

CITY OF ALBUQUERQUE



January 26, 2017

Verlyn Miller P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE Building F
Albuquerque, NM 87107

Re: Sts. Peter & Paul Church School, 5800 Ouray Rd NW
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 07-08-15 (H11-D062)
Certification dated 01-17-17

Dear Mr. Miller,

Based upon the information provided in your submittal received 01-20-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

201690322 H11D062

Project Title: ST. PETER & PAUL CHURCH SCHOOL Building Permit #: 201690322 City Drainage #: H11D062

DRB#: EPC#: Work Order#:

Legal Description: TRACT 360 UNIT B 336D 186P 267

City Address: 5800 CURRY RD. NW ALB NM

Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: VERLYN MILLER

Address: 3500 CANTONMENTS NE BUILDING F

Phone#: 505.888.7500 Fax#: 505.888.5000 E-mail: vmiller@mechn.com

SOCIETY OF
Owner: ST. PIUS X Contact: FR. PATRICK CRANE

Address: 11485 N. FARLEY RD. PLATTE CITY MO 64079

Phone#: 816.923.0202 Fax#: 816.861.6635 E-mail: frpcrane@sspx.org

Architect: CRUTT WINSLOW Contact: TIM SLOLARO

Address: 3003 N. CENTRAL AVE. 16TH FL PHX, AZ 85012

Phone#: 602.257.1744 Fax#: 602.257.9029 E-mail: tsloaro.t@owp.com

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY)

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY)

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/9/2016 By: Tim Sclaro

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:



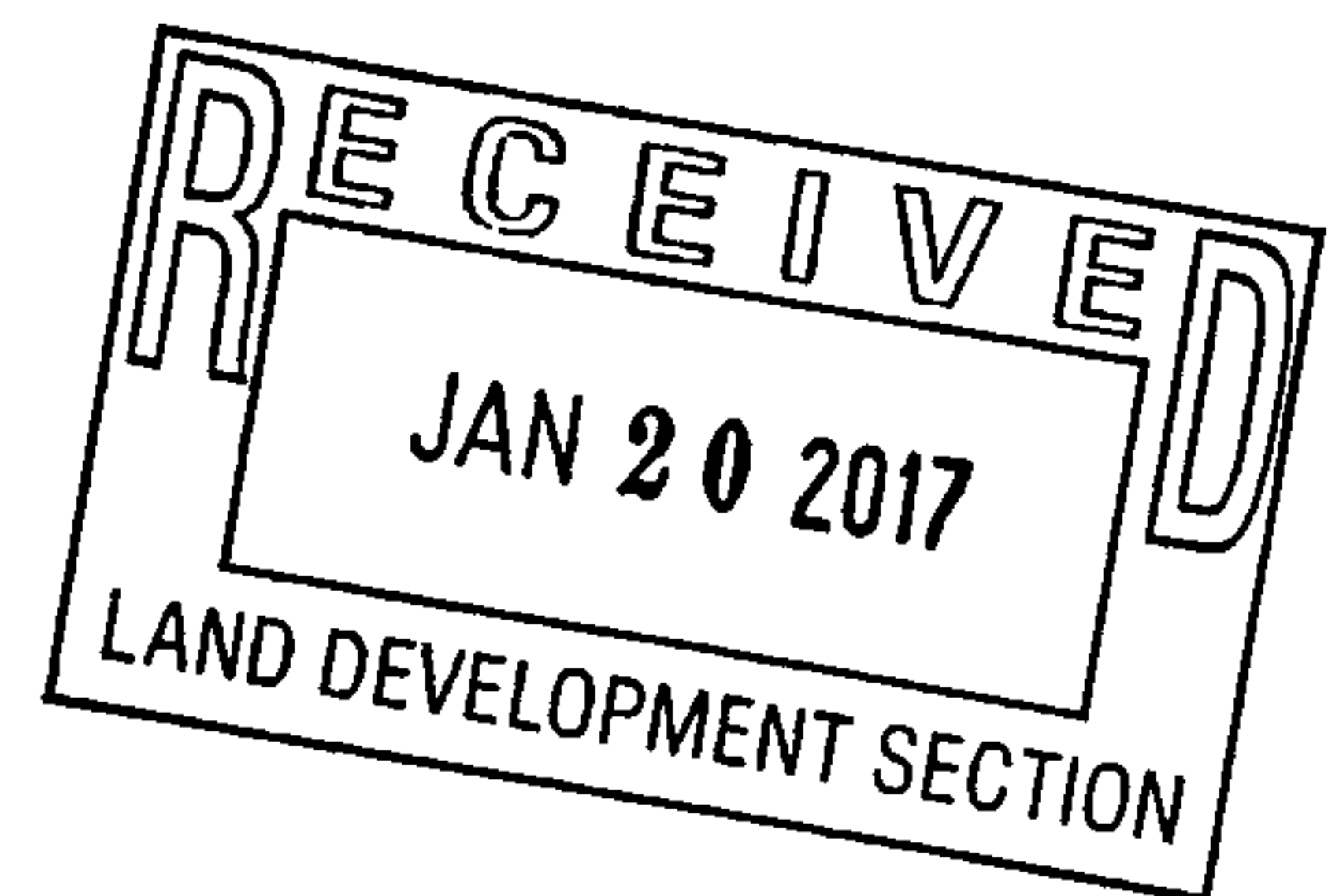
TRAFFIC CERTIFICATION

I, Verlyn A. Miller, NMPE 14507, OF THE FIRM Miller Engineering Consultants, Inc., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Tim Scolaro OF THE FIRM Orcutt Winslow. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12-9-16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

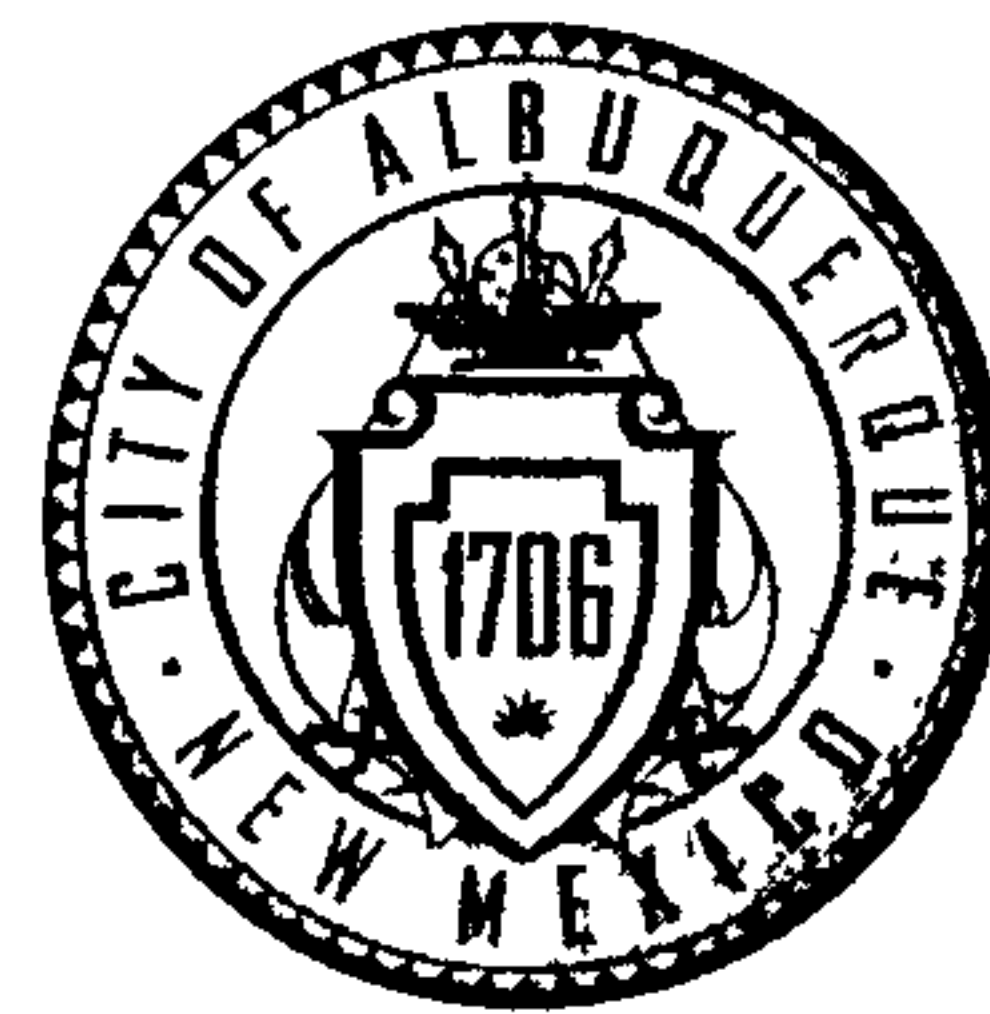
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer

Date



CITY OF ALBUQUERQUE



December 13, 2016

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

**Re: Sts. Peter and Paul Church School Addition
5800 Ouray NW
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 4-16-15 (H11D062)
Certification dated: 12-9-16**

Dear Mr. Miller,

Based on the Certification received 12/9/2016, the site is acceptable for release of a permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

C: email, Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.;
Blocker, Lois



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ST. PETER AND PAUL CHURCH SCHOOL ^{ADDITION} Building Permit #: _____ City Drainage #: H11D062
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: PORTION OF TRACT 360 UNIT 8 (336D186P267) ZONE SU-1
City Address: 5800 DURAY N.W., ALBUQUERQUE, NM.
Engineering Firm: MILLER ENGINEERING CONSULTANTS, INC Contact: JOHN JACQUEZ
Address: 3500 CONACHE NE, BLDG. F, ALBUQUERQUE, NM 87107
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: JJACQUEZ@MECNM.COM
Owner: THE SOCIETY OF SAINT Pius X Contact: FR. PATRICK RUTLEDGE
Address: 2331 MAIDEN GRASS RD NW, ALBUQUERQUE, NM 87120
Phone#: 816-753-0073 Fax#: _____ E-mail: _____
Architect: ORCUTT WINSLOW Contact: TIM SCOLARO
Address: 3003 N. CENTRAL AVE., 16TH FLOOR, PHOENIX, AZ 85012
Phone#: 602-257-1764 Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/DRAINAGE
☐ TRAFFIC/TRANSPORTATION
☐ MS4/EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 12-9-2016

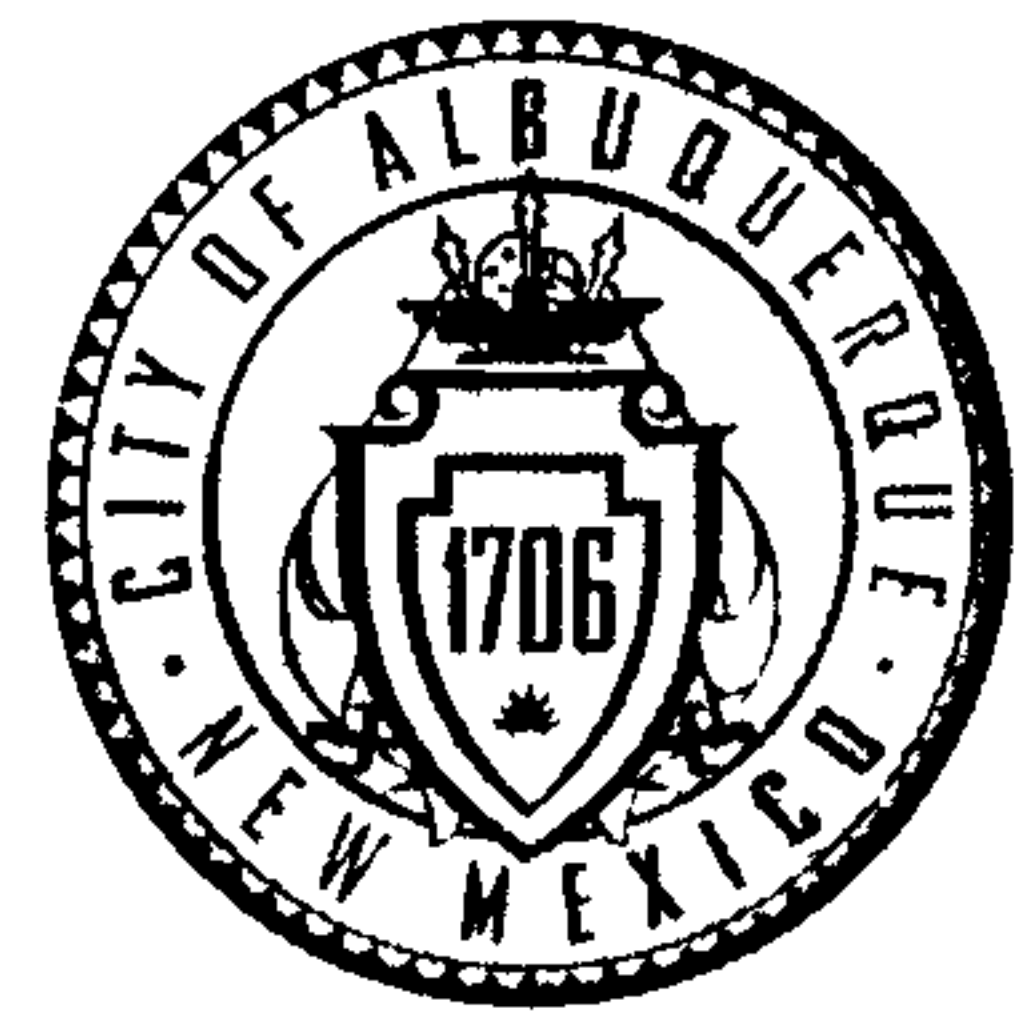
By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



[Signature]
J. MILLER

CITY OF ALBUQUERQUE



May 5, 2015

Verlyn Miller, PE
Miller Engineering Construction
3500 Comanche NE Building F
Albuquerque, NM 87107

**RE: St. Peter and Paul Church, 5800 Ouray Road NW
Grading and Drainage Plan
Engineer's Stamp Date 4-16-2015 (File: H11-D062)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 4-17-15, the above referenced plan is approved for DRB action on the Site Development Plan for Building Permit, and it is also approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293 Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

Albuquerque If you have any questions, you can contact me at 924-3924.

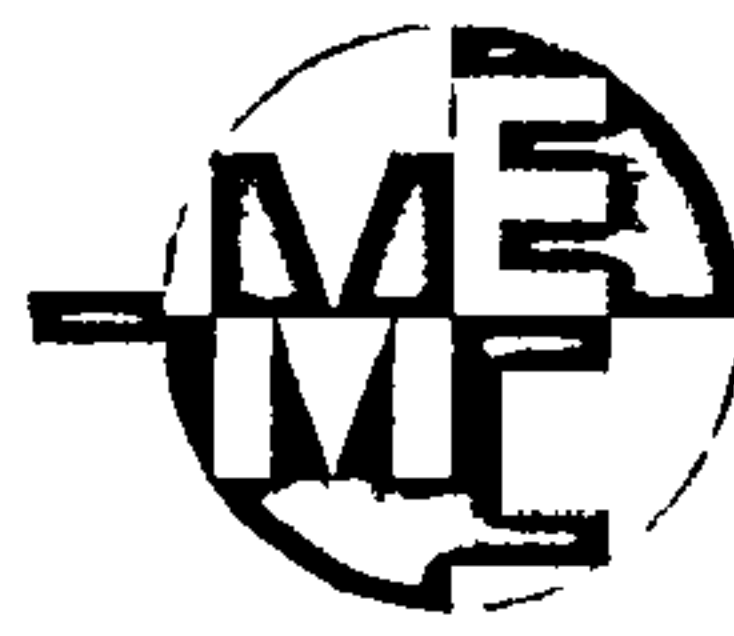
New Mexico 87103

www.cabq.gov

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via Email: Recipient, Monica Ortiz

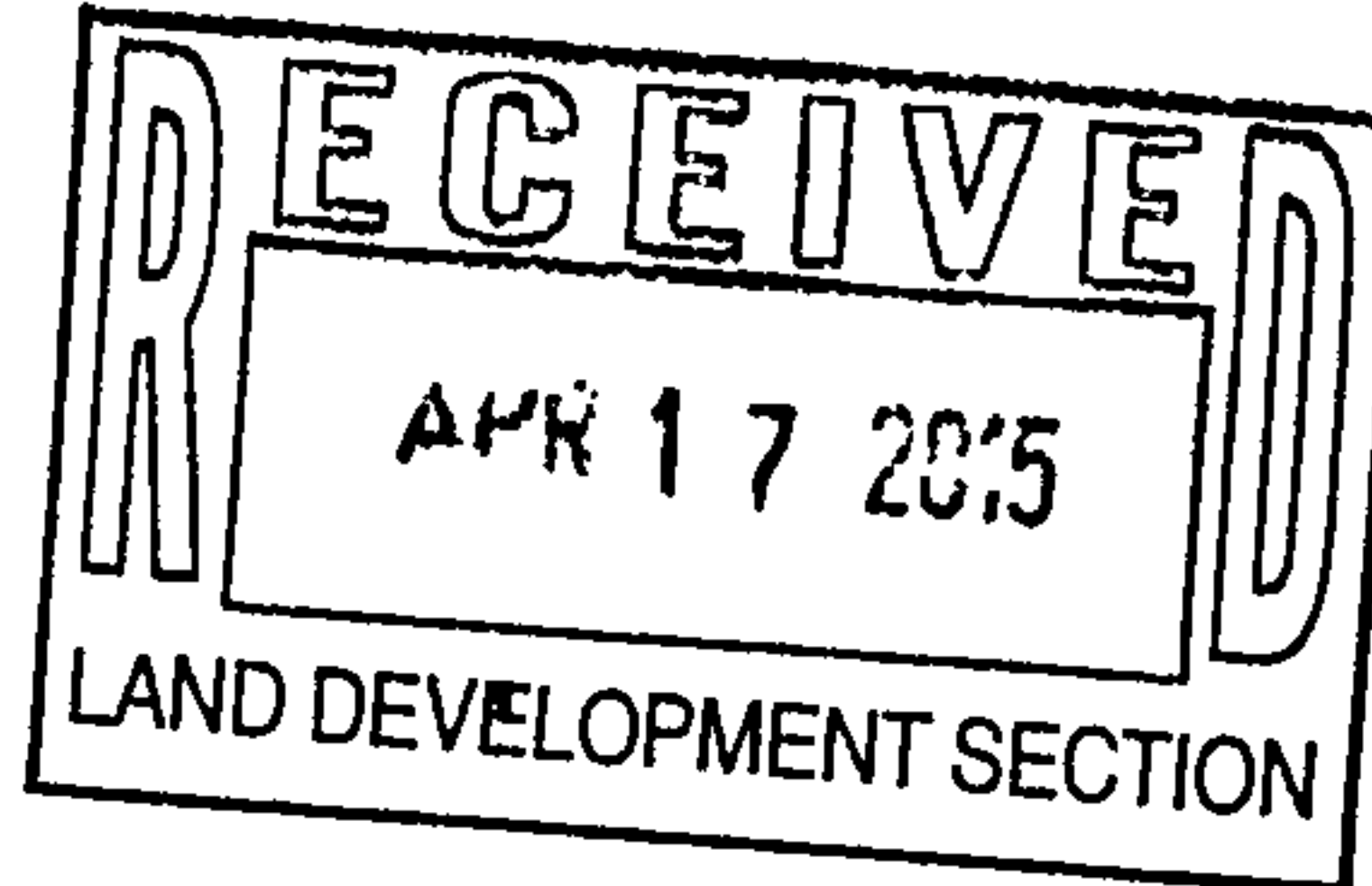


MILLER ENGINEERING CONSULTANTS

Engineers • Planners

April 15, 2015

City of Albuquerque
Planning Department
Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103



Attn: Jean Wolfenbarger, P.E., Senior Engineer, Planning Dept.

