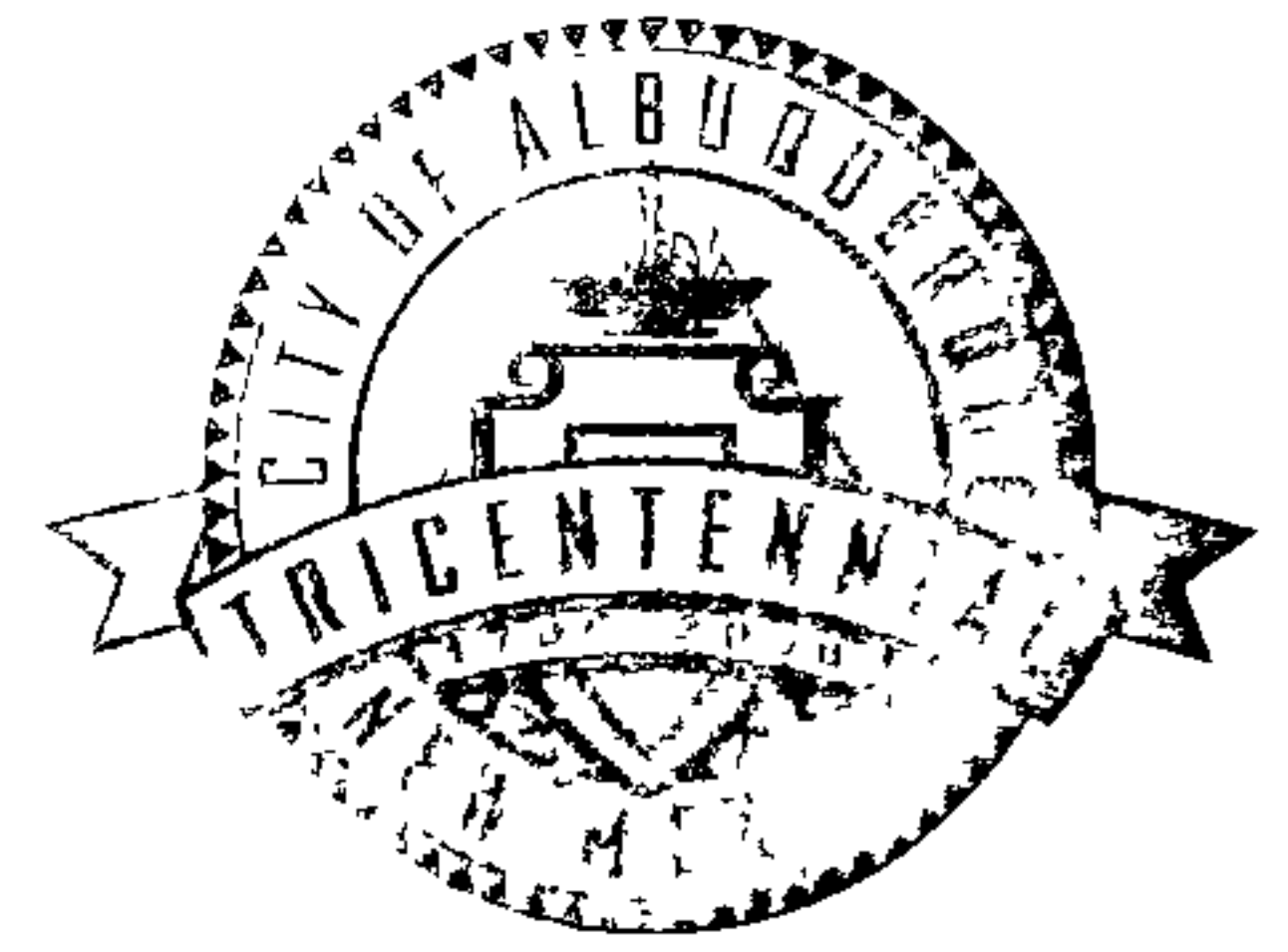


CITY OF ALBUQUERQUE



February 20, 2007

J. Arthur Blessen, P.E.
J. Arthur Blessen Engineering
11930 Menaul NE Suite 109
Albuquerque, NM 87112

100 5126

Re: Central Seventh Day Adventist Church Grading Plan
Engineer's Stamp dated 2-16-07 (H11/D060)

