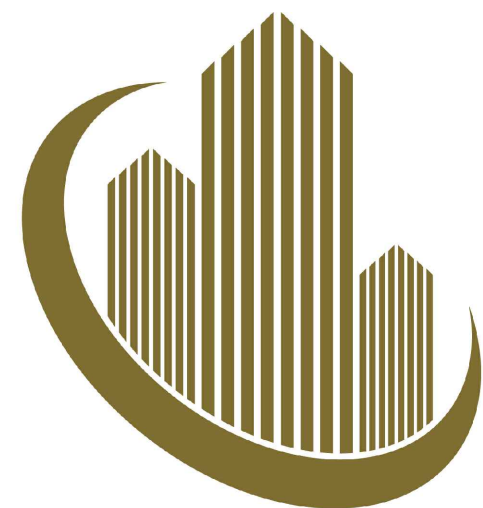


DRIVE-UP - A.T.M. REAR ELEVATION

SCALE: 3/8" = 1'-0"



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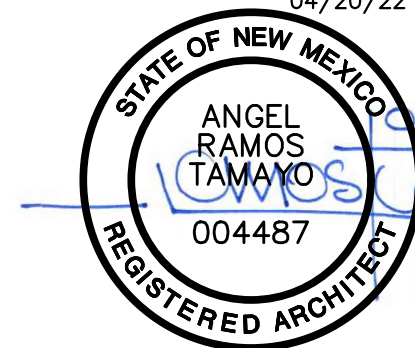


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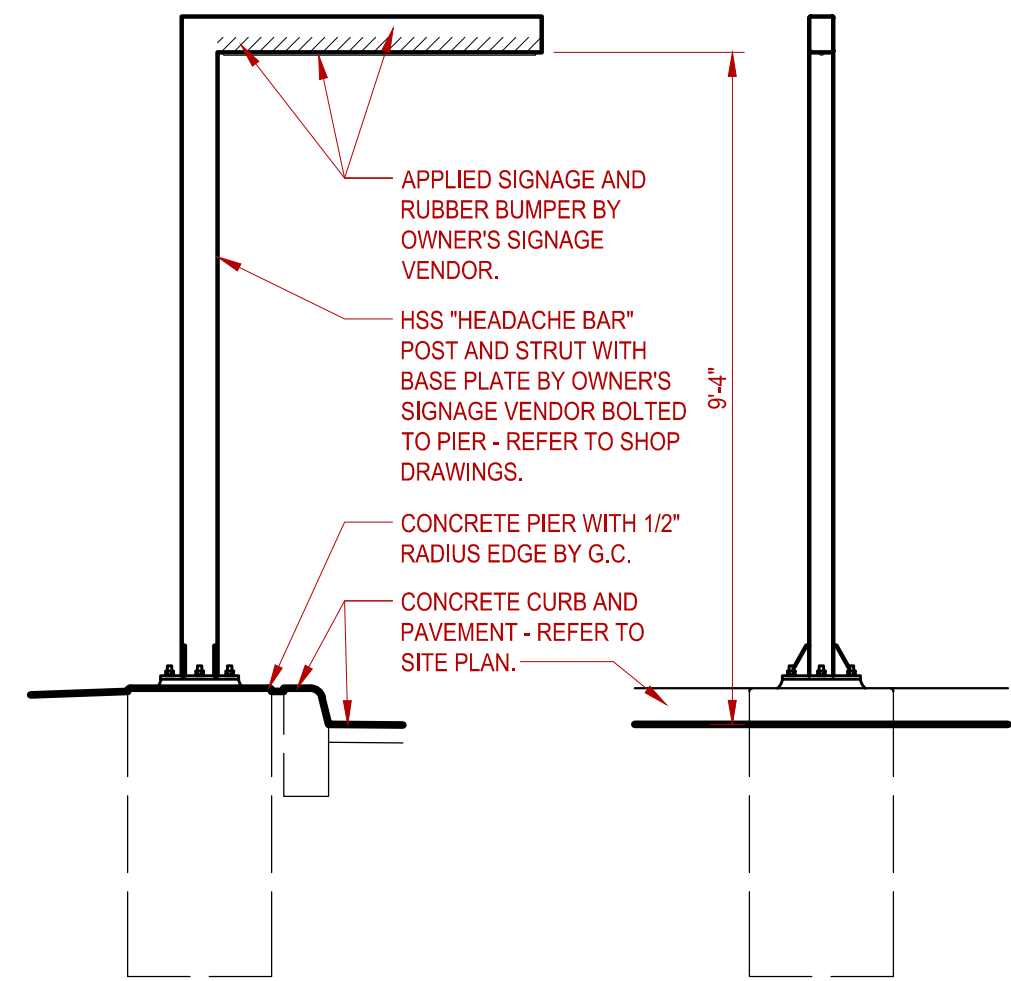
Project Name
WEST BLUFF DRIVE-UP ATM
Job Number
C11126998891