**RE: St. Peter and Paul Church, 5800 Ouray Road NW
Grading and Drainage Plan
Engineers Stamp Date 3-20-2015 (File: H11-D062)**

Dear Ms. Wolfenbarger:

This letter is in response to your comments by letter dated April 14, 2015. All of your comments have been addressed as follows:

1. Highlight site on vicinity map, and show Basin A-1 and B-1 boundaries. In the Drainage Narrative, explain Basin A-1's ultimate discharge to the southwest corner of the property if this is the case.
Please see sheet c-100 for highlighted vicinity map. Please see sheet C-101 for the drainage basin boundaries. Please see c-100 under the conclusion for the description of Basin A-1 ultimate discharge to SW corner of property.
2. In discussion of off-site flows, also mention any impact of on-site drainage to the property to the west and east or lack there-of. Provide more existing spot elevations along the western and eastern boundaries of the site.
Please see c-100 under the off-site flows for impact of onsite flows to offsite properties. Please see c-101 for additional existing spot elevations.
3. For the new 12" pipe tie-in to the existing inlet at the southwest corner of the site, provide a downstream invert elevation and show the invert elevation of this existing inlet to ensure positive flow to the storm drain in Miami Road. Show and label existing storm drain in Miami Road and the tie to the existing storm drain in Miami Road.
Please see sheet C-101, for the information on the onsite existing storm drain inlet and the location of the offsite storm drain system.
4. Label curb cuts where needed in low spots within the newly paved areas. It looks like a curb cut needs to be called out where Keyed Note 13 calls out a riprap rundown from the parking lot.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01 06)

H11D062

PROJECT TITLE: SIS. PETER AND PAUL CHURCH ZONE MAP DRG. FILE # H-11-7
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT 360 UNIT 8 (336 D186P2167) ZONE SU-1
 CITY ADDRESS: 5800 OURAY N.W., ALBUQUERQUE, NM

ENGINEERING FIRM: MILLER ENGINEERING CONS.
 ADDRESS: 3500 COMANCHE NE BLDG. E
 CITY, STATE: ALB., NM 87107

CONTACT: VERLYN MILLER
 PHONE: 505-888-7500
 ZIP CODE: 87107

OWNER: THE SOCIETY OF SAINT PIOUS X
 ADDRESS: 2331 MAIDEN GRASS RD. N.W.
 CITY, STATE: ALB., NM

CONTACT: FR. PATRICK RUTLEDGE
 PHONE: 816-753-0073
 ZIP CODE: 87120

ARCHITECT: ORCHIT WINSLOW
 ADDRESS: 3003 N. CENTRAL AVE. 16TH FLOOR
 CITY, STATE: PHOENIX, AZ

CONTACT: TIM SCOLARO
 PHONE: 602-257-1764
 ZIP CODE: 85012

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER ARCHITECT CERT (TCL)
☐ ENGINEER ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

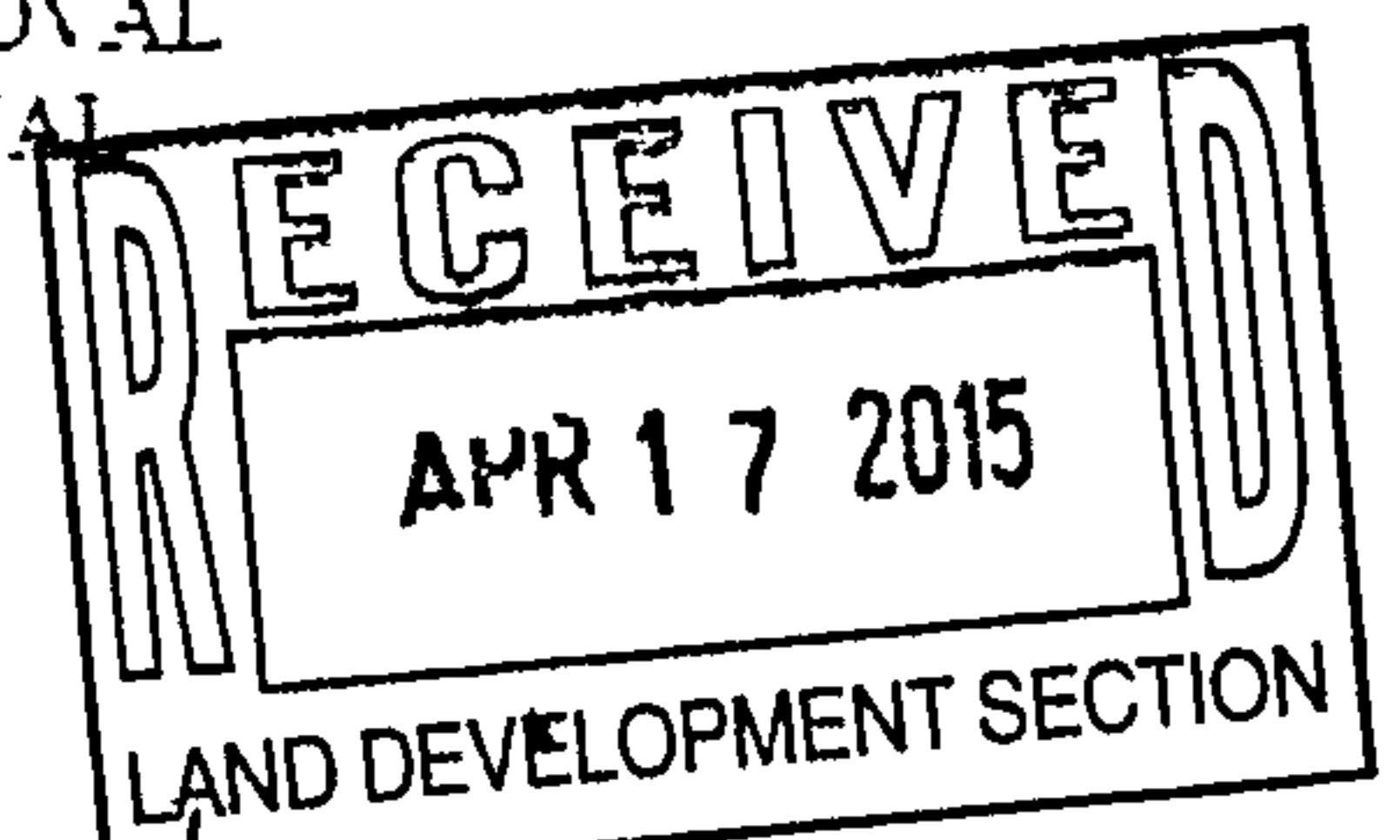
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: JOHN JACQUEZ DATE: 4/16/15

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and for plans less than 5 acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Fw: St Peter and Paul Church Part 2

Juan Dominguez

Fri 4/17/2015 12:55 PM

Sent Items

To: mortiz@cabq.gov <mortiz@cabq.gov>;

Cc: Verlyn Miller <vmiller@mecnm.com>; John Jacquez <jjacquez@mecnm.com>;

 3 attachments (4 MB)

misc details c-500.pdf; DETAILED gd C-102.pdf; Information sheet and calculations.pdf;

Here is the rest of the drawings

From: Juan Dominguez

Sent: Friday, April 17, 2015 12:52 PM

To: mortiz@cabq.gov

Cc: Verlyn Miller; John Jacquez

Subject: St Peter and Paul Church Part 1

Monica,

Here are the PDF of plans and calculations that we will be submitting for the Peter and Paul Church project.

Since the files are two big I have split them up into two different emails.

Thank You

Please see Sheet C-101 for the curb cut call out.

5. Keyed Note 17 for the storm drain is not called out on the plan view.

Please see Sheet C-101 for the key note call out.

6. Is the top of grate elevation meant to be called out as 5100.70 on Keyed Note 16? If so, call it out, and double check on pipe cover since with the listed pipe invert elevation, it appears that the pipe cover is less than a foot.

Please see Sheet C-101 and C-102 for revised elevations.

7. Show capacities, discharge flows, and pipe slopes for all proposed on-site storm drain pipes. Show capacity of new on-site inlet. For any proposed curb cuts, also provide capacity calculations.

Please see attached hydraulic calculations for the capacity calculations.

8. For the proposed pond, label complete pond volume and WSEL Elevation.

Please see Sheet C-101 for additional pond information.

If you have any questions or need any additional information, please feel free to contact our office.

MILLER ENGINEERING CONSULTANTS, INC.



Verlyn A. Miller, P.E.
President

VAM:vam
Enclosures

cc: File



Worksheet for Grate Inlet In Sag - 3

Project Description

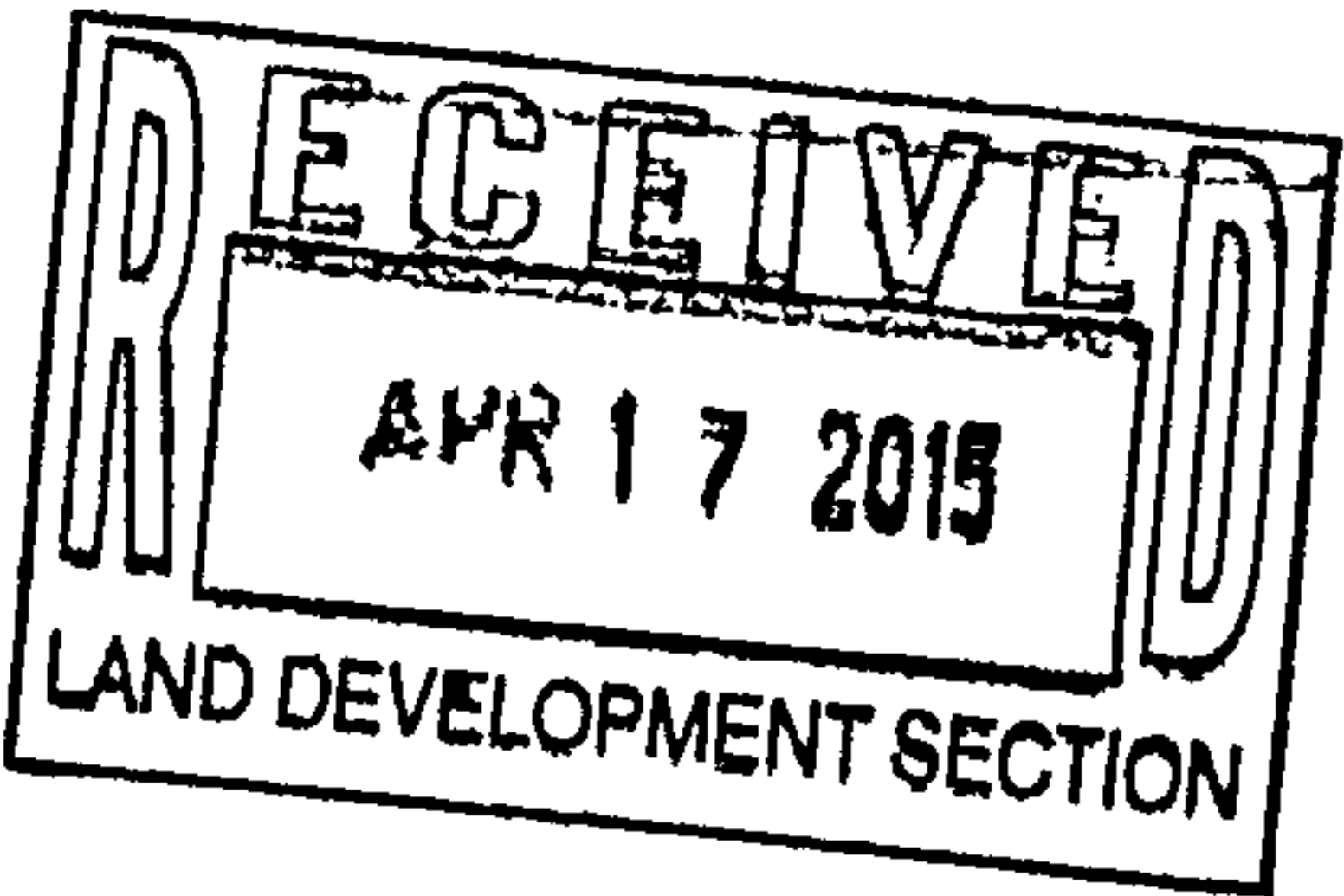
Flow Element: Grate Inlet In Sag
Solve For: Spread

Input Data

Discharge:	6.69	ft ³ /s
Gutter Width:	20.00	ft
Gutter Cross Slope:	0.04	ft/ft
Road Cross Slope:	0.04	ft/ft
Grate Width:	6.00	ft
Grate Length:	2.00	ft
Local Depression:	1.00	in
Local Depression Width:	6.00	ft
Grate Type:	P-50 mm (P-1-7/8")	
Clogging:	50.00	%

Results

Spread:	14.98	ft
Depth:	0.52 < 0.9' ∴ O.K.	ft
Gutter Depression:	0.00	ft
Total Depression:	0.08	ft
Open Grate Area:	5.40	ft ²
Active Grate Weir Length:	8.00	ft



Culvert Calculator Report

12" SD PIPE ON ST PETER PAUL

Solve For: Discharge

Culvert Summary

Allowable HW Elevation	5,101.60 ft	Headwater Depth/Height	3.32
Computed Headwater Elev.	5,101.60 ft	Discharge	3.71 cfs
Inlet Control HW Elev.	5,099.84 ft	Tailwater Elevation	5,097.50 ft
Outlet Control HW Elev.	5,101.60 ft	Control Type	Outlet Control

$$3.71 \text{ cfs} \times 2 = 7.42 \text{ cfs} > 6.67 \text{ cfs}$$

∴ O.K.

Grades

Upstream Invert	5,098.28 ft	Downstream Invert	5,097.00 ft
Length	292.00 ft	Constructed Slope	0.004384 ft/ft

Hydraulic Profile

Profile	CompositeM2PressureProfile	Depth, Downstream	0.82 ft
Slope Type	Mild	Normal Depth	N/A ft
Flow Regime	Subcritical	Critical Depth	0.82 ft
Velocity Downstream	5.38 ft/s	Critical Slope	0.010827 ft/ft

Section

Section Shape	Circular	Mannings Coefficient	0.013
Section Material	Concrete	Span	1.00 ft
Section Size	12 inch	Rise	1.00 ft
Number Sections	1		

Outlet Control Properties

Outlet Control HW Elev.	5,101.60 ft	Upstream Velocity Head	0.35 ft
Ke	0.50	Entrance Loss	0.17 ft

Inlet Control Properties

Inlet Control HW Elev.	5,099.84 ft	Flow Control	Submerged
Inlet Type	Square edge w/headwall	Area Full	0.8 ft²
K	0.00980	HDS 5 Chart	1
M	2.00000	HDS 5 Scale	1
C	0.03980	Equation Form	1
Y	0.67000		

Worksheet for Broad Crested Weir - 1

Project Description

Flow Element:

Broad Crested Weir (CURB CUT - KEY NOTE 26)

Solve For:

Discharge

Input Data

Headwater Elevation:	100.80	ft
Crest Elevation:	100.30	ft
Tailwater Elevation:	100.50	ft
Crest Surface Type:	Paved	
Crest Breadth:	2.00	ft
Crest Length:	3.00	ft

Results

Discharge:	3.26	ft ³ /s
Headwater Height Above Crest:	0.50	ft
Tailwater Height Above Crest:	0.20	ft
Weir Coefficient:	3.08	US
Submergence Factor:	1.00	
Adjusted Weir Coefficient:	3.08	US
Flow Area:	1.50	ft ²
Velocity:	2.18	ft/s
Wetted Perimeter:	4.00	ft
Top Width:	3.00	ft

AREA DRAINING TO CURB CUT (KN 26)
IS $210 \times 200 = 42000$ SF = 0.96 AC
WHICH IS 32% OF BASIN B-1. 32%
OF $Q_{100} = 6.75$ cfs = 2.13 cfs < 3.26 cfs

∴ OK

Worksheet for Copy of Broad Crested Weir - 1

Project Description

Flow Element:

Broad Crested Weir

(CURB CUT-KEY NOTE 15)

Solve For:

Discharge

Input Data

Headwater Elevation:	100.29	ft
Crest Elevation:	99.79	ft
Tailwater Elevation:	100.00	ft
Crest Surface Type:	Paved	
Crest Breadth:	2.00	ft
Crest Length:	3.50	ft

Results

Discharge:	3.81	ft ³ /s
Headwater Height Above Crest:	0.50	ft
Tailwater Height Above Crest:	0.21	ft
Weir Coefficient:	3.08	US
Submergence Factor:	1.00	
Adjusted Weir Coefficient:	3.08	US
Flow Area:	1.75	ft ²
Velocity:	2.18	ft/s
Wetted Perimeter:	4.50	ft
Top Width:	3.50	ft

AREA DRAINING TO CURB CUT (KN 15)
IS $37' \times 270' = 9990 \text{ SF} = 0.23 \text{ AC}$
WHICH IS 8% OF BASIN B-1. 8%
OF $Q_{100} = 6.75 \text{ cfs} = 0.51 \text{ cfs} < 3.81 \text{ cfs}$
 $\therefore \text{OK}$

Wolfenbarger, Jeanne

From: John Jacquez <jjacquez@mecnm.com>
Sent: Monday, May 04, 2015 3:59 PM
To: Wolfenbarger, Jeanne
Cc: Verlyn Miller
Subject: RE: H11-D062 (St. Peter and Paul Church)

Jeanne,

The total volume to the pond is Basin B-1 = 0.249 AF (from our drainage calculations) and A-1 = 16437 cf = 0.38 AF (from Drainage Master Plan by Kevin Georges and Associates, engineers stamp dated July 25, 2000). Thus the total volume = 0.626 AF. This volume is contained at an elevation of approximately 5098.50 based on the pond rating table shown on sheet C-100.

Thanks for your assistance on this project and look forward to working with you on future projects.

Thanks John

Best Regards,
John Jacquez
Project Manager
Miller Engineering Consultants
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505-888-7500
Fax: 505-888-3800

-----Original Message-----

From: John Jacquez
Sent: Tuesday, April 14, 2015 6:19 PM
To: 'Wolfenbarger, Jeanne'
Cc: 'Verlynn Miller'
Subject: RE: H11-D062 (St. Peter and Paul Church)

Thanks Jeanne.