Dear Mr. Blessen,

Based upon the information provided in your submittal dated 2-15-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

www.cabq.gov

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

Serhi Kunbar, DMD

1005726

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: CENTRAL SEVENTH DAY ADVENTIST CHURCH ZONE MAP: H11/D060
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 313 TOWN OF ATRISCO GRANT UNIT 8
CITY ADDRESS: 2201 ESTANCIA ROAD NW

ENGINEERING FIRM: J Arthur Blessen Engineering CONTACT: Arthur Blessen
ADDRESS: 11930 Menaul Suite 109 PHONE: 293-1477
CITY, STATE: Albuquerque NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: David West Architects CONTACT: DAVID WEST
ADDRESS: 1504 Camino Ecuestre PHONE: 266-6416
CITY, STATE: Albuquerque, NM ZIP CODE: 87107

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

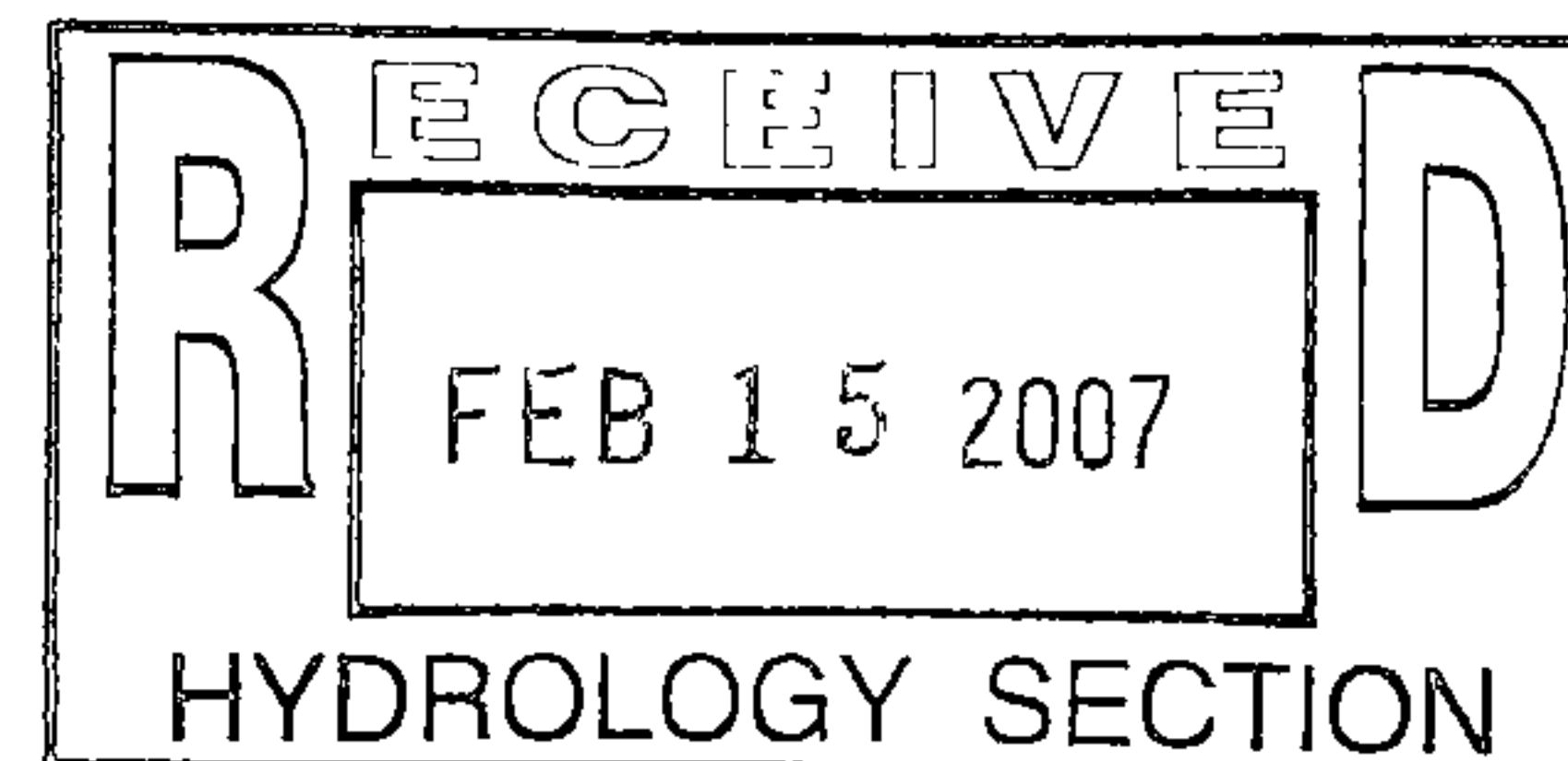
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 2-15-07 BY: J Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