Sheet Title

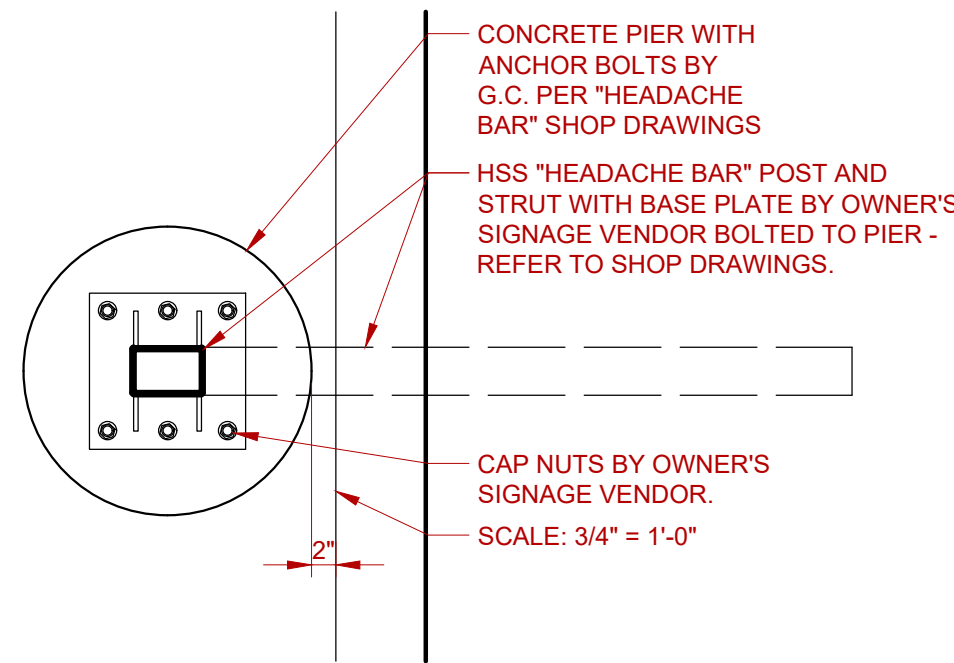
ELEVATIONS

Sheet Number