Best Regards,
John Jacquez
Project Manager
Miller Engineering Consultants
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505-888-7500
Fax: 505-888-3800

-----Original Message-----

From: Wolfenbarger, Jeanne [<mailto:jwolfenbarger@cabq.gov>]
Sent: Tuesday, April 14, 2015 4:18 PM
To: John Jacquez

FAX
345-4254

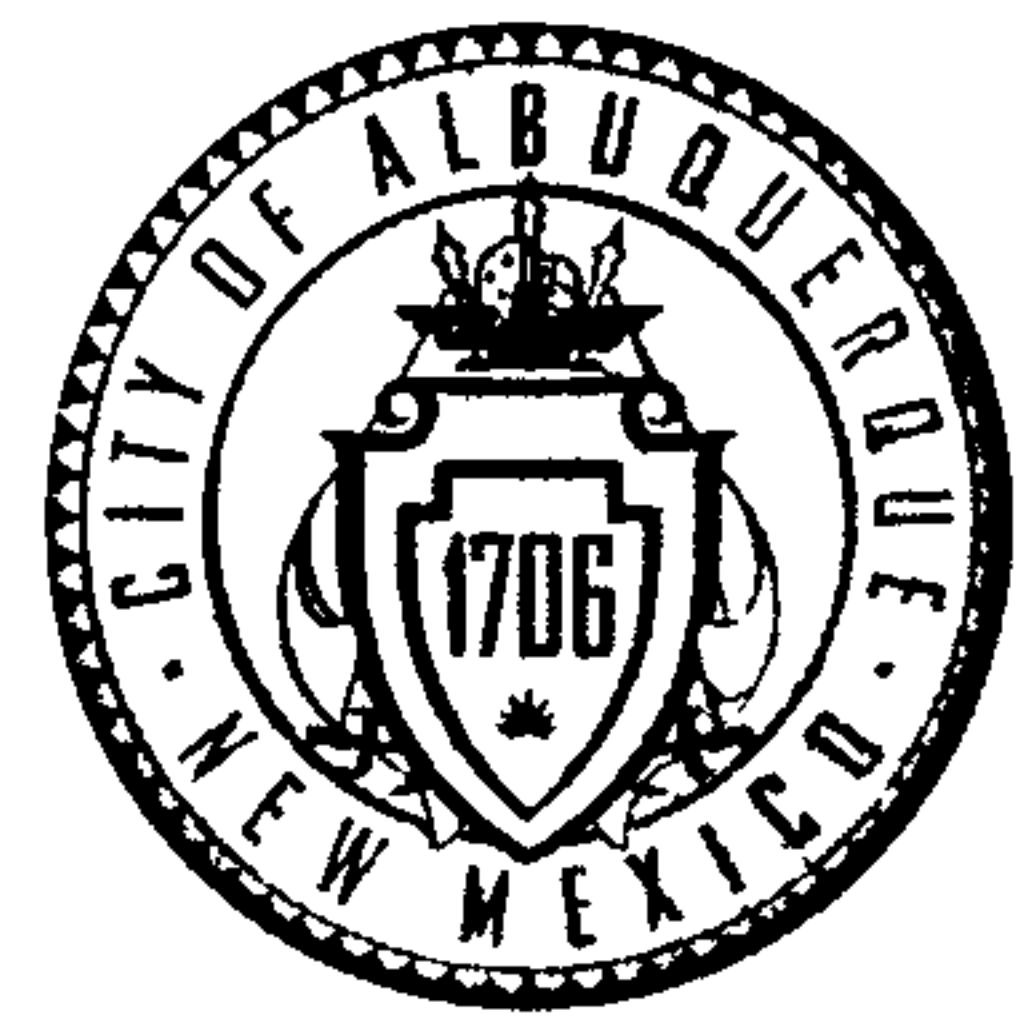
Subject: H11-D062 (St. Peter and Paul Church)

John,

See attached comment letter for grading and drainage.

Jeanne

CITY OF ALBUQUERQUE



April 14, 2015

Verlyn Miller, PE
Miller Engineering Construction
3500 Comanche NE Building F
Albuquerque, NM 87107

**RE: St. Peter and Paul Church, 5800 Ouray Road NW
Grading and Drainage Plan
Engineer's Stamp Date 3-20-2015 (File: H11-D062)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 3-20-15, the above referenced plan cannot be approved for DRB action on the Site Plan for Building Permit until the following comments are addressed:

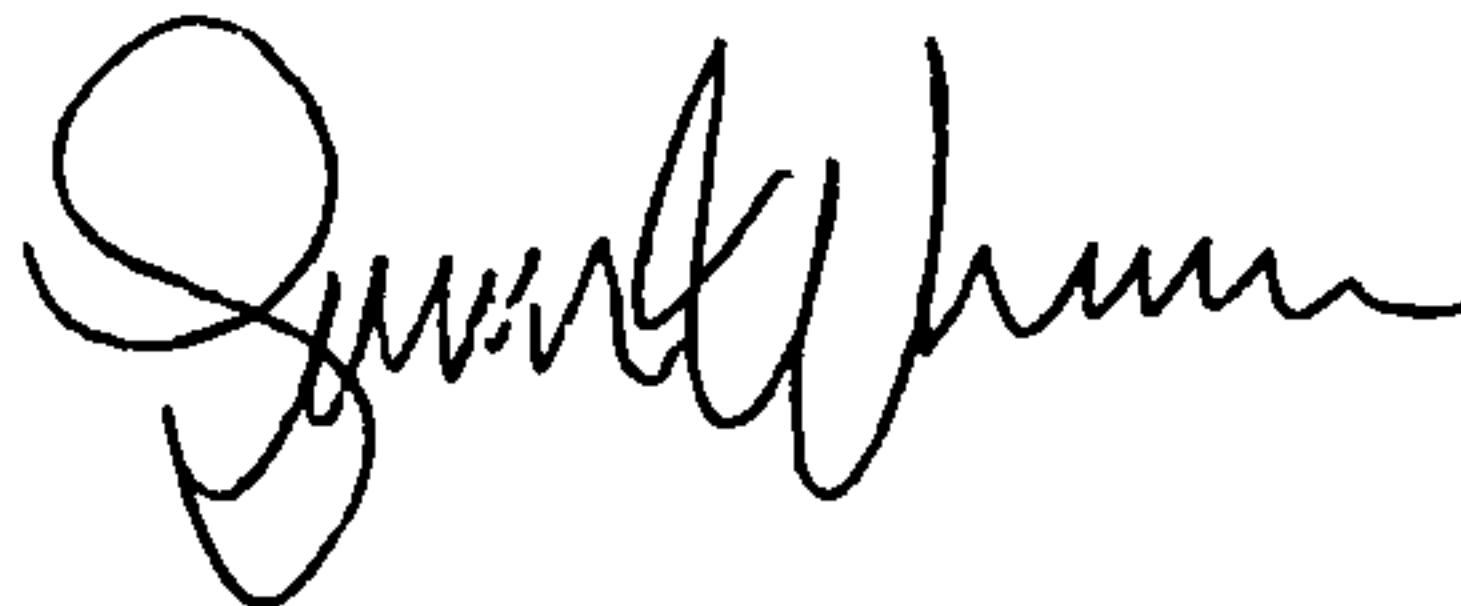
- | | |
|------------------|--|
| PO Box 1293 | 1) Highlight site on vicinity map, and show Basin A-1 and B-1 boundaries. In the Drainage Narrative, explain Basin A-1's ultimate discharge to the southwest corner of the property if this is the case. |
| Albuquerque | 2) In discussion of off-site flows, also mention any impact of on-site drainage to the property to the west and east or lack there-of. Provide more existing spot elevations along the western and eastern boundaries of the site. |
| New Mexico 87103 | 3) For the new 12" pipe tie-in to the existing inlet at the southwest corner of the site, provide a downstream invert elevation, and show the invert elevation of this existing inlet to ensure positive flow to the storm drain in Miami Road. Show and label existing storm drain in Miami Road and the tie to the existing storm drain in Miami Road. |
| www.cabq.gov | 4) Label curb cuts where needed in low spots within the newly paved areas. It looks like a curb cut needs to be called out where Keyed Note 13 calls out a riprap rundown from the parking lot. |

Prior to obtaining a building permit, please address the following comments:

- 1) Keyed Note 17 for the storm drain is not called out on the plan view.
- 2) Is the top of grate elevation meant to be called out as 5100.70 on Keyed Note 16? If so, call it out, and double-check on pipe cover since with the listed pipe invert elevation, it appears that the pipe cover is less than a foot.
- 3) Show capacities, discharge flows, and pipe slopes for all proposed on-site storm drain pipes. Show capacity of new on-site inlet. For any proposed curb cuts, also provide capacity calculations.
- 4) For the proposed pond, label complete pond volume and WSEL Elevation.

If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: ST. PETER AND PAUL CHURCH ZONE MAP/DRG. FILE # H-11-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT 360 UNIT 8 (336 D 1810 P 2107) ZONE SU-1
CITY ADDRESS: 5800 OURAY N.W., ALBUQUERQUE, NM

ENGINEERING FIRM: MILLER ENGINEERING CONS.
ADDRESS: 3500 COMANCHE W. BLDG. E
CITY, STATE: ALB., NM 87107

CONTACT: VERLAIN MILLER
PHONE: 505-888-7500
ZIP CODE: 87107

OWNER: THE SOCIETY OF SAINT PIUS X
ADDRESS: 2331 MAIDEN GRASS RD. N.W.
CITY, STATE: ALB., NM

CONTACT: FR. PATRICK RUTLEDGE
PHONE: 816-753-0073
ZIP CODE: 87120

ARCHITECT: ORCUTT WINSLOW
ADDRESS: 3003 N. CENTRAL AVE. 16TH FLOOR
CITY, STATE: PHOENIX, AZ

CONTACT: TIM SCOLARO
PHONE: 602-257-1764
ZIP CODE: 85012

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'DEVELOPMENT
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: JOHN JACQUEZ DATE: 3/20/15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 20, 2011

Marvin R. Kortum, P.E.
Marvin R. Kortum Engineering
1605 Speakman Dr. SE
Albuquerque, NM 87123

**Re: Saints Paul and Peter Traditional Catholic Church
Grading and Drainage Plan
Engineer's Stamp date 5-9-11 (H11/D062)**

Dear Mr. Kortum,

Based upon the information provided in your submittal received 5-9-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- A original stamp and signature are needed for these plans.
- Where is the new paving and the existing pavement?
- Where is the curbing and where are the curb cuts?
- Why are there pond invert? Are these invert in or out?
- Please provide a detail for the inlet and the outlet of the detention pond.
- Is the channel existing or new? If new a detail is needed.
- How is the flow north of the building exiting?
- Provide 10 day volume calculations if pond does not drain.
- Include detention /retention as part of runoff calculations.
- Table A-2 appears to be incorrect.
- Use the effective FIRM panel.

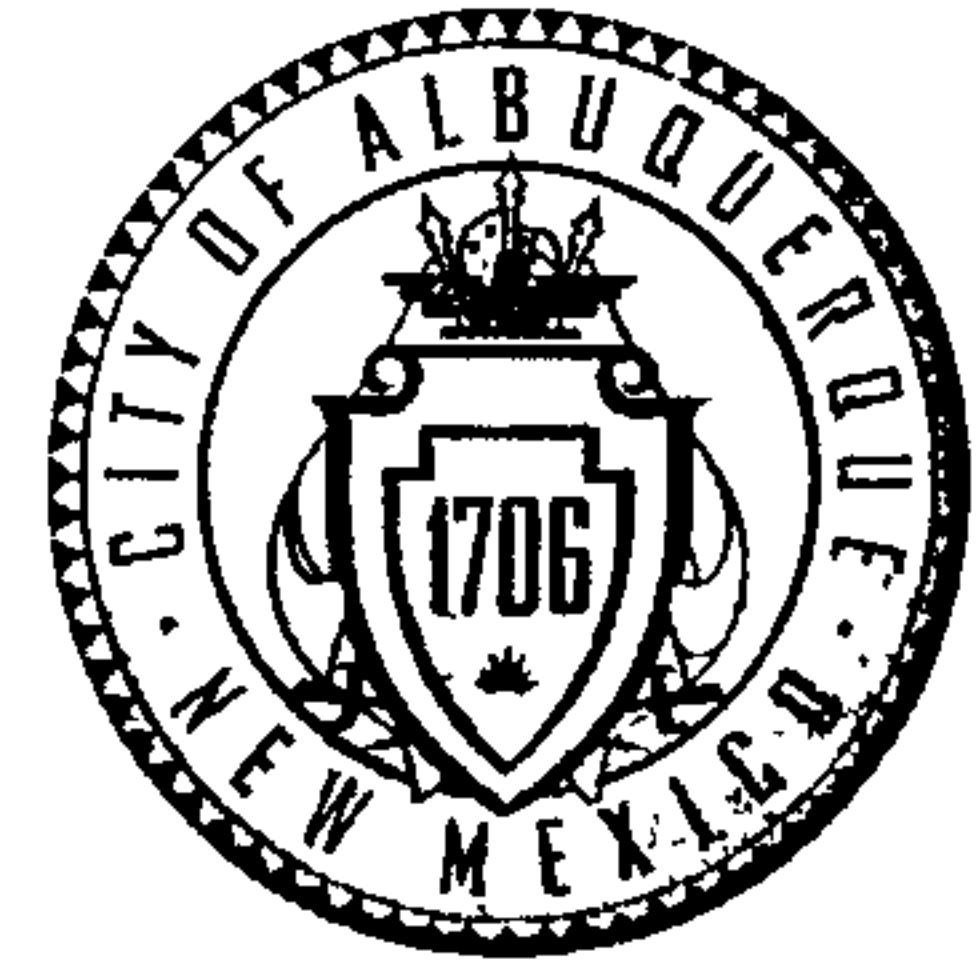
If you have any questions, you may contact me at 924-3421.

Sincerely,

Paul Olson
Paul Olson, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

MP/PO
C: file

CITY OF ALBUQUERQUE



September 8, 2011

Marvin R. Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123
Phone: 505-299-0774

**Re: Saints Peter and Paul Traditional Catholic Church, 5800 Ouray Rd. NW,
Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated: 07-26-01 (H-11/D062)
Certification dated: 09-07-11**

Dear Mr. Kortum,

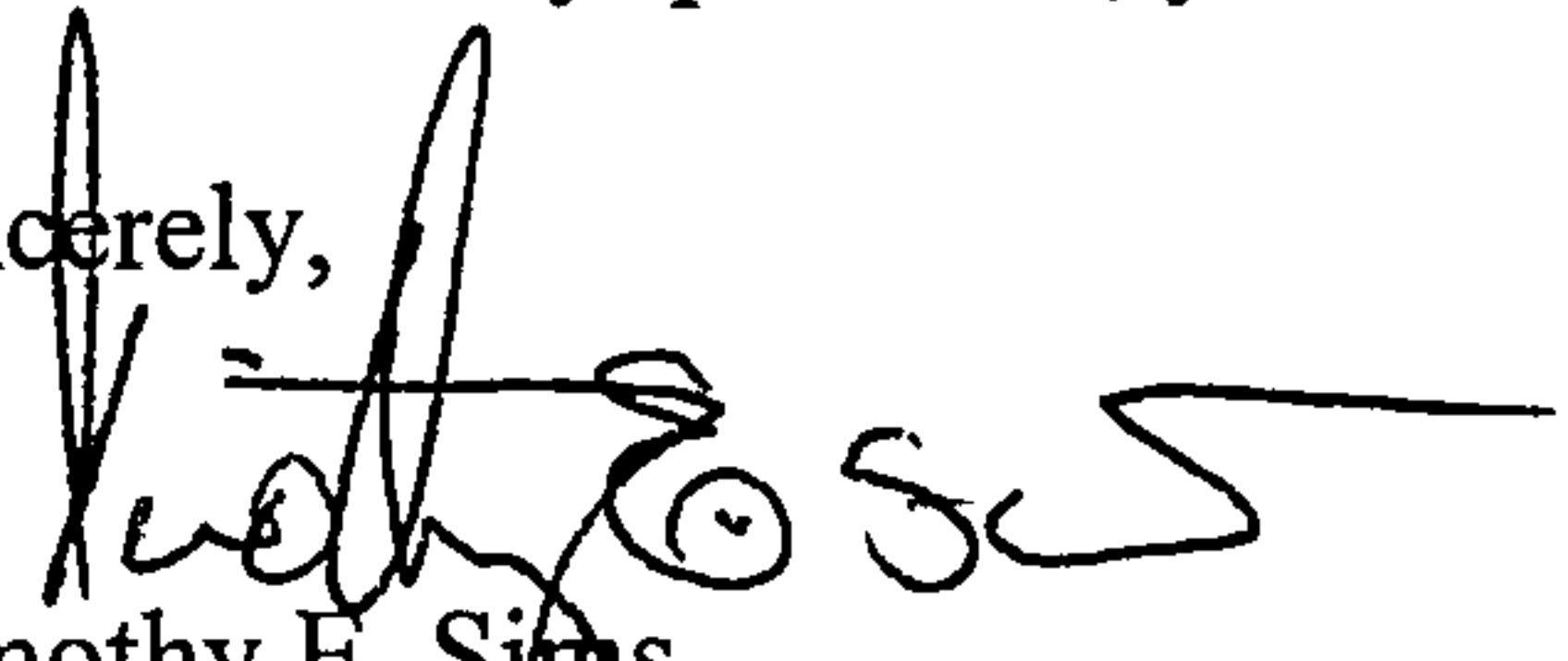
Based upon the information provided, received 09/07/11, and a site visit on 09/08/11 the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3977.

Sincerely,

Albuquerque


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

NM 87103

www.cabq.gov

C: ^{cc} Curtis A. Cherne, P.E., Principal Engineer
CO Clerk—Katrina Sigala
File

Marvin R. Kortum, NMPE 6519
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX: 299-9405;
M: (505) 934-5786

September 7, 2011

City of Albuquerque
Planning Department, Development and Building Services
Hydrology Development Section
P. O. Box 1293
Albuquerque, New Mexico 87103

Reference: Certification for permanent occupancy for the Grading and Drainage Plan (H11-D62) for Saints Peter and Paul Traditional Catholic Church, located at 5800 Ouray Road NW.

Dear Section Chief:

This letter forwards a copy of my certification of completion of the referenced Grading and Drainage Plan. I have attached a copy of my previous certification, dated December 8, 2006, and the City's approval for release of permanent Certificate of Occupancy by Hydrology dated November 12, 2006 (?). The December 8, 2006 certification was for the Church building and adjacent parking. My September 7, 2011 Certification is for the Fellowship Hall and the adjacent parking.