J Arthur Blessen Engineering
architect engineer
2429 Zena Lona
Albuquerque, NM 87112
tel 293-1477

February 15, 2007

Curtis A Cherne, EI Engineering Associate
City of Albuquerque Development and Building Section
PO Box 1293
Albuquerque, New Mexico 87103

re: Central Seventh Day Adventist Church Grading Plan
file: H11/D060

Dear Mr Hoover,

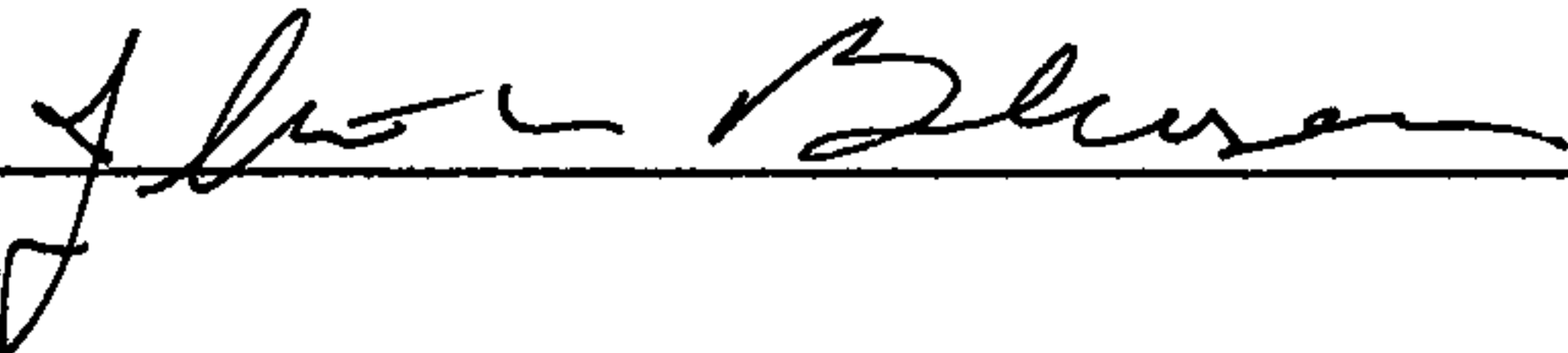
I have received your comments of January 30, 2007, to follow are the responses to those comments:

1. Provide curb cuts or similar to allow runoff to enter the ponds along Estancia Rd.
There are existing curb cuts along the existing parking areas. The new parking area does not call for a curb there for no curb cuts are required.
2. Add a note to clean out the inlet in the south pond so that is functional.
The requested note has been added.
3. Two "typical curb & gutter" details are shown. One looks like a standard curb and gutter and the other looks like a header curb. Neither is referenced. What type of curb does a "standup" curb reference?
The detail references have been added to the plan. The detail titles have been corrected.

Additional notes have been include to note those items to be constructed under the city work order.

Should you have any questions or require additional information please call.

J Arthur Blessen, PE



CITY OF ALBUQUERQUE



January 30, 2007

J. Arthur Blessen, P.E.
J. Arthur Blessen Engineering
11930 Menaul NE Suite 109
Albuquerque, NM 87112

Re: Central Seventh Day Adventist Church Grading Plan
Engineer's Stamp dated 1-15-07 (H11/D060)

Dear Mr. Blessen,

Based upon the information provided in your submittal dated 1-18-07, the above referenced plan is approved for Site Development for Building Permit action by the DRB.

However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Provide curb cuts or similar to allow runoff to enter the ponds along Estancia Rd.
- Add a note to cleanout the inlet in the south pond so that it is functional.
- Two "typical curb & gutter" details are shown. One looks like standard curb and gutter and the other looks like a header curb. Neither is referenced. What type of curb does a "standup" curb reference?