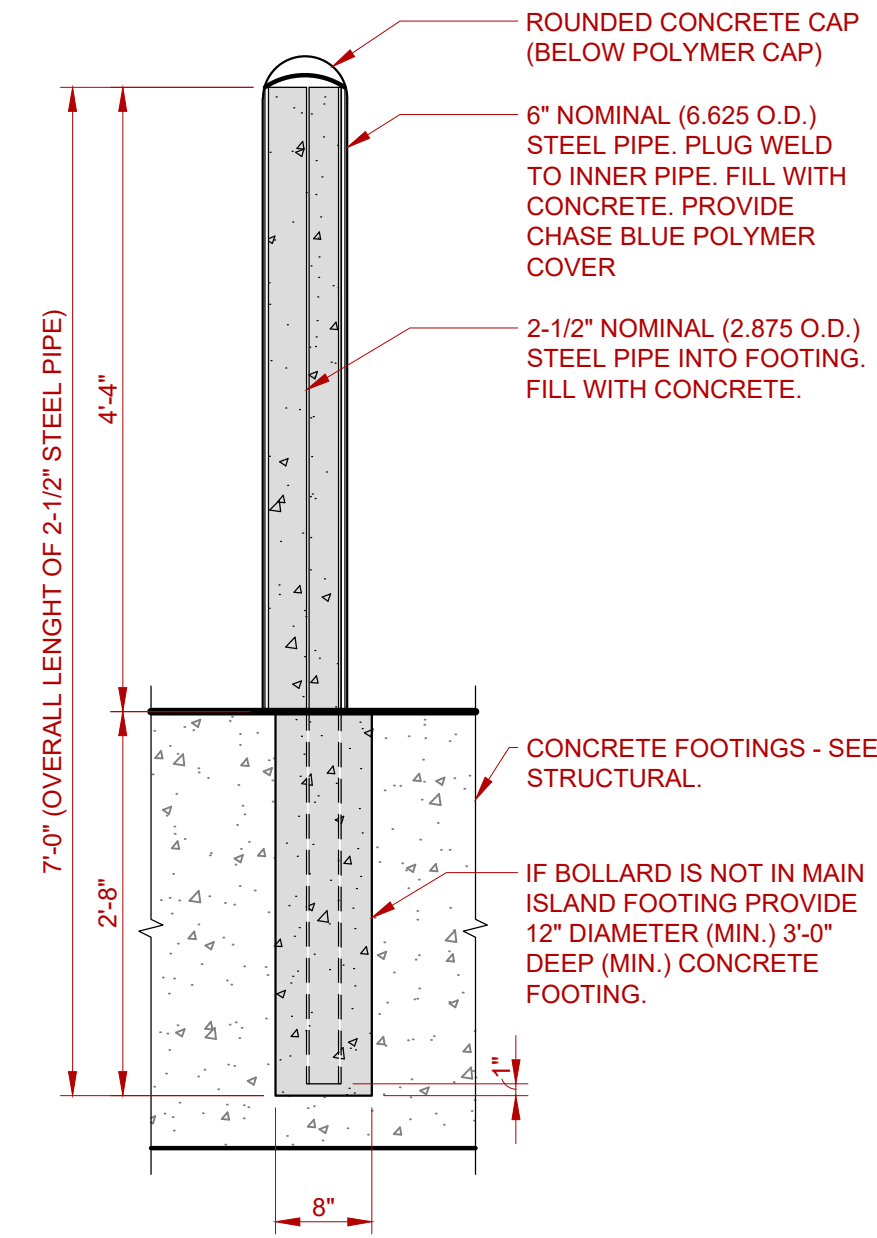
A-2
SHEET 4 OF 5



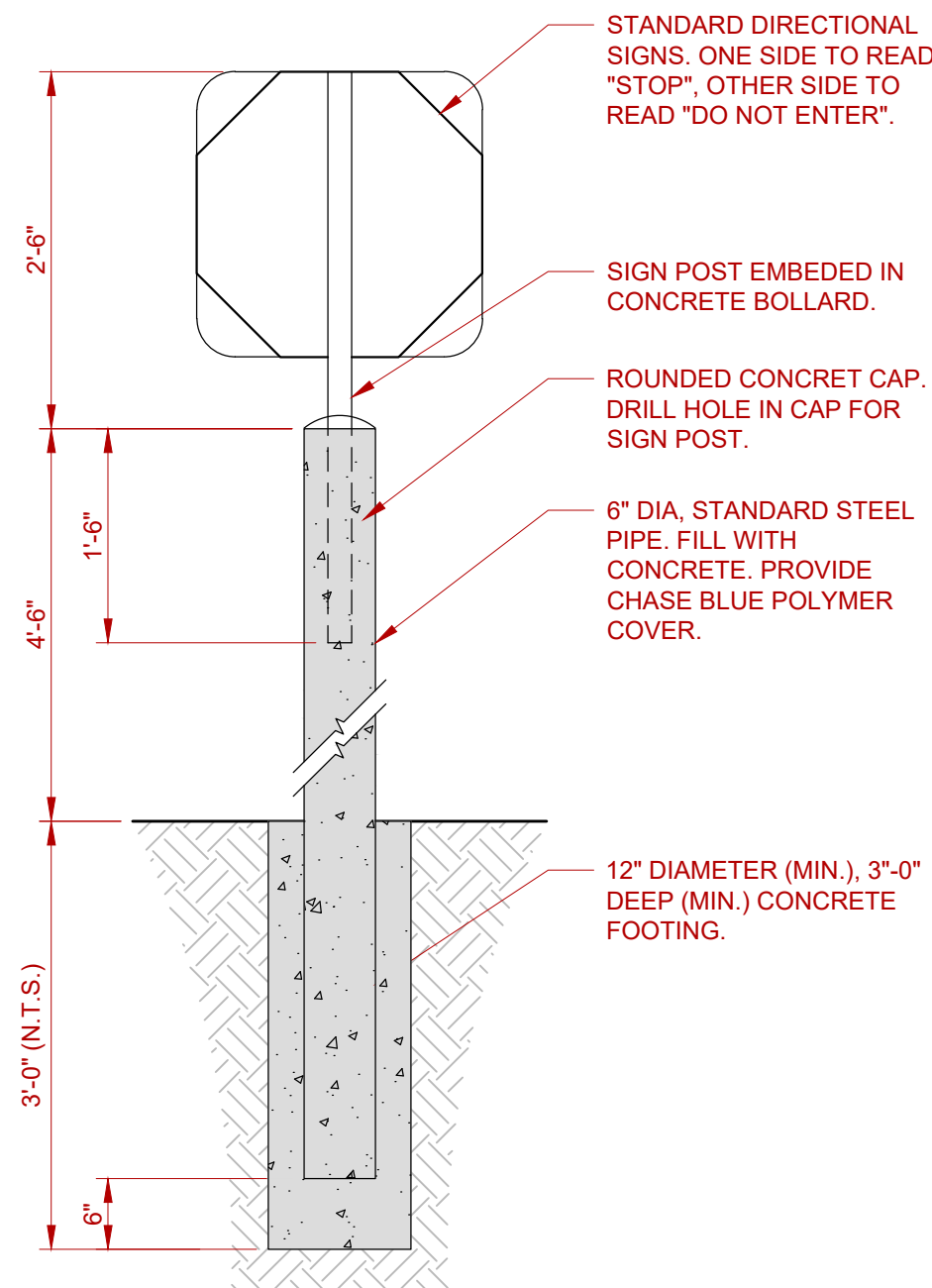
1 **DRIVE-UP HEADACHE BAR ELEVATIONS**
SCALE: 3/8" = 1'-0"