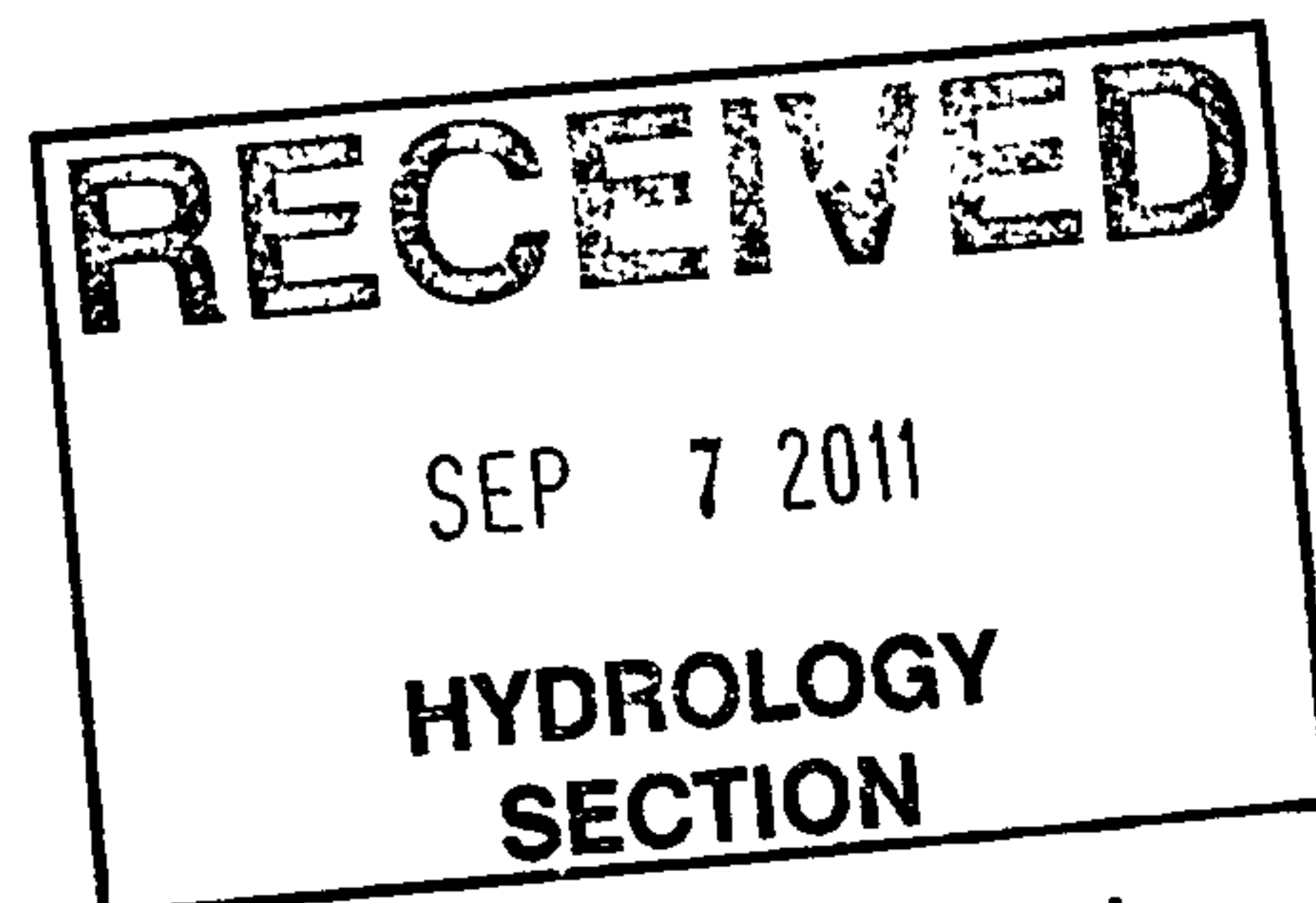
My certification has been placed on the three sheets that are current for the hydrology aspects. Some of the confusion on sheet numbering and presentation can be explained by the change in Architects for the project, and the extended time period for the construction.

I request your approval of the Grading and Drainage Plan for permanent occupancy.

Thank you for your assistance.

Sincerely,

Marvin R. Kortum



H11/D062

CITY OF ALBUQUERQUE



November 12, 2006

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

**Re: Saints Peter and Paul Traditional Catholic Church, 5800 Ouray Road
NW, Certificate of Occupancy**

Engineer's Stamp dated 9-17-01 (H11-D62)

Certification dated 12-08-06

Dear Mr. Kortum,

P.O. Box 1293

Based upon the information provided in your submittal received 12-12-06, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

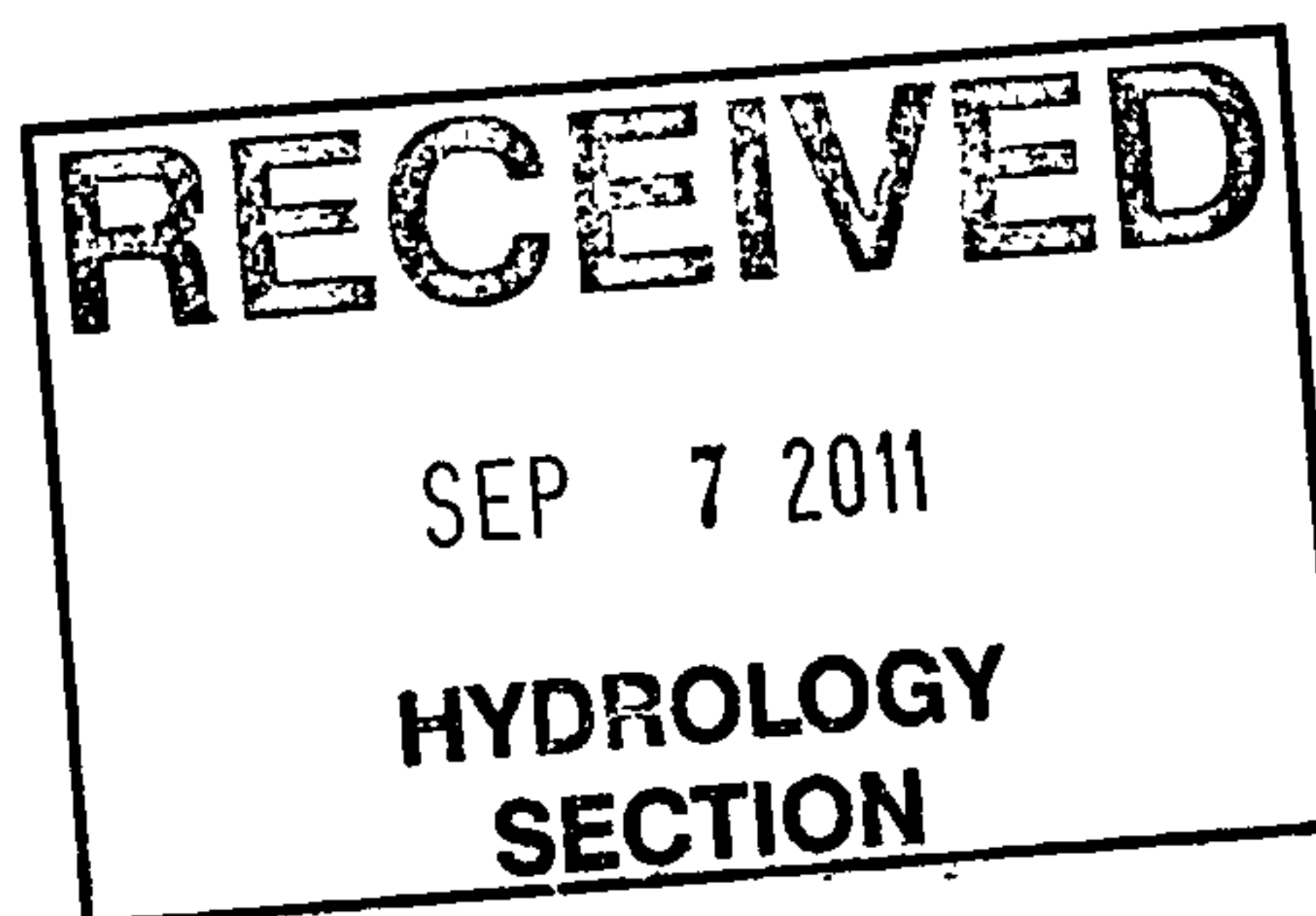
Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
file



Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

December 8, 2006

City of Albuquerque
Planning Department, Development and Building Services Division
Hydrology Development Section
ATTN: Brad Bingham, Section Head (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Certificate for permanent occupancy for the Grading and Drainage Plan for Saints Peter and Paul Church, located at 5800 Ouray Road NW (Z98-73, DRB 1000400, Work Order 698181, Map H-11, Hydrology H-11/d)

Dear Brad:

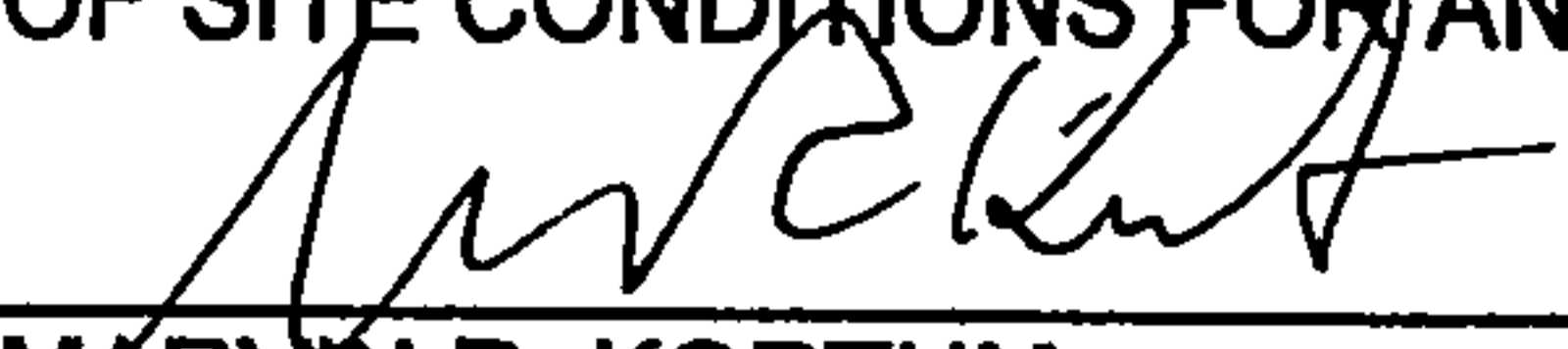
By your letter of October 19, 2006 you requested a resubmittal of my certification for the grading and drainage plan. This letter is the certification.

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED CHURCH BUILDING AND SITE IMPROVEMENTS ON TRACT 336, UNIT 8, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AT ADDRESS 5800 OURAY ROAD NW, ALBUQUERQUE, NEW MEXICO 87107. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE PLAN APPROVED SEPTEMBER 28, 2001, AND INCLUDED AS PART OF THE SITE DEVELOPMENT PLAN EPC CASE #99-107, DRB PROJECT 1000400, WITH ENGINEERS STAMP JULY 25, 2000, AND WORK ORDER 6981.81, WHICH WAS CERTIFIED AS COMPLETE ON NOVEMBER 1, 2006.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

AS-BUILT ELEVATIONS ARE NOTED AS:

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE HYDROLOGY ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.


MARVIN R. KORTUM
NMPE 6519

DEC 8, 2006
DATE

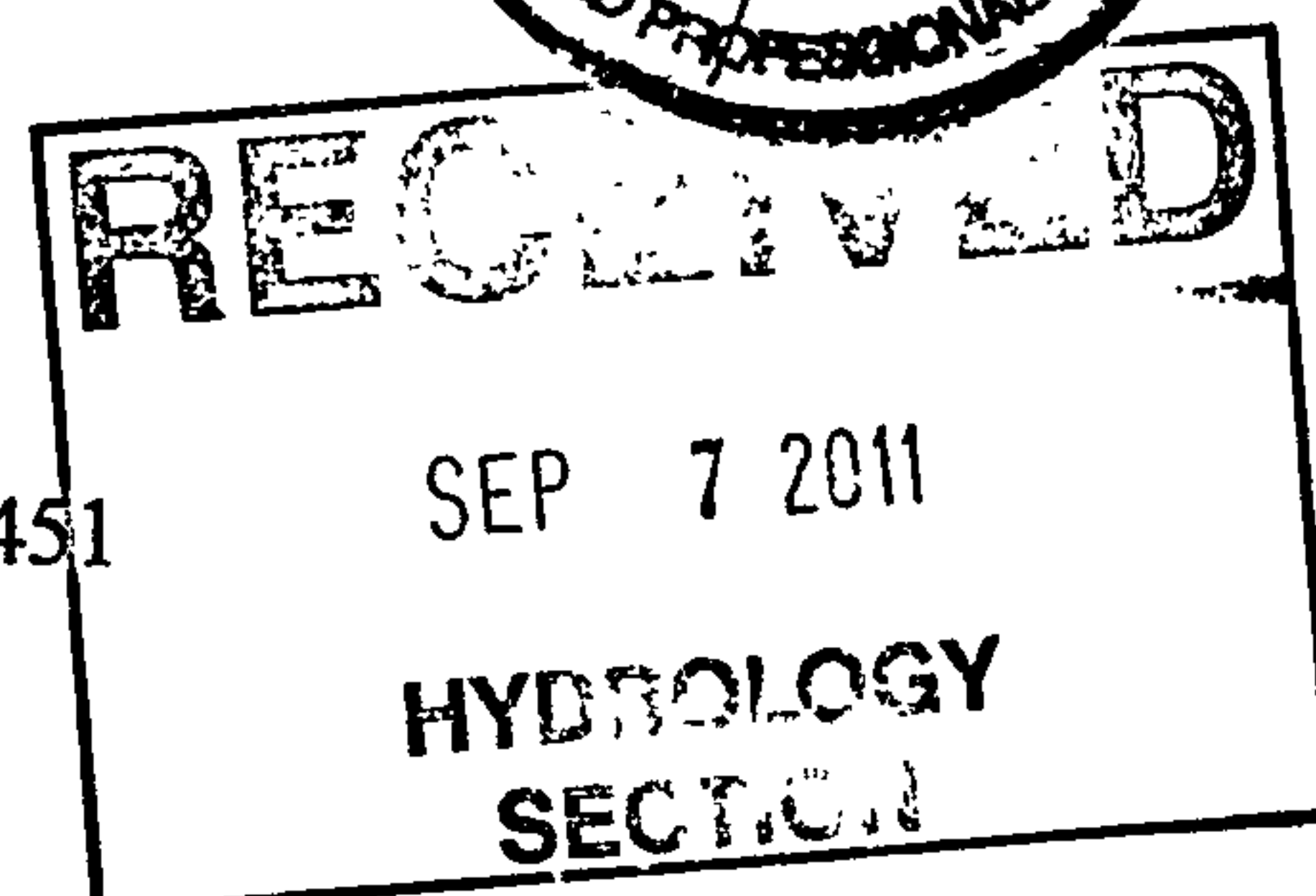


Thank you for your assistance on this matter.

Sincerely,


Marvin R Kortum

Cc: Leroy Ortiz (Saints Peter and Paul Church)
3112 Vega Verde Albuquerque, NM 87105 (505) 440-3451



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Hydrology Section
Predesign Meeting - Conference Notes
DATE: Feb. 11, 2014

ZONE ATLAS PAGE: H11 - D062
DRAINAGE FILE: H11 - D062

ADDRESS: 5800 Ouray Road NW

PROJECT SCOPE: Classroom Addition to Saints Peter and Paul Catholic Church

ATTENDANCE: Greg Olson & ~~Verlyn Miller~~ John Jacques

FINDINGS:

- Proposed School add'n for 200 students
- Can they eliminate the Pond? - Not Req'd by COA
- Keep runoff rate at or below 18.93 cfs previously approved for this site.
- + Route runoff through landscaping to "Harvest" where possible.
- Be aware of HGL in Miami St. Drain.
- Able to Place Area inlets that connect to existing inlets (Double D)

The undersigned agrees that the above findings are summarized accurately and are subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Greg Olson 2/11/14
NAME: Greg Olson, CoA Hydrology

SIGNED: John Jacques MEC
NAME (PRINT): John Jacques

NOTE: PLEASE INCLUDE A COPY OF THIS SHEET WITH YOUR DRAINAGE SUBMITTAL, ADDRESSING ANY ISSUES NOTED

Cherne, Curtis

From: Cherne, Curtis
Sent: Monday, January 26, 2015 11:21 AM
To: Quevedo, Vicente M.; 'Verlyn Miller'
Subject: santis Peter and Paul Site Plan

EPC 1000400 1-26-15
Site Plan for Building Permit

Hydrology met with the engineer to discuss drainage at the site in February of 2014. Our conclusion written on the predesign sheet is still applicable. The site is to keep the runoff rate at or below the 18.93 cfs previously approved for this site.

When submitting for DRB, the Conceptual or better drainage plan should demonstrate it meets the runoff rate of 18.93 cfs or less.