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file
Brad Bingham

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: CENTRAL SEVENTH DAY ADVENTIST CHURCH ZONE MAP: H11/D060
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 313 TOWN OF ATRISCO GRANT UNIT 8
CITY ADDRESS: 2201 ESTANCIA ROAD NW

ENGINEERING FIRM: J Arthur Blessen Engineering CONTACT: Arthur Blessen
ADDRESS: 11930 Menaul Suite 109 PHONE: 293-1477
CITY, STATE: Albuquerque NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: David West Architects CONTACT: DAVID WEST
ADDRESS: 1504 Camino Ecuestre PHONE: 266-6416
CITY, STATE: Albuquerque, NM ZIP CODE: 87107

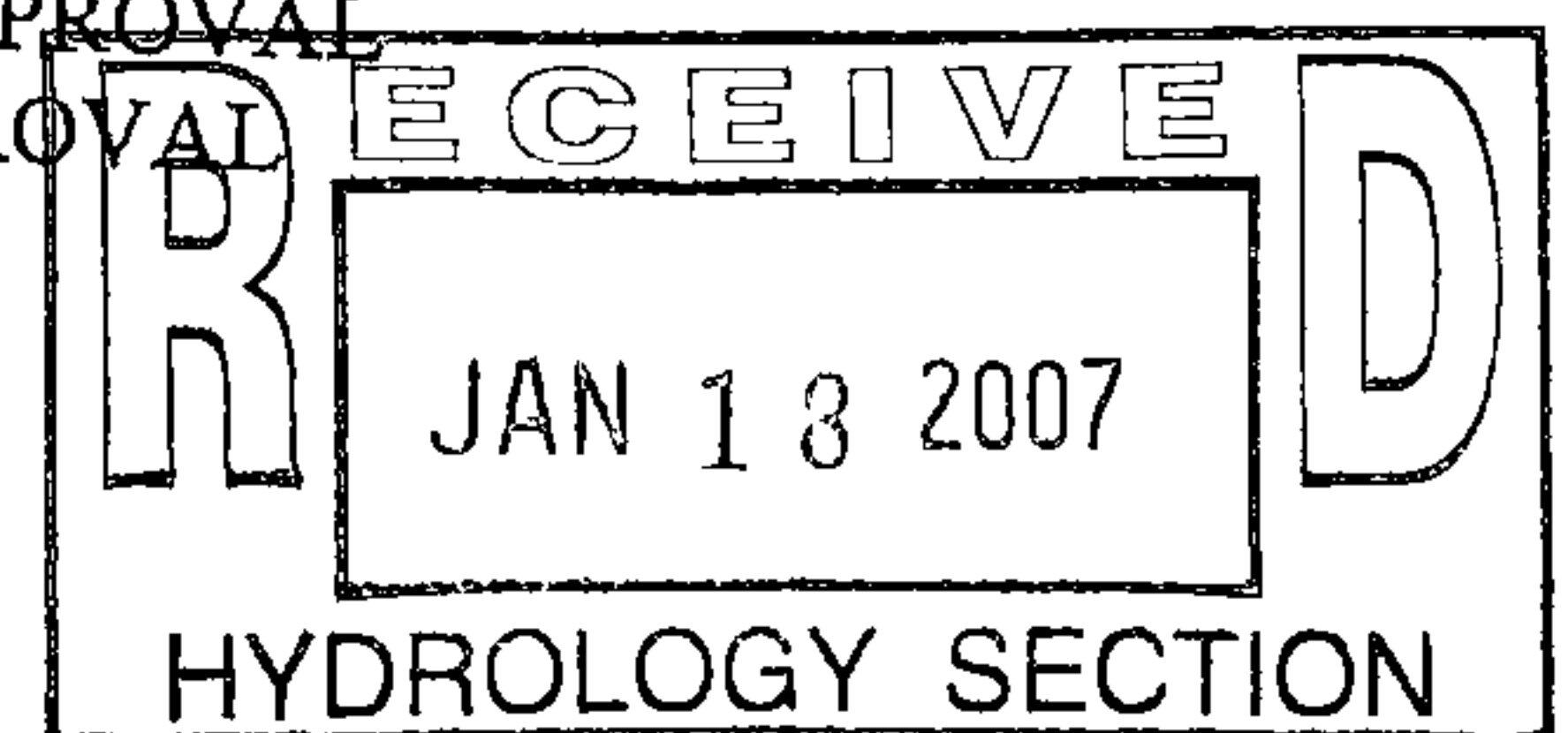
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: J Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

AGENT

ADDRESS

PROJECT & APP #

PROJECT NAME

\$ 441032/3424000 Conflict Management Fee

\$ 441006/4983000 DRB Actions

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ARTHUR BLESSEN SOLE PROP 06-06
J. ARTHUR BLESSEN ENGINEERING
505-299-6319
2429 ZENA LONA N.E.
ALBUQUERQUE, NM 87112
Date: 1-17-07
1005
95-32/1070 NM
1113
Pay to the
Order of City of Albuquerque
fifty no/100
Bank of America
ACH R/T 107000327
For: Day Church Grading plan
1070000327 00439058448 1005
RECEIPT# 00069638
ACCOUNT# 441006
ACTIVITY 4983000
FUND 0110
TRSLJS
\$50.00
\$50.00
\$0.00
CHANCE
Thank You