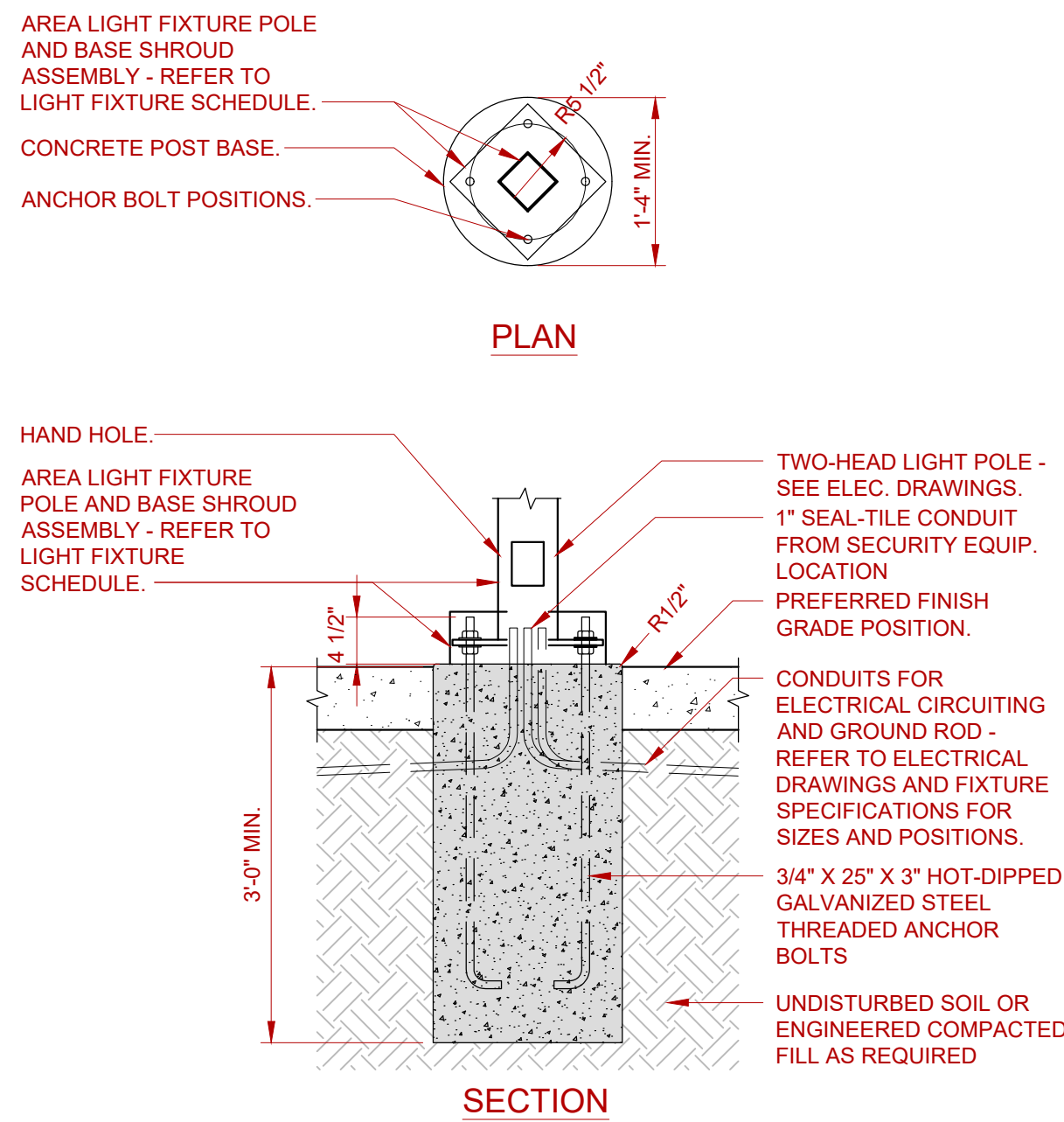
2 **DETACHED DRIVE-UP HEADACHE BAR PLAN**
SCALE: 3/4" = 1'-0"