Curtis

CITY OF ALBUQUERQUE



November 12, 2006

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

**Re: Saints Peter and Paul Traditional Catholic Church, 5800 Ouray Road
NW, Certificate of Occupancy
Engineer's Stamp dated 9-17-01 (H11-D62)
Certification dated 12-08-06**

Dear Mr. Kortum,

P.O. Box 1293

Based upon the information provided in your submittal received 12-12-06, the
above referenced certification is approved for release of permanent Certificate of
Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
file

H-11/D62

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: SAINTS PETER AND PAUL CHURCH ZONE MAP: H-11
DRB#: 1000400 EPC#: 2-99-107 WORK ORDER#: 6981, 81

LEGAL DESCRIPTION: TRACT 336, UNIT 8, TOWN OF ATASCOCITA, BERNALILLO COUNTY, N.M.
CITY ADDRESS: 5800 OLNEY ROAD NW

ENGINEERING FIRM: MARVIN R KORTUM CONTACT: FAX 299-9405
ADDRESS: 1605 SPARKMAN DR SE PHONE: 505-299-0774
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87123

OWNER: SOCIETY OF ST PETER X CONTACT: LEON ORTEGA
ADDRESS: 333 58TH ST NW PHONE: 440-3451
CITY, STATE: ALBUQUERQUE ZIP CODE: 87105

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: _____ LICENSED SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: PHIL MARSHAL CONTACT: _____
ADDRESS: 2800 1ST ST NW PHONE: 344-1191
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY PERMANENT
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

Certification dated 12/8/06

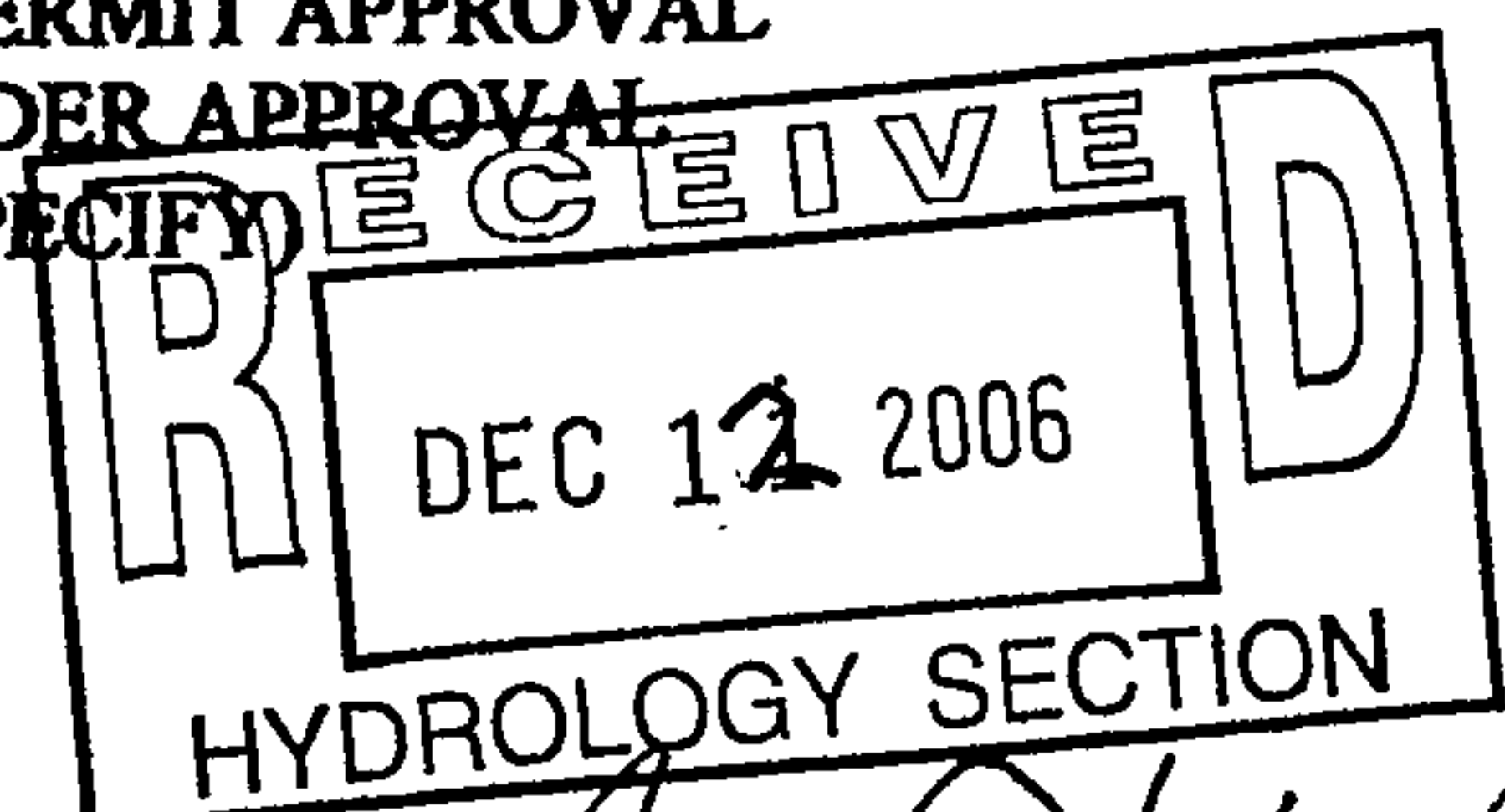
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

Stamp
date 9/17/01

DATE SUBMITTED: Dec 11, 2006

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

BLB

DRAINAGE INFORMATION SHEET

H-11/D62

PROJECT TITLE: STs. PETER AND PAUL TRADITIONAL CATHOLIC CHURCH ZONE MAP/DRG. FILE #: H-11-2
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 334 UNIT 8 TOWN OF ATRISCO GRANT BERNALILLO COUNTY
 CITY ADDRESS: 5800 OURAY ROAD NW

ENGINEERING FIRM: MARVIN KORTUM PE
 ADDRESS: 1605 SPEARMAN DRIVE SE
 CITY, STATE: ALBUQUERQUE NM 87123

CONTACT: MARVIN KORTUM
 PHONE: (505) 299 0774
 ZIP CODE: 87123

OWNER: OUR LADY OF THE ROSARY CHURCH
 ADDRESS: 333 58TH STREET NW
 CITY, STATE: ALBUQUERQUE NM 87105

CONTACT: LEROY ORTIZ
 PHONE: 831 3244
 ZIP CODE: _____

ARCHITECT: KEVIN GEORGES & ASSOCIATES
 ADDRESS: 127 JEFFERSON ST NE STE A
 CITY, STATE: ALBUQUERQUE NM 87108

CONTACT: WILLIAM SANTIAMA
 PHONE: 255 4975
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☒ NO
☐ COPY PROVIDED

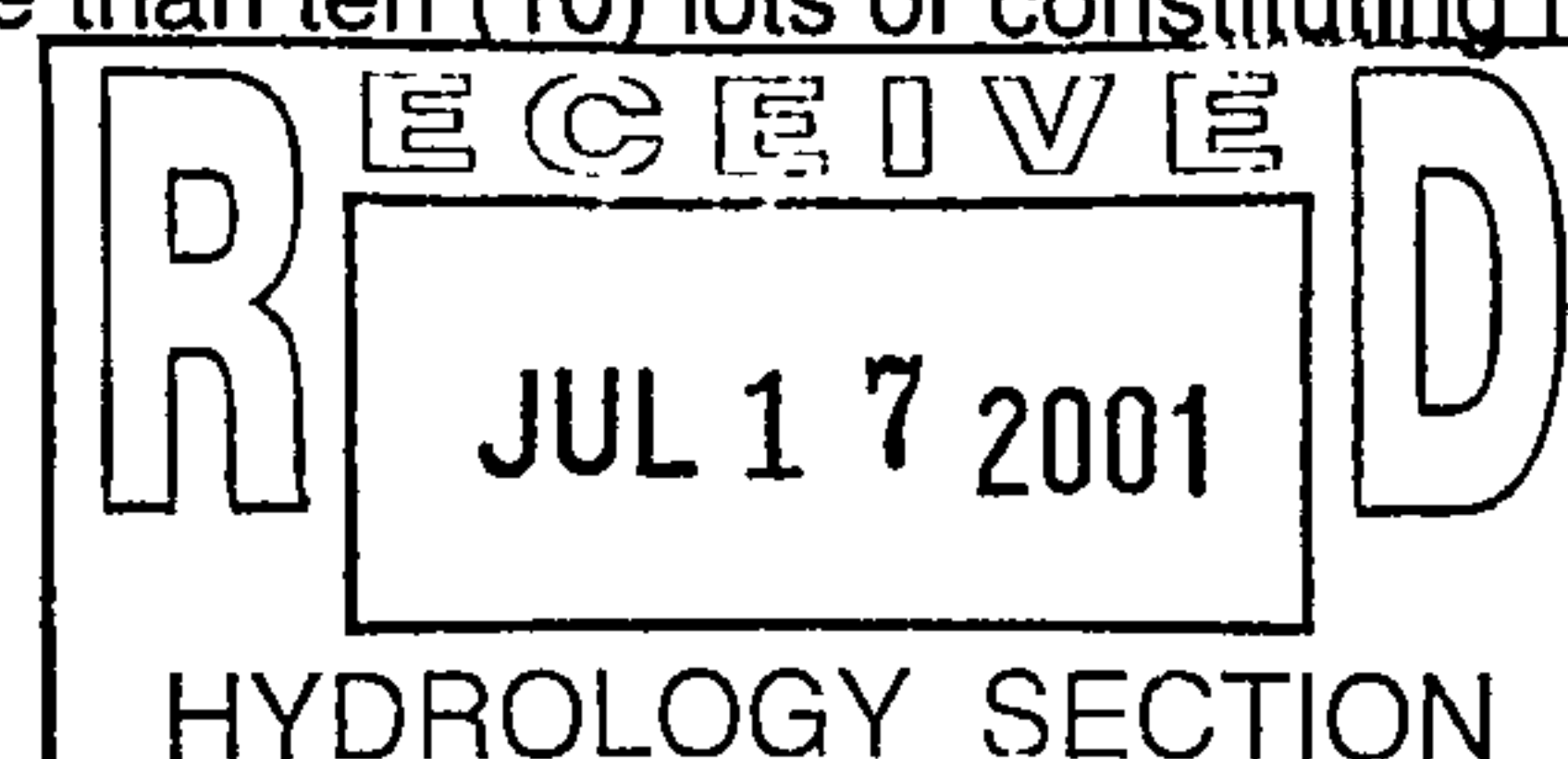
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

DATE SUBMITTED: 7/17/01 BY: [Signature] & WILLIAM SANTIAMA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 2001

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

***RE: SAINTS PETER AND PAUL TRADITIONAL CATHOLIC CHURCH (H11-D62).
GRADING AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT APPROVAL, AND FOR GRADING, FOUNDATION AND
BUILDING PERMIT AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP
DATED SEPTEMBER 17, 2001.***

Dear Ms. Kortum:

Based on the information provided on your September 17, 2001 submittal, the above referenced project is approved for Site Development Plan for Building Permit, and for Grading, Foundation and Building Permit. Note that Building Permit covers Grading and Foundation.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

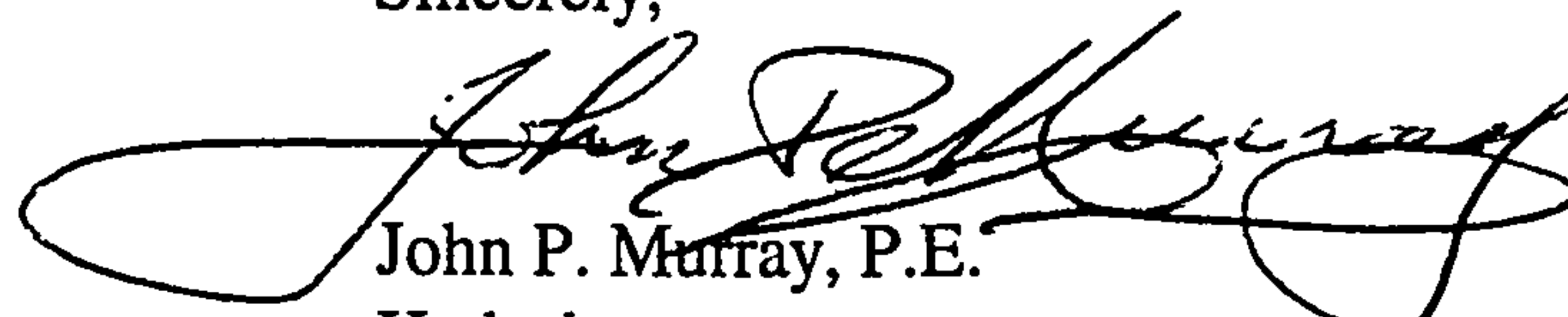
The standard SO#19 notes need to be added to the G & D / Site Plan, Sheet C5. Only the Inspector's Signature is now required for the SO#19.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ✓ Pam Lujan
: Terri Martin
File

APPLICATION FOR DESIGN AND CONSTRUCTION OF INFRASTRUCTURE IMPROVEMENTS

INSTRUCTIONS: PRINT OR TYPE IN BLACK INK ONLY.
(Use Additional Sheets, If Necessary)

1. APPLICANT INFORMATION:

DATE: October 15, 2002

- a. Developer: _____
Mailing Address: _____
City: _____ State: _____ Zip Code: _____
Phone No.: _____
- b. Owner's Name: Our Lady of the Rosary Church, c/o Leroy ortiz
Mailing Address: 3112 Vega Verde SW
City: Albuquerque State: NM Zip Code: 87105
Phone No: (505) 440-3451
- c. Consulting Engineer: Marvin R Kortum
Mailing Address: 1605 Speakman Drive SE
City: Albuquerque State: NM Zip Code: 87113
Phone No: (505) 299-0774
- d. Person to call regarding this application: Marvin R Kortum
Phone No. (505) 299-0774 Firm: _____

2. LOCATION OF REQUEST:

Zone Map No. H-11 DRB Case No. 1000400Legal Description: Tract 336, Unit 8, Town of Atrisco Grant

IF FINAL PLAT NOT YET APPROVED, DATE PRELIMINARY PLAT EXPIRES: _____

Date Plat Approved: _____ Date Plat Recorded: _____

3. DESCRIPTION OF IMPROVEMENTS PROPOSED: (Give Street Names Where Applicable)
02 Ouray Road NW Curb and Gutter, valley gutter, pavement
Miami Road NW Curb and gutter, storm drain inlet

(Use additional sheets, if needed)

Master Plan Waterline to be constructed? YES x NO UNKNOWNMaster Plan Sanitary Sewerline to be constructed? YES x NO UNKNOWNCity Project No.

4. LEVEL OF SUBMITTAL: Applicant requests entry into the Project design review process as indicated below, and has included appropriate submittals required:

☐ Pre-Design (Orientation) ☒ Design Review (Preliminary=65%-95%)

☐ Pre-Design w/Submittals ☐ Design Review (Final=95% Complete)

Applicant requests consideration for Partial Acceptance. YES ☒ NO

Drainage Submittal is being prepared by: Approved September 28, 200

5. PROPOSED METHODS TO CONSTRUCT

1 Public Improvements will be built by:

☒ Private Contract (Procedure A or B)

☐ City Contract (Procedure C)

1 Public Improvements will be constructed

☒ Under one contract (Single plan set)

☐ Under separate contracts for portions of the work (This requires separate plan sets for each contract)

6. REQUIRED ATTACHMENTS: (See Pre-Design Phase, DPM Chapter 5).

SIGNATURE:

[Signature]
APPLICANT/AGENT

PROJECT REVIEW SECTION INTERNAL USE ONLY

Application Received By: _____

Date: _____

Pre-Design Conference Date: _____

Copy Distribution: Applicant/Agent
Project File

City Project No. _____

Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774, FAX: 299-9405

October 25, 2002

City of Albuquerque
Design Review Section
Public Works Department
Albuquerque, New Mexico 87103

REFERENCE: Infrastructure Improvements for the Saints Peter and Paul Church, located between Ouray Road, NW, and Miami Road, NW, Albuquerque, New Mexico. (Project No. , DRB No. 1000400 Hydrology (H11/D)

Dear Chairman:

Attached are nine sets of drawings, the Hydrology Section letter of approval of the Grading and Drainage Plan, dated September 28, 2001, a copy of the DRB infrastructure list, approved July 25, 2001, the Water and Sewer Availability letters, dated July 27, 1999 and the DRB case tracking log.

The drawing shows 4 feet wide sidewalks, not the 6 feet wide sidewalks shown on the infrastructure list. The reason for the 4 feet wide sidewalks is that the 4 feet wide sidewalk is what has been constructed for the Chamisa Cove Subdivision, adjacent to the church property on the east.

I have indicated on the drawing that the existing pavement on Miami Road SW is to remain. This pavement was placed by the Chamisa Cove developer. The Chamisa Cove plans indicated that this was a temporary pavement section. Comparing the temporary section to the permanent section on the Chamisa Cove work order drawings shows only a 6" difference in the thickness of the compacted subgrade, and a different surface mix. I can see no difference in the quality of the asphalt by surface observation, so possibly the contractor used the same mix for both sections of the road. At any rate, there is no visible deterioration of the "temporary" pavement on Miami Road SW. I recommend that the pavement not be removed and replaced.

I request your review of the drawings for Work Order approval.
Thank you.

Sincerely,


Marvin R Kortum

ORIGINAL

EXHIBIT A (REVISED 5/10/99)
TO SUBDIVISION IMPROVEMENT AGREEMENT
DEVELOPMENT REVIEW BOARD
REQUIRED INFRASTRUCTURE LISTING
(LEGAL DESCRIPTION OF SUBDIVISION)
OUR Lady of the Rosemary Church
 (NAME and UNIT OF SUBDIVISION)

DRB Case No.: 1000400
 DRC Project No.: 1000400
 Prelim. Plat Approved: N/A
 Prelim. Plat Expires: N/A
 Site Plan Approved: 7/25/01
 Date Submitted: 7/10/01

SITE PLAN

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
<u>145 LF</u>	<u>CURB AND GUTTER</u>	<u>OURAY RD NW</u>	<u>EAST Prop Line</u>	<u>West Prop. Line</u>
<u>101 LF</u>	<u>VALLEY GUTTER</u>	<u>OURAY RD NW</u>	<u>At ENTRANCES</u>	<u>SEE SITE PLAN</u>
<u>115 LF</u>	<u>6' WIDE SIDEWALK</u>	<u>OURAY RD. NW</u>	<u>EAST Prop Line</u>	<u>West Prop Line</u>
	<u>INCLUDING 4 HC RAMPS</u>			
<u>210 LF</u>	<u>CURB AND GUTTER</u>	<u>MIAMI RD NW</u>	<u>EAST Prop. Line</u>	<u>West Prop Line</u>
<u>210 LF</u>	<u>6' WIDE SIDEWALK</u>	<u>MIAMI RD. NW</u>	<u>EAST Prop Line</u>	<u>West Prop Line</u>
<u>423 SF</u>	<u>ASPHALT PAVEMENT</u>	<u>OURAY RD NW</u>	<u>At ENTRANCES</u>	<u>SEE SITE PLAN</u>
<u>800 SF</u>	<u>CONCRETE APRON</u>	<u>OURAY RD NW</u>	<u>At ENTRANCES</u>	<u>SEE SITE PLAN</u>
<u>UP TO 24'</u>	<u>PERMANENT PAVING</u>	<u>OURAY</u>		
<u>24'</u>	<u>PERMANENT PAVING</u>	<u>MIAMI</u>		
<u>24" F-E</u>	<u>STORM DRAIN</u>	<u>MIAMI RD</u>	<u>EAST PL</u>	<u>WEST PL</u>
			<u>SITE</u>	<u>EXIST. MA</u>
				<u>& CONNECTION</u>

Agent/Owner Name: WILLIAM SANTIANA
 Firm: KEVIN GEORGES AND ASSOCIATES.

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7-25-01 [Signature] 7/25/01 [Signature] 7/25/01
 Transportation Dir. Date Utility Dir. Date Parks & Recreation Date
[Signature] 7/25/01 [Signature] 7/25/01
 City Engineer Date AMAFCA Date DRC Chair Date

DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
1				
2				

AM 7 2602 - Kevin is out until Monday
VOLUMES ARE AT OFFICE
BILL SANDOVAL



DRB CASE TRACKING LOG

REVISED 5/18/2000

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

Application No.: 01450-00000-00995

Project Name: Town of Atrisco Grant

Agent: Kevin Georges & Assoc.

Project # 1000400

Fee:

Phone No. # 255-4975

Your request for (SDP for SUB), (SDP for BP), (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/25/01 by the DRB with delegation of signature(s) to the following Departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- ☐ TRANSPORTATION: _____
- ☐ UTILITIES: _____
- ☒ CITY ENGINEER / AMAFCA: SEA completion.
- ☐ PARKS / CIP: _____
- ☒ PLANNING (Last to sign): Eric Smith ID Stover
 - ☐ Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - ☒ Include 3 copies of the approved site plan along with the originals.
 - ☐ County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - ☐ Property Management's signature must be obtained prior to Planning Department's signature.

CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

<input type="checkbox"/>	TRANSPORTATION	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input type="checkbox"/>	UTILITIES	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input checked="" type="checkbox"/>	CITY ENGINEER / AMAFCA	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input type="checkbox"/>	PARKS / CIP	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input checked="" type="checkbox"/>	PLANNING (Last to sign)	Dates: Routed: _____	Disapproved: _____	Approved: _____

PLANS RELEASED TO APPLICANT OR AGENT

Date Released: _____
Print Name: _____
Signed: _____

Date Returned: _____
Firm: _____

Date Released: _____
Print Name: _____
Signed: _____

Date Returned: _____
Firm: _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 2001

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

**RE: SAINTS PETER AND PAUL TRADITIONAL CATHOLIC CHURCH (H11-D62).
GRADING AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT APPROVAL, AND FOR GRADING, FOUNDATION AND
BUILDING PERMIT AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP
DATED SEPTEMBER 17, 2001.**

Dear Ms. Kortum:

Based on the information provided on your September 17, 2001 submittal, the above referenced project is approved for Site Development Plan for Building Permit, and for Grading, Foundation and Building Permit. Note that Building Permit covers Grading and Foundation.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

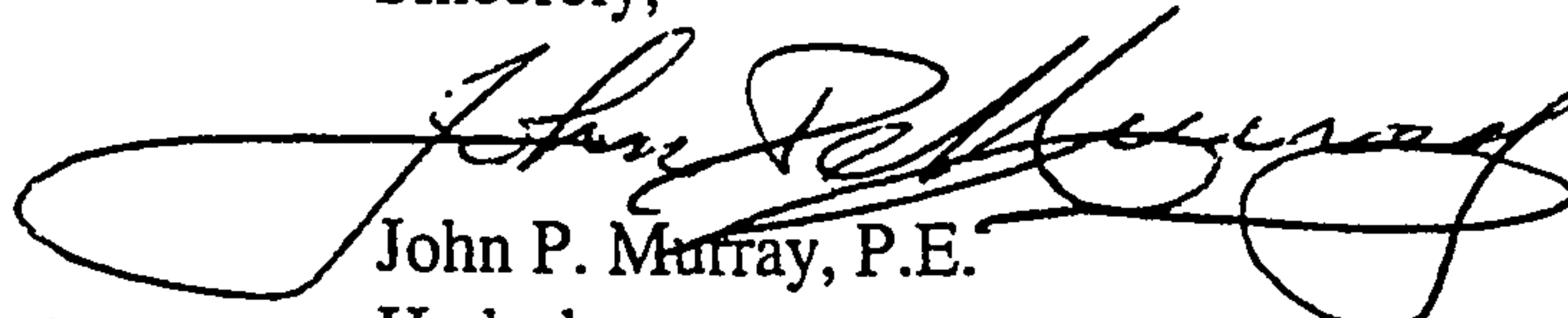
The standard SO#19 notes need to be added to the G & D / Site Plan, Sheet C5. Only the Inspector's Signature is now required for the SO#19.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Pam Lujan
: Terri Martin
✓ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 27, 1999

Marvin Kortum
1605 Speakman SE
Albuquerque, New Mexico 87123

Re: Town of Atrisco Grant, Unit 8, Tract 336, proposed Church

H-11

Sirs:

Existing Conditions: The property is a 5-acre parcel west of Coors. Midway between Miami Estancia and 57th Street, it extends from Miami to Ouray with frontage on both. Public utilities in Ouray include a 12-inch Zone 2WR master plan water line, an 18-inch sanitary sewer interceptor, and a 24-inch well collector line. Miami is improved to the southwest property corner, including paving, 10-inch water and 8-inch sanitary. The adjoining portion of Miami is bladed but unimproved.

Proposed: The existing zoning, SU-1 for Church, was approved by the EPC at their July 23, 1998 public meeting. Approval was conditional. The owner had 1 year to complete a site plan process. A year has passed, and there has been no submittal to the Planning Commission. I understand one is expected and will be accepted if submitted this month. After that, zoning will presumably revert to SU-01. Pending a formal submittal, and receipt of project specific fire flow requirements, we can provide only general information.

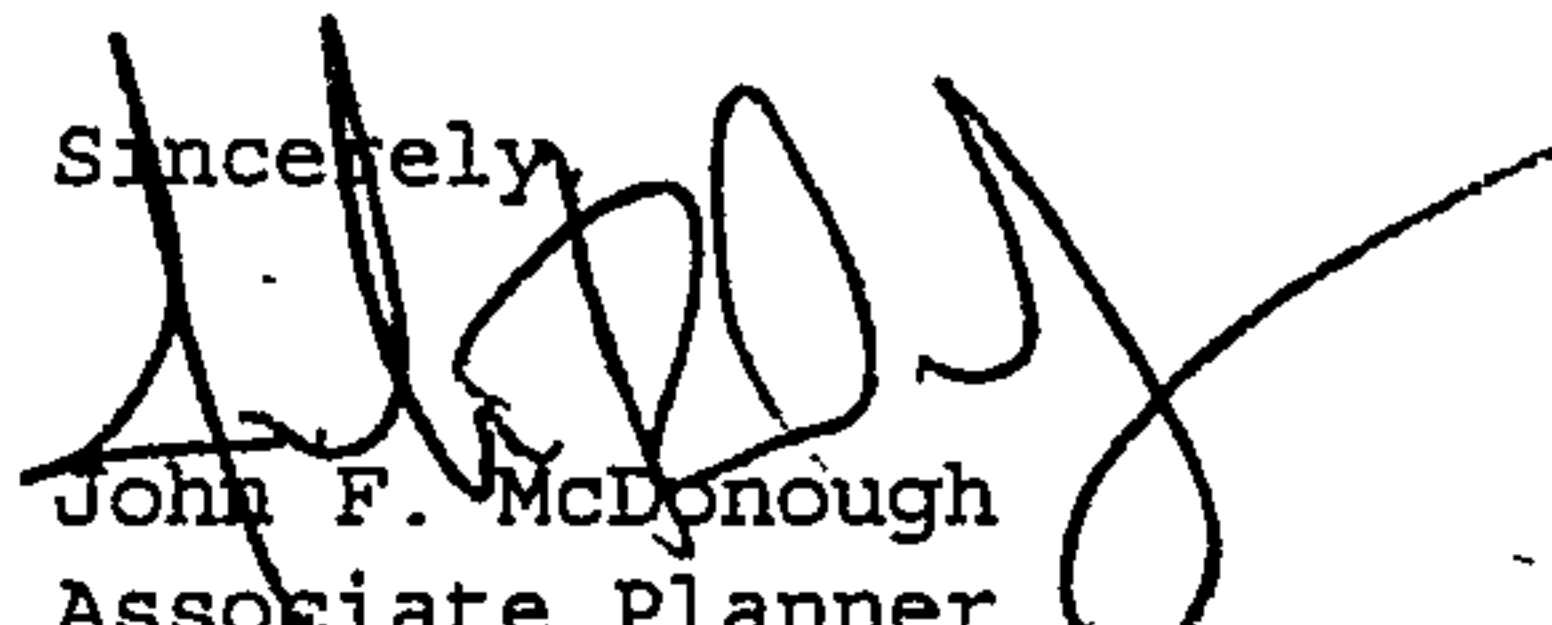
Service: The property is generally serviceable contingent on construction of public infrastructure. At minimum this must including public water and sanitary sewer lines in the adjoining portion of Miami. Final street grades of Miami must be established prior to a sewer design because of the shallow depth of the manhole at the SW corner of property. Additional infrastructure could be required depending on site planning and platting. This will be determined after a review of the formal submittal. Design and construction of all required infrastructure will be at the property owners expense and must be coordinated through the City of Albuquerque 'COA' Public Works Department via the 'DRC / City Work Order' process. Designs must be by a New Mexico registered professional engineer. Construction must be by a licensed, bonded public utility contractor. Upon completion service will be available via routine connection to the new lines. Metered service must be coordinated through the Customer Service Office: 768-2840. Sanitary service connection must be coordinated through a licensed plumber. Installation must conform to the plumbing code as adopted, and to effective Department connection requirements.

As a master plan water line, the 12-inch in Ouray would typically not be considered as available for direct service connections. Assuming the initial phase of development abuts Ouray we will allow a connection; however, the consultant and owner must realize that connections to master plan lines may be more vulnerable to shut-offs. (The sewer interceptor is not available for service connections.)

Fire Protection: Hydrant location and flow requirements must be obtained from the Fire Marshals Office and forwarded to this office for verification of system adequacy. Hydrants in right-of-way must be public and included in the 'DRC / City Work Order' infrastructure. See above. On-site hydrants must be private. Note: Assuming a site elevation of 5100' msl. Peak day static pressure will be approximately 65 psi. As a masterplan line, the 12-inch in Ouray has a maximum instantaneous capacity of 5,000 GPM.

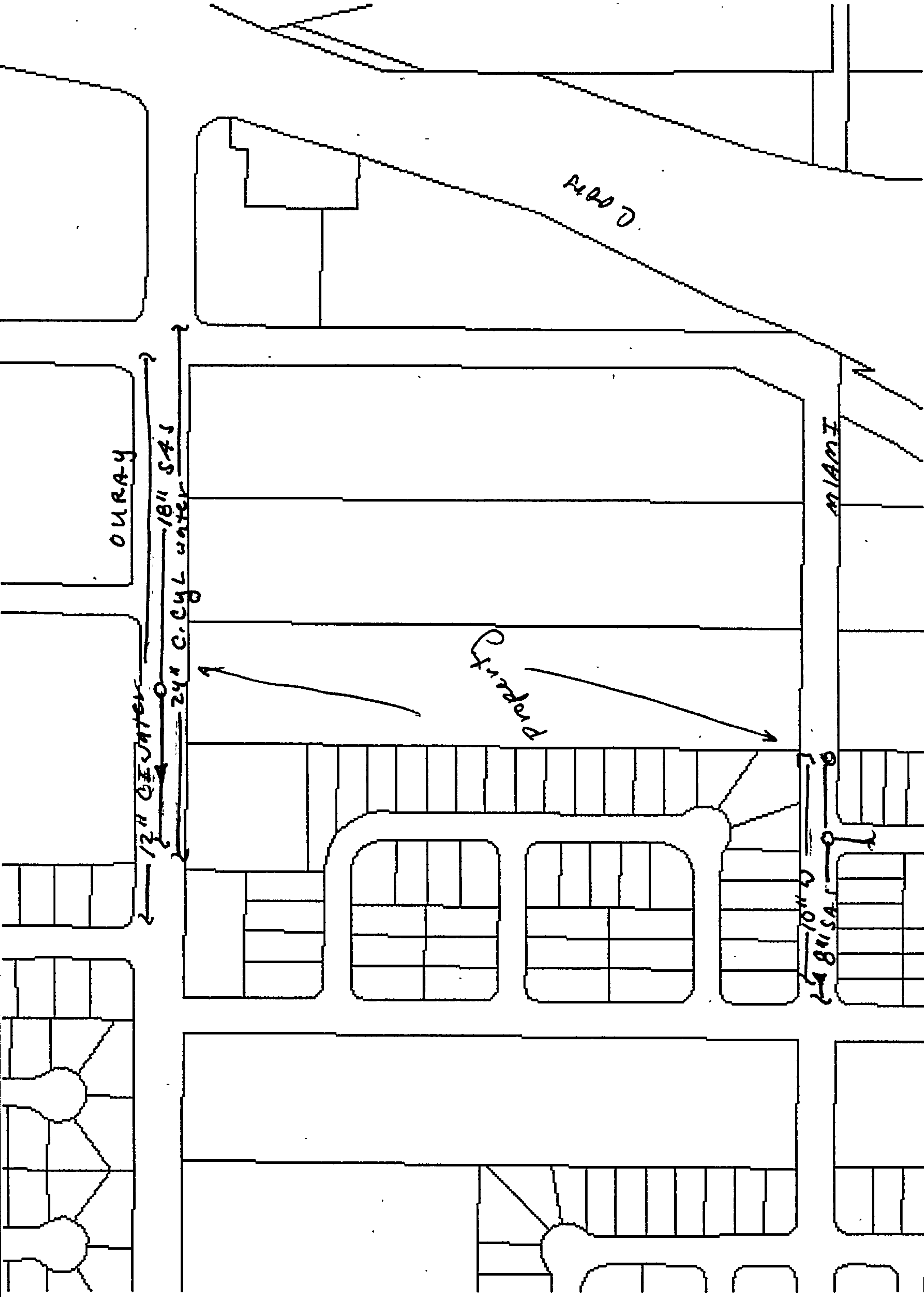
Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,


John F. McDonough
Associate Planner
Development Services
Public Works Department

c: Josie Jaramillo
f/ DRB 99-209
f/ availability H-11
f/ readers#90712

Attachment: System / Location Map(s)



4
H-11



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 24, 2001

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

**RE: Grading and Drainage Plan submitted for Sts. Peter and Paul
Traditional Catholic Church, 5800 Ouray Rd NW, (H-11/D62),
Engineer stamp dated July 26, 2000.**

Dear Mr. Kortum,

The referenced grading and drainage plan is approved for Site Plan
for Building Permit action by the DRB.

Prior to issuance of building permit, please make the following
corrections to the final grading and drainage plan for final
approval submittal to Hydrology.

1. The 24" pipe must connect to the manhole in Miami St. instead
of to the existing inlet. Include design information for the on-
site inlet and the 24" pipe to assure 6 hr. - 100 year storm flow
capacity.
2. Show on the plan a detail of the drainage cobbled swale along
the west property line. The swale must be able to carry the
developed portion of the site runoff.

The storm drain work in Miami St. will require an SO-19 permit for
work in the right-of-way. Final plan submittal will require two
sets of plans with the inspection sign-off block for the SO-19
permit.

If you have any questions, please call me at 924-3980.

Sincerely,

Loren D. Meinz, P.E.
Hydrology Division

c: Terri Martin



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 2001

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

**RE: SAINTS PETER AND PAUL TRADITIONAL CATHOLIC CHURCH (H11-D62).
GRADING AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT APPROVAL, AND FOR GRADING, FOUNDATION AND
BUILDING PERMIT AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP
DATED SEPTEMBER 17, 2001.**

Dear Ms. Kortum:

Based on the information provided on your September 17, 2001 submittal, the above referenced project is approved for Site Development Plan for Building Permit, and for Grading, Foundation and Building Permit. Note that Building Permit covers Grading and Foundation.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

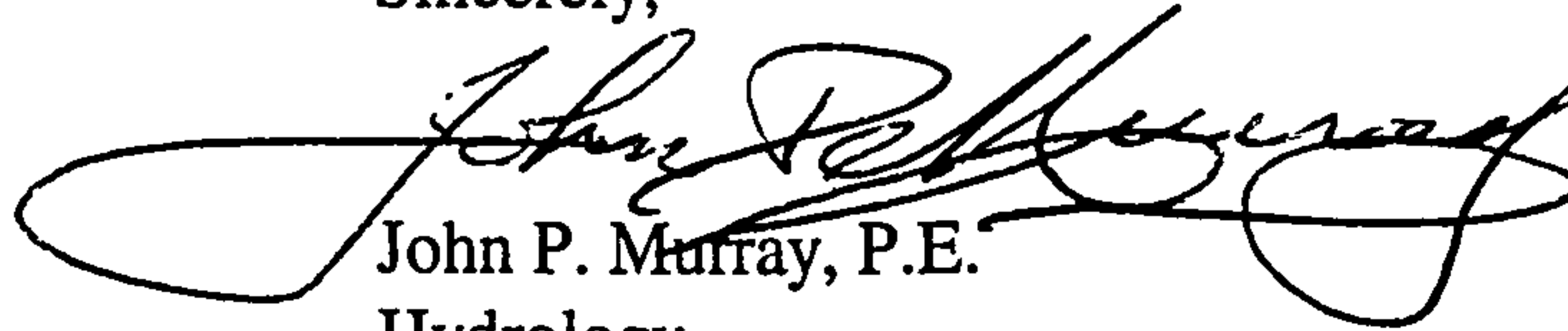
The standard SO#19 notes need to be added to the G & D / Site Plan, Sheet C5. Only the Inspector's Signature is now required for the SO#19.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Pam Lujan
: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: GRADING AND DRAINAGE PLAN
SAINIS PETER AND PAUL CHURCH ZONE MAP/DRG. FILE #: H-11/D62
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Marvin R. Kortum
ADDRESS: 1605 Speakman Drive SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: _____
PHONE: (505) 299-0774
ZIP CODE: 87123
FAX 299-9405

OWNER: SAINIS PETER & PAUL CHURCH
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: KWIN GEORGES
ADDRESS: 127 JEFFERSON NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: _____
PHONE: 505-255-4975
ZIP CODE: 87108-1216

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ CLOMR/LOMR
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

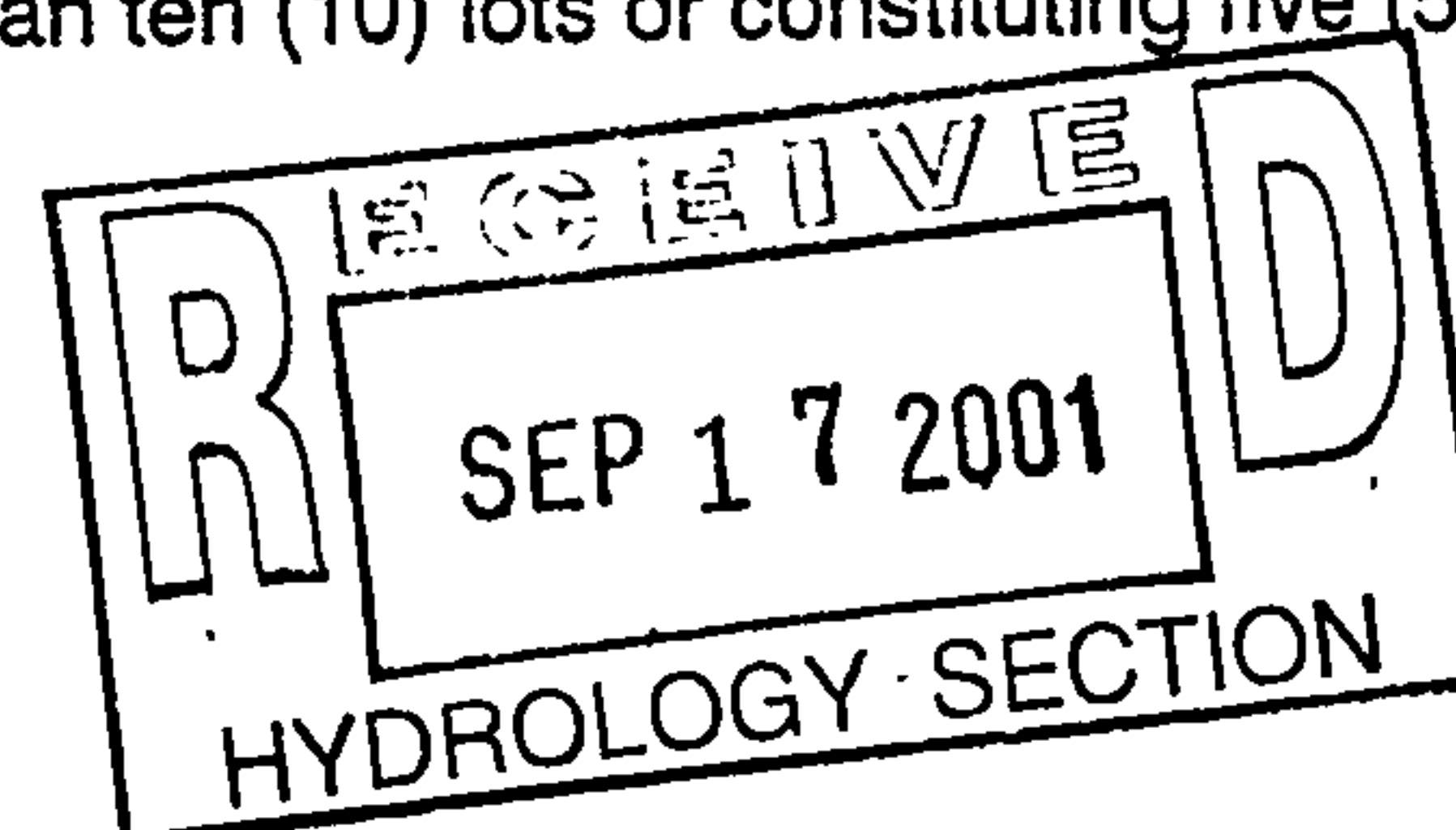
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: SEPT 17 2001 BY: MARVIN R KORTUM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774 FAX: (505) 299-9405

September 17, 2001

City of Albuquerque
Public Works Department
Development Service
Hydrology Development Section
ATTN: Brad Bingham
Albuquerque, New Mexico 87103

REFERENCE: Grading and Drainage Plan for proposed church on Tract 336, Unit 8, Town of Atrisco Grant, between Ouray Road and Miami Albuquerque, New Mexico, (Map No. H-11)(Z-98-341, Z-99-107)(H-11/D62).