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Central Seventh Day Adventist Church
AGENT J. Arthur Blessen
ADDRESS 11936 Menaul Suite 109
PROJECT & APP # H11/D060
PROJECT NAME /

\$ 441032/3424000 Conflict Management Fee
\$ 441006/4983000 DRB Actions
\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4971000 Public Notification
\$ 100 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision (X) Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ARTHUR BLESSEN SOLE PROP 06-06
J. ARTHUR BLESSEN ENGINEERING
505-299-6319
2429 ZENA LONA N.E.
ALBUQUERQUE, NM 87112
Date January 18, 2007 95-32/1070 NM 1113 1006

Pay to the Order of City of Albuquerque \$ 100.00
one hundred no/100

Bank of America
ACH R/T 107000327
Site development Plan
For Central Church Fee-DRB
1/18/2007 1:03PM
RECEIPT # 00074712-WSH-007-TRANS-0015
Fund 0110
Activity 4983000
Trans Amt \$100.00
J24 Misc \$100.00
CK \$100.00
CHANGE \$0.00

LOC: ANNX
TRSMSP

107000327 004390584

© Clarke American



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 27, 2001

R .G. Lee, Jr., P.E.
BJM Development Consultant
4409 Karrol Road SW
Albuquerque, NM 87121

***RE: CENTRAL SEVENTH DAY ADVENTIST CHURCH (H11-D60). GRADING PLAN
FOR GRADING AND PAVING PERMIT APPROVALS. ENGINEER'S STAMP
DATED JUNE 28, 2001.***

Dear Mr. Lee:

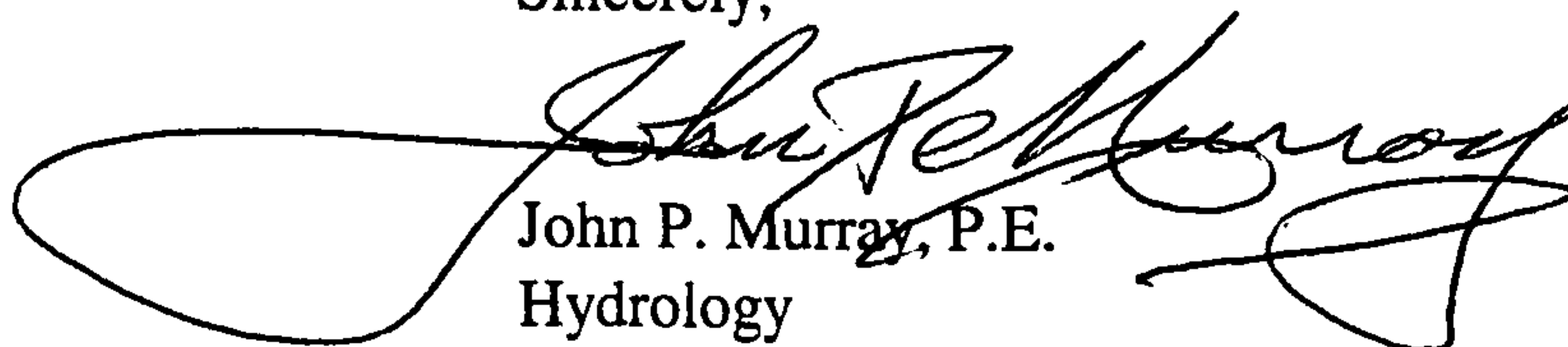
Based on the information provided on your July 17, 2001 submittal, the above referenced project is approved for both Grading and Paving Permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

✓ c: Terri Martin
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Central-Seventh-Day Adventist Church ZONE MAP/DRG. FILE #: H-11 / D60
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 313 Unit 8 Town of Atrisco GRANT
 CITY ADDRESS: 2201 Estancia Dr. NW

ENGINEERING FIRM: BJM Development Consultant
 ADDRESS: 4409 Karrol Rd SW
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Bernie J. Montoya
 PHONE: (505) 833-4041
 ZIP CODE: 87121

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 7/18/2001 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
 JUL 17 2001
 HYDROLOGY SECTION