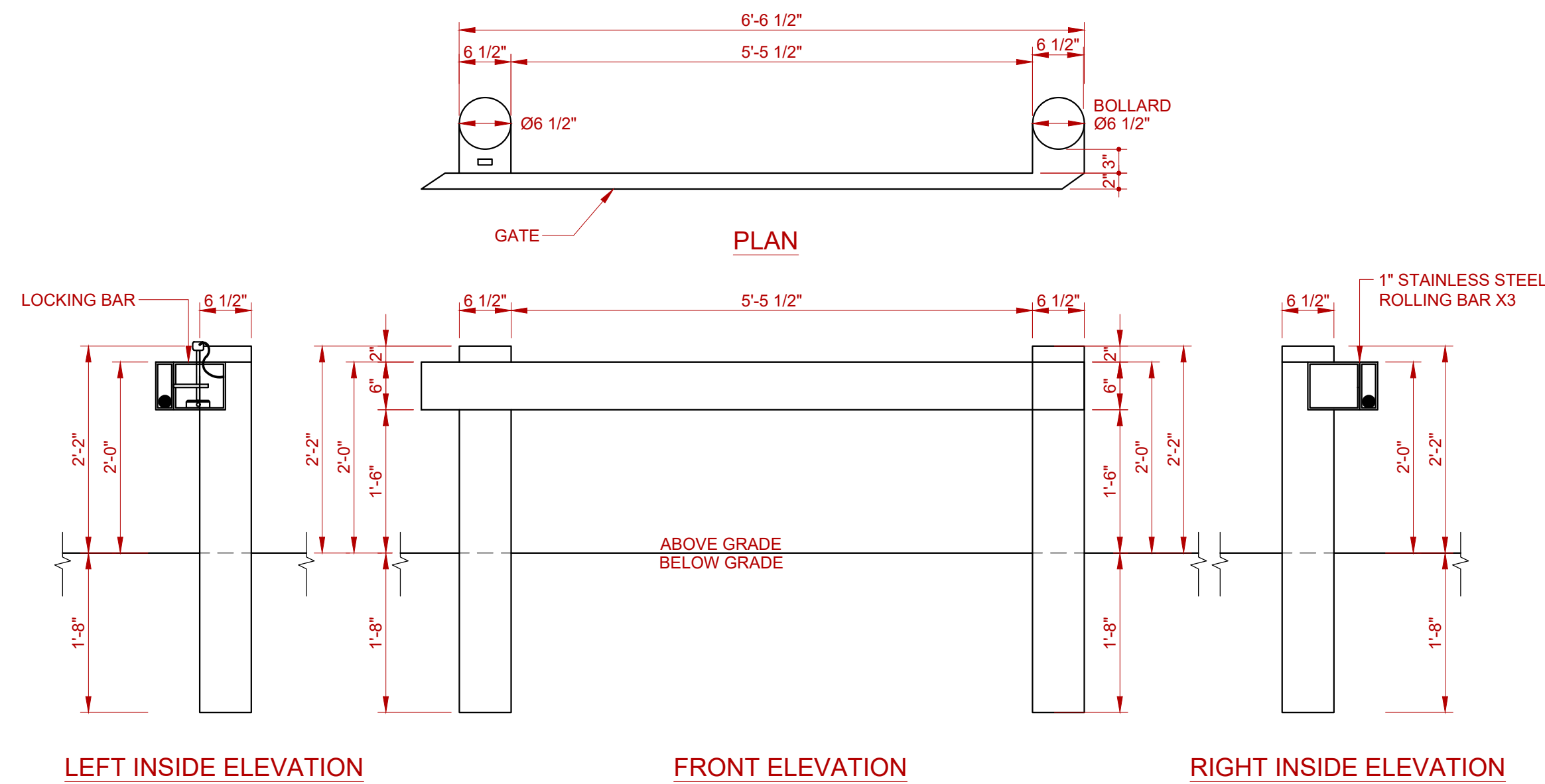
3 **NEW-BUILD DRIVE-UP ISLAND ATM BOLLARD**
SCALE: 3/4" = 1'-0"



5 **DIRECTIONAL SIGNAGE**
SCALE: 3/4" = 1'-0"



4 **LIGHT POLE DETAIL**
SCALE: 3/4" = 1'-0"



6 **ATM SECURITY GATE**
SCALE: 3/4" = 1'-0"

CHASE

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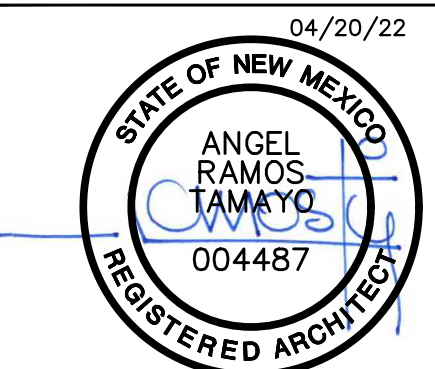
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Sheet Title

DETAILS

Sheet Number

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SHEET 5 OF 5