Dear Brad:

Reference letter on the above subject from Loren D. Mainz on July 24, 2001.

Attached are revisions to the Grading and Drainage Plan as requested by Mr. Mainz, specifically directing the storm runoff to the existing storm drain manhole rather than through the existing storm drain inlet.

Mr. Mainz suggested that the 24" storm drain connection be sized to support the site when the 3.0772 acres which is not do be developed at the present time is later developed. The estimated capacity of the 24" RCP connecting the inlet on the church property to the storm drain manhole is about 40 CFS for inlet controlled flow with a depth of head of 8' (see attached chart). The peak runoff from the 100 year-6 hour storm from the developed church property is about 7.4 CFS. There is no plan at this time for the development of the vacant property. If the same level of development is done on the vacant area, the estimated peak runoff would be about 19.2 CFS ($7.4 \text{ CFS} + 3.0772 \text{ acre} / 1.9261 \text{ acre} \times 7.4 \text{ CFS}$), so the capacity of the 24" RCP should also handle the increased runoff.

Two sets of the revised plan are provided to you with the inspection sign-off block.

Sincerely


Marvin R Kortum

cc: Saints Peter and Paul Church
c/o Kevin Georges, Architect
127 Jefferson, NE, Suite A
Albuquerque, New Mexico 87108-1216
(505) 255-4975 FAX 255-9943

FIGURE 1: 24-Inch Diameter Concrete Pipe

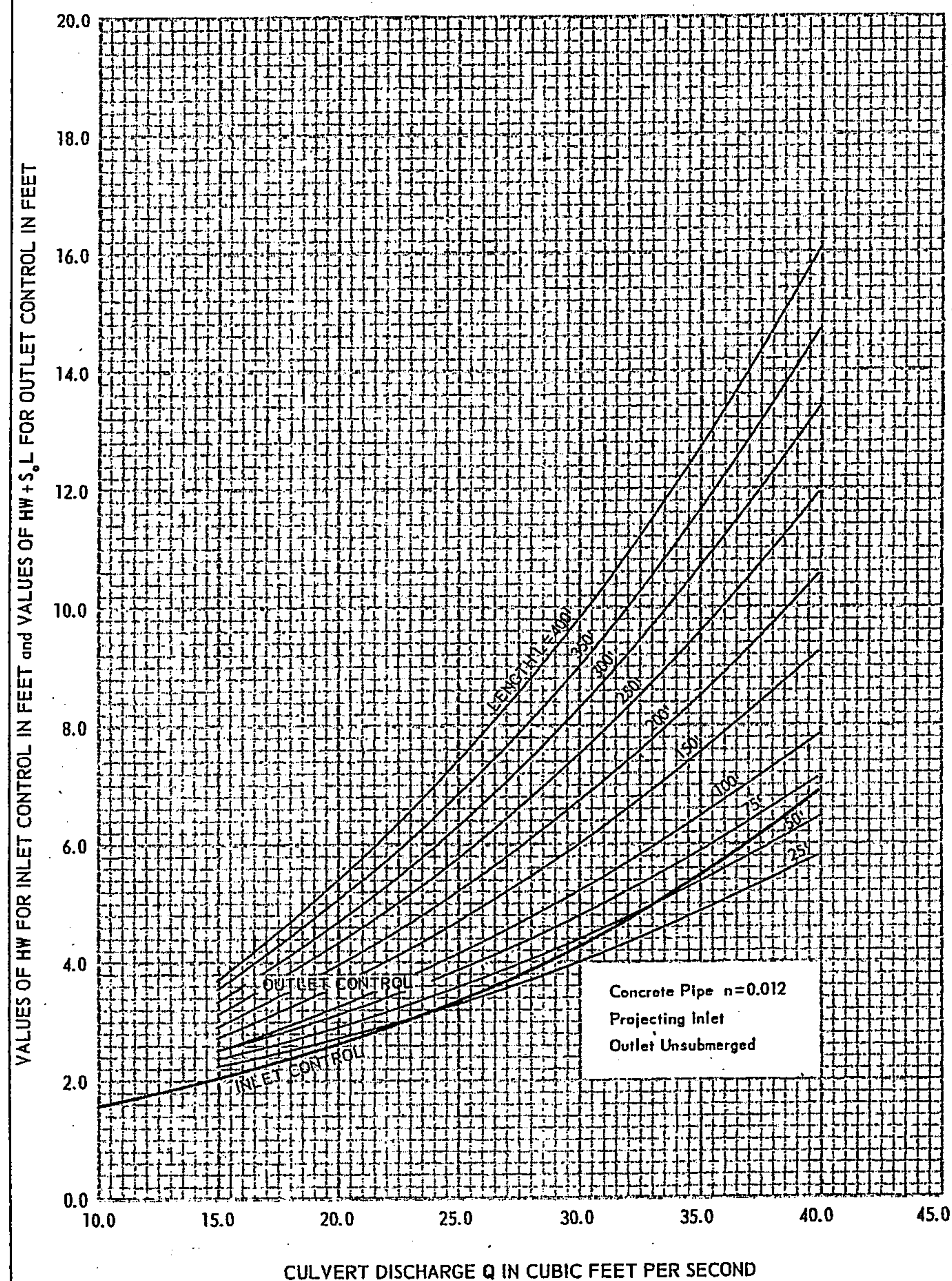
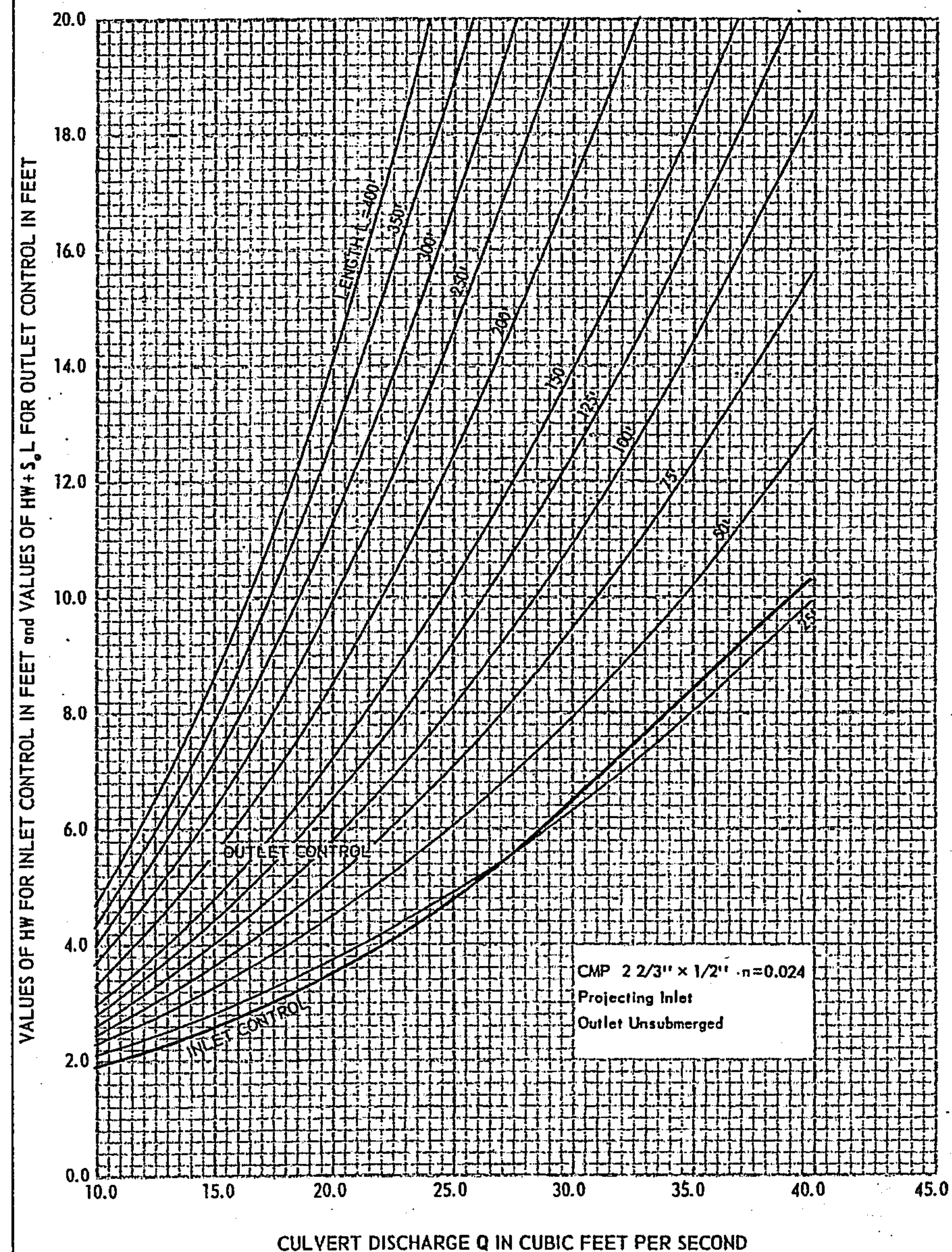


FIGURE 2: 24-Inch Diameter Corrugated Metal Pipe



Interpolate for intermediate culvert lengths



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 24, 2001

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

**RE: Grading and Drainage Plan submitted for Sts. Peter and Paul
Traditional Catholic Church, 5800 Ouray Rd NW, (H-11/D62),
Engineer stamp dated July 26, 2000.**

Dear Mr. Kortum,

The referenced grading and drainage plan is approved for Site Plan
for Building Permit action by the DRB.

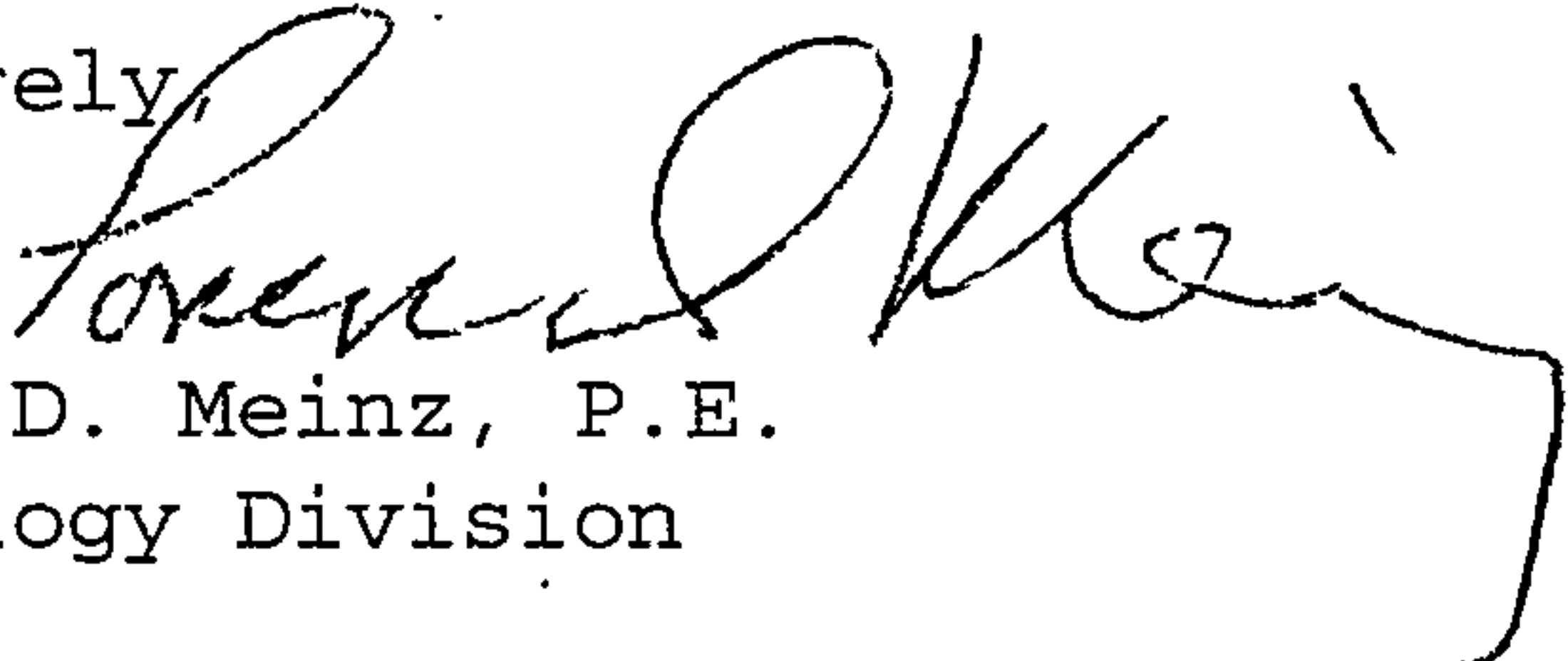
Prior to issuance of building permit, please make the following
corrections to the final grading and drainage plan for final
approval submittal to Hydrology.

1. The 24" pipe must connect to the manhole in Miami St. instead
of to the existing inlet. Include design information for the on-
site inlet and the 24" pipe to assure 6 hr. - 100 year storm flow
capacity.
2. Show on the plan a detail of the drainage cobbled swale along
the west property line. The swale must be able to carry the
developed portion of the site runoff.

The storm drain work in Miami St. will require an SO-19 permit for
work in the right-of-way. Final plan submittal will require two
sets of plans with the inspection sign-off block for the SO-19
permit.

If you have any questions, please call me at 924-3980.

Sincerely,


Loren D. Mainz, P.E.
Hydrology Division

c: Terri Martin

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: SAINTS PETER AND PAUL CHURCH

ZONE MAP: H-11/D62

DRB#: 1000400

EPC#: 2-99-107

WORK ORDER#: 6981.81

LEGAL DESCRIPTION: TRACT 336, UNIT 8, TOWN OF ATLASCO GRANT, BERNALILLO COUNTY N.M.

CITY ADDRESS: 5800 OURAY ROAD NW

ENGINEERING FIRM: MARVIN R KORTUM

ADDRESS: 1605 SPEARMAN DR SE

CITY, STATE: ALBUQUERQUE NM

FAX 299-9405
CONTACT: C 934-5786

PHONE: 505-299-0774

ZIP CODE: 87123

OWNER: SOCIETY OF ST PIUS X

ADDRESS: 333 58TH ST NW

CITY, STATE: ALBUQUERQUE

CONTACT: LEON DARTZ

PHONE: 440-3451

ZIP CODE: 87105

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYING FIRM:

ADDRESS:

CITY, STATE:

LICENSED SURVEYOR:

PHONE:

ZIP CODE:

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR:

ADDRESS: 2800 1ST ST NW

CITY, STATE: ALBUQUERQUE NM

CONTACT:

PHONE: 344-1191

ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

10/9/06 N-Verbal; Need Cert

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED

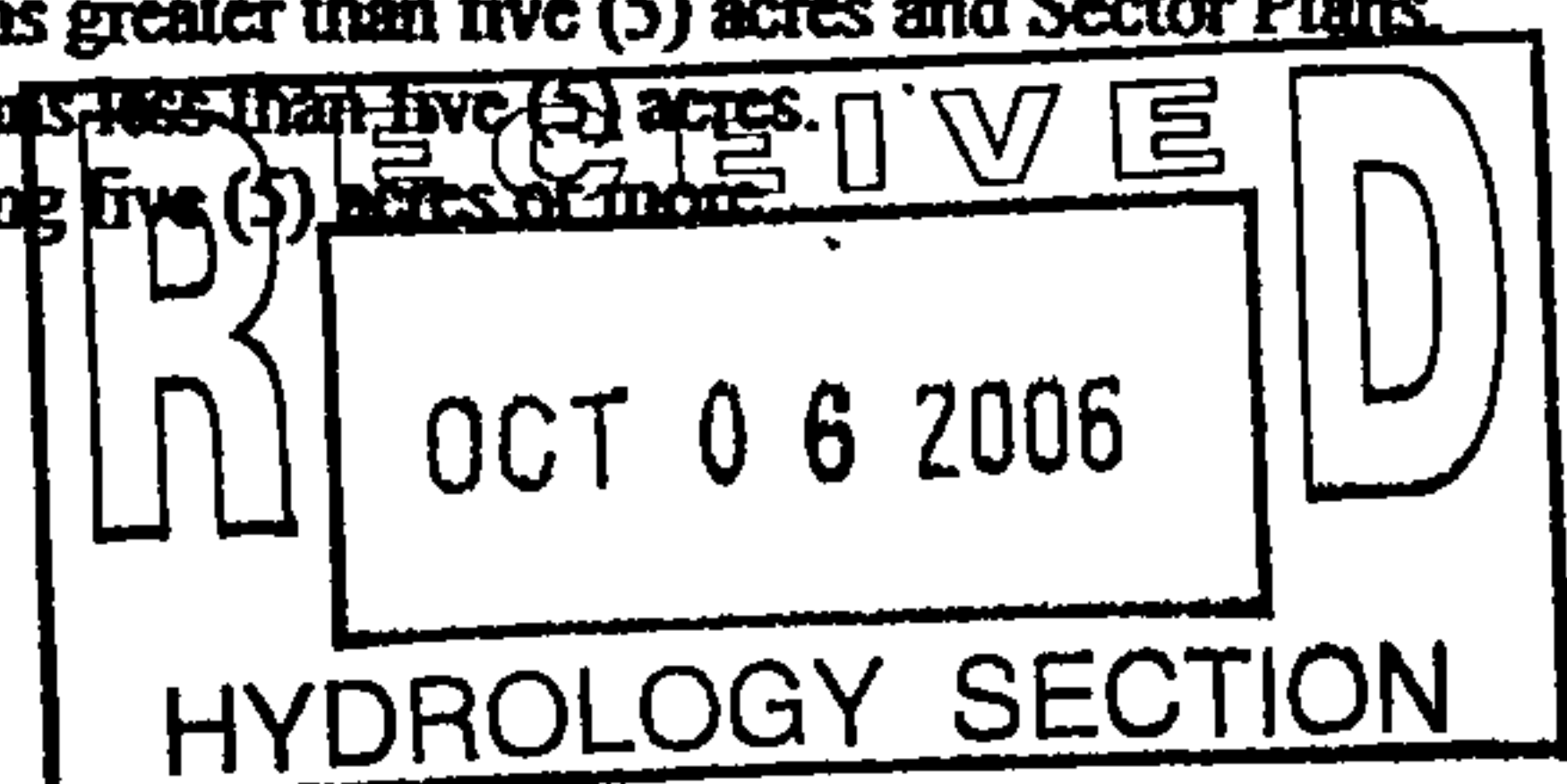
DATE SUBMITTED:

OCT 6, 2006

BY: MARVIN KORTUM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: SAINTS PETER AND PAUL CHURCH ZONE MAP: H-11/D62
DRB#: 1000400 EPC#: 2-99-107 WORK ORDER#: 6981.81

LEGAL DESCRIPTION: TRACT 336, UNIT 8, TOWN OF ATLASCO GRANT, BERNALILLO COUNTY N.M.
CITY ADDRESS: 5800 OURAY ROAD NW

ENGINEERING FIRM: MARVIN R KORTUM CONTACT: C 934-5786 FAX 299-9405
ADDRESS: 1605 SPEARMAN DR SE PHONE: 505-299-0774
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87123

OWNER: SOCIETY OF ST PIUS X CONTACT: LEON ORTIZ
ADDRESS: 333 58TH ST NW PHONE: 440-3451
CITY, STATE: ALBUQUERQUE ZIP CODE: 87105

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: _____ LICENSED SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
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CONTRACTOR: PHIL MARSHAL CONTACT: _____
ADDRESS: 2800 1ST ST NW PHONE: 344-1191
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

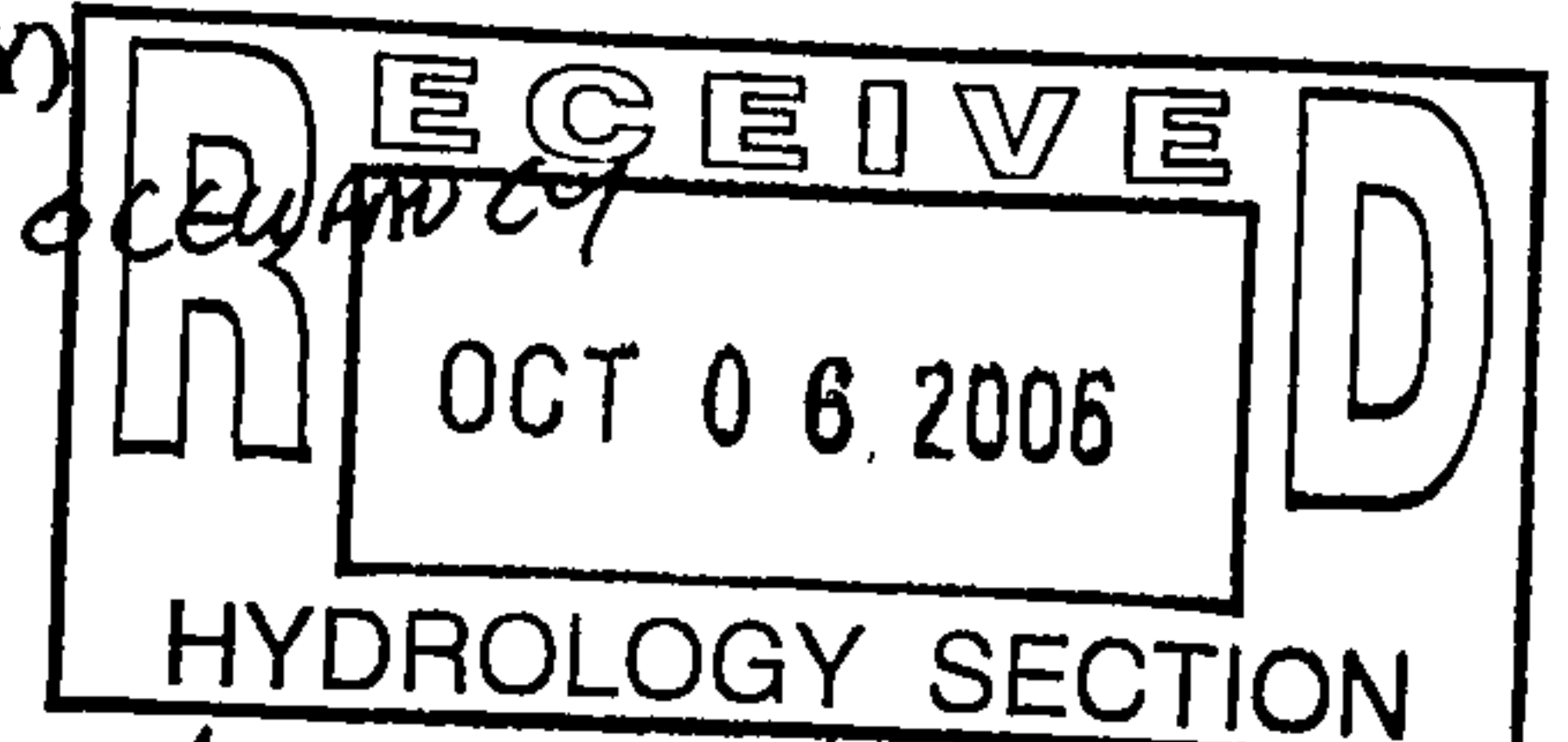
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

10/4/06 - N-Verbal; Need Cert

WAS A PRE-DESIGN CONFERENCE ATTENDED: TEMPORARY
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: OCT 6, 2006 BY: MARVIN KORTUM



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 19, 2006

Mr. Marvin Kortum, PE
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: SAINTS PETER AND PAUL CHURCH
5800 Ouray Road NW
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 09/17/2001 (H-11/D62)
Certification dated 10/17/2006

P.O. Box 1293 Dear Marvin,

Albuquerque

Based upon the information provided in your submittal received 10/18/2006, the above referenced certification is approved for release of 60-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87102

Upon completion of the exceptions listed in your Drainage Certification, please resubmit an updated certification for Permanent C.O.

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Reviewer, Planning Dept.-Hydrology
Development and Building Services

C: CO Clerk
File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 20, 2006

Marvin R. Kortum, P.E.,
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Saints Peter and Paul Church, [H-11 / D62]
5800 Ouray NW
Engineer's Stamp Dated 10/17/06

Dear Mr. Kortum:

Based on the information provided on your submittal dated October 18, 2006, the above referenced project is approved for a 60-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding striping, surface (temporary gravel instead of asphalt) and curbing (placement) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 12, 2006

Marvin R. Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

Re: Certification Submittal for Final Building Certificate of Occupancy for
Saints Peter and Paul Church, [H-11 / D62]
5800 Ouray NW
Engineer's Stamp Dated 12/08/06

Dear Mr. Kortum:

The TCL / Letter of Certification submitted on December 12, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

H-11 | D62

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: SAINTS PETER AND PAUL CHURCH ZONE MAP: H-11
DRB#: 1000400 EPC#: 2-99-107 WORK ORDER#: 6981,81

LEGAL DESCRIPTION: TRACT 336, UNIT 8, TOW OF ATASCO GRANT, BERNALILLO COUNTY NM
CITY ADDRESS: 5800 OURAY ROAD NW

ENGINEERING FIRM: MARVIN R KORTUM CONTACT: C 934-5786
ADDRESS: 1605 SPEARMAN DR SE PHONE: 505-299-0774
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87123

OWNER: SOCIETY OF ST PIUS X CONTACT: LEON ORTIZ
ADDRESS: 333 58TH ST NW PHONE: 440-3451
CITY, STATE: ALBUQUERQUE ZIP CODE: 87105

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: _____ LICENSED SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: PHIL MARSHAL CONTACT: _____
ADDRESS: 2800 1ST ST NW PHONE: 344-1191
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

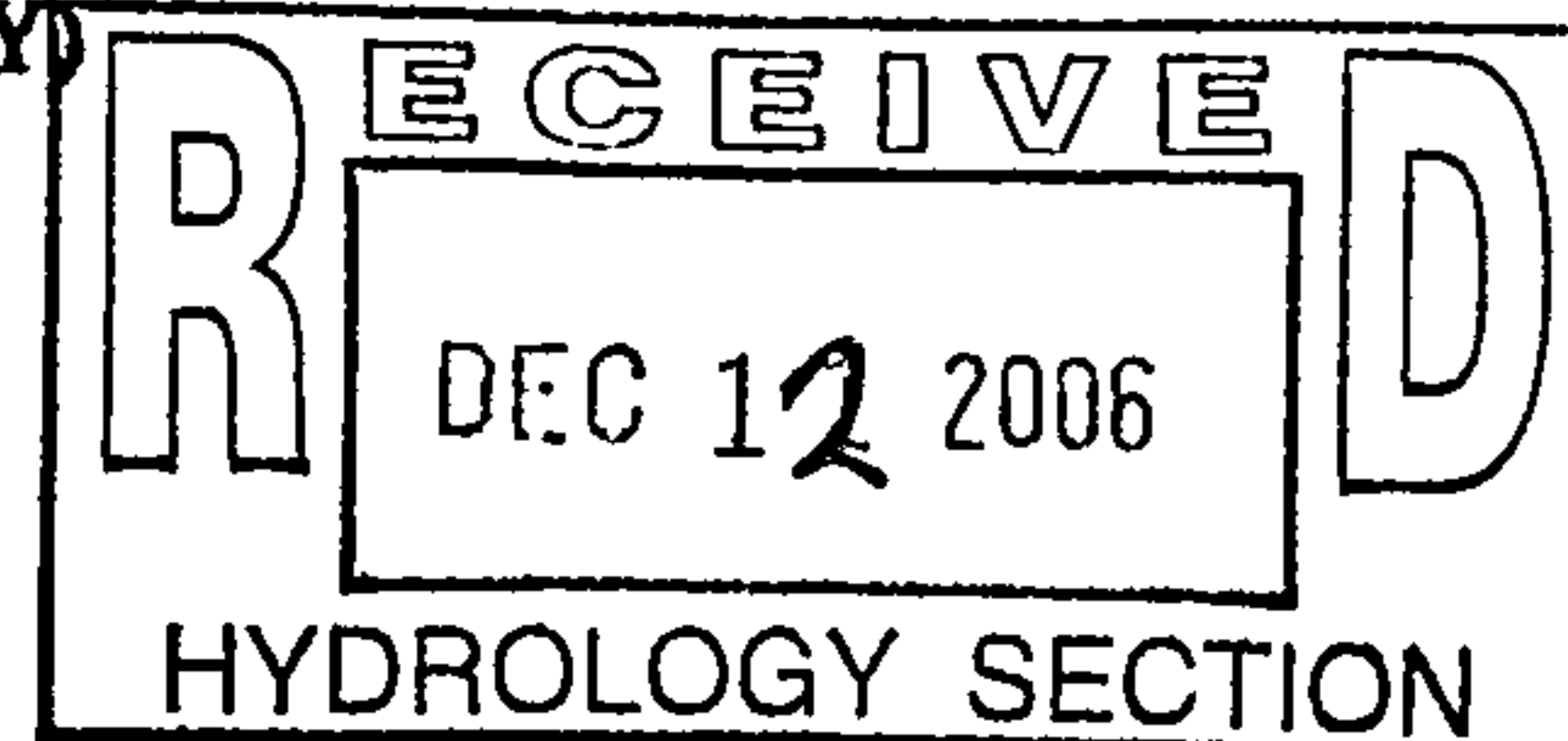
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY PERMINT
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: DEC 11, 2006

BY: MARVIN R KORTUM



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

December 8, 2006

City of Albuquerque
Planning Department, Development and Building Services Division
Hydrology Development Section
ATTN: Brad Bingham, Section Head (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Certificate for permanent occupancy for the Grading and Drainage Plan for Saints Peter and Paul Church, located at 5800 Ouray Road NW (Z98-73, DRB 1000400, Work Order 698181, Map H-11, Hydrology H-II/d)

Dear Brad:

By your letter of October 19, 2006 you requested a resubmittal of my certification for the grading and drainage plan. This letter is the certification.

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED CHURCH BUILDING AND SITE IMPROVEMENTS ON TRACT 336, UNIT 8, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AT ADDRESS 5800 OURAY ROAD NW, ALBUQUERQUE, NEW MEXICO 87107. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE PLAN APPROVED SEPTEMBER 28, 2001, AND INCLUDED AS PART OF THE SITE DEVELOPMENT PLAN EPC CASE #99-107, DRB PROJECT 1000400, WITH ENGINEERS STAMP JULY 25, 2000, AND WORK ORDER 6981.81, WHICH WAS CERTIFIED AS COMPLETE ON NOVEMBER 1, 2006.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

AS-BUILT ELEVATIONS ARE NOTED AS:

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE HYDROLOGY ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.


MARVIN R. KORTUM
NMPE 6519

Dec 8, 2006
DATE

Thank you for your assistance on this matter.

Sincerely,

Marvin R. Kortum



Cc: Leroy Ortiz (Saints Peter and Paul Church)
3112 Vega Verde Albuquerque, NM 87105 (505) 440-3451

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 9, 2011

Ronald G. McClure, Registered Architect
Ron McClure, Architect
PO Box 83
Del Norte, CO 81132

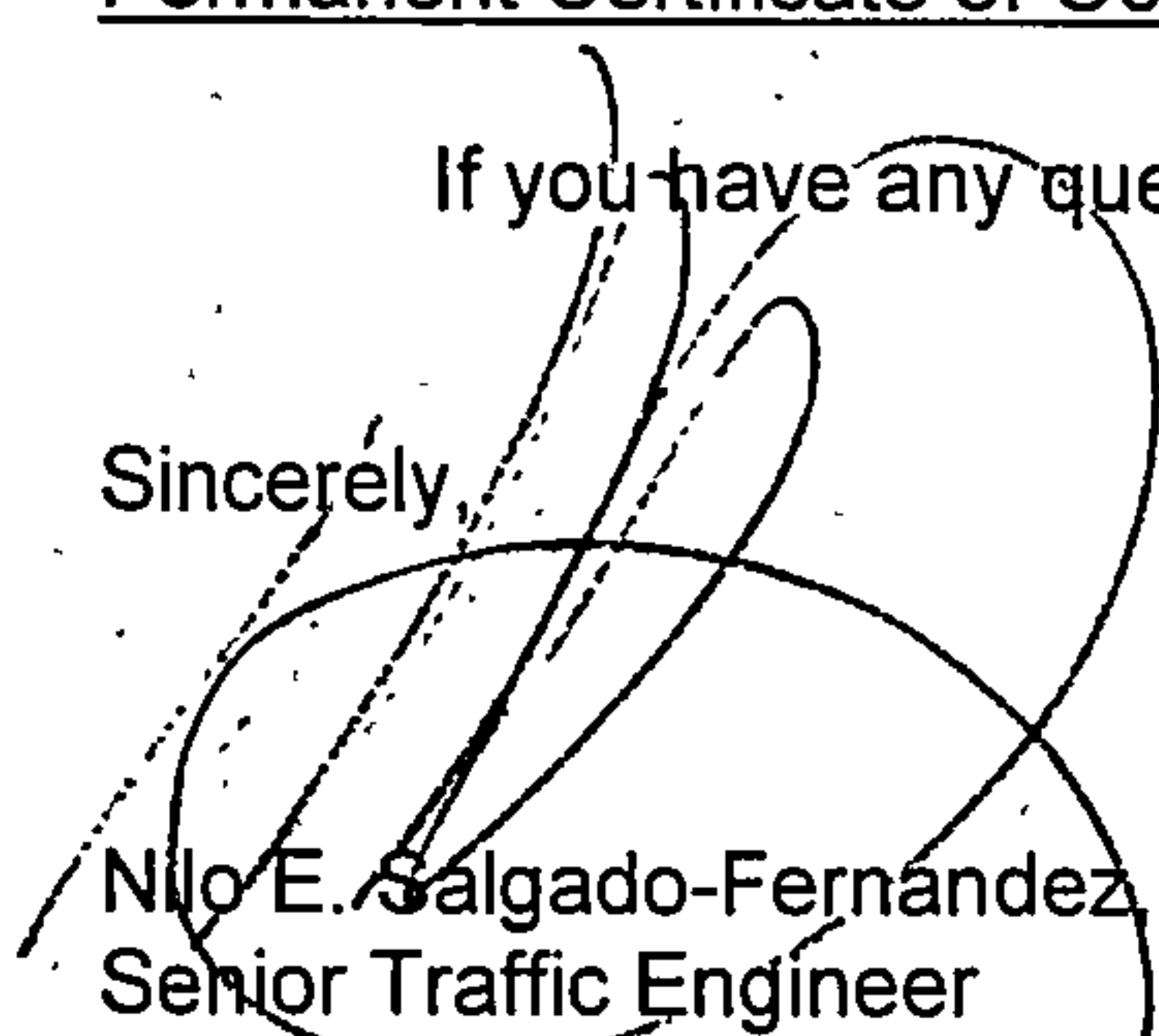
Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for St. Peter and Paul Fellowship Hall, [H-11/D062]
5800 Ouray NW
Engineer's Stamp Dated 08/31/11

Dear Mr. McClure:

Based upon the information provided in your submittal received 09-08-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

H-11/DO 62

PROJECT TITLE: ST. PETER AND PAUL FELLOWSHIP HALL ZONE MAP: H-11
 DRB#: 1000400 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT #336 TOWN OF ATRISCO GRANT
 CITY ADDRESS: 5800 DUNAY RD, NW, ALBUQUERQUE, NM 87120

ENGINEERING FIRM: MARVIN R. KORTUM CONTACT: MARVIN KORTUM
 ADDRESS: 1605 SPEARMAN DR., S.E. PHONE: 505-299-0774
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87123

OWNER: ST. PETER & PAUL CATHOLIC CHURCH CONTACT: FATHER BIBEAU
 ADDRESS: 5800 DUNAY RD, NW PHONE: 505-352-1234
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87120

ARCHITECT: RON McCLURE CONTACT: RON McCLURE
 ADDRESS: P.O. BOX 83 PHONE: 719-657-3221
 CITY, STATE: DEL NORTE, CO ZIP CODE: 81132

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NATIVE AMERICANS/HOUSING CONSULTANTS CONTACT: DONALD LABRACK
 ADDRESS: 8308 WASHINGTON, NE PHONE: 505-220-7231
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☒ OTHER (SPECIFY) TRAFFIC
AA CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SEP 8 2011

**HYDROLOGY
SECTION**

DATE SUBMITTED: SEPTEMBER 8 BY: Donald J. LaBrack

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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ron mcclure

architect

TRAFFIC CERTIFICATION

I, Ron McClure, a New Mexico Registered Architect, of the firm Ron McClure Architect, hereby certify that this Project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TCL, approved plan dated 6/8/2010.

The record information edited onto the original design document has been obtained by DON LABRAKE of the firm NATC/RON MCCLURE ARCH.

I further certify that I have personally visited the Project site on 8/25/2011 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for CERTIFICATE OF OCCUPANCY.

(Describe any exceptions and/or qualifications here in a separate paragraph.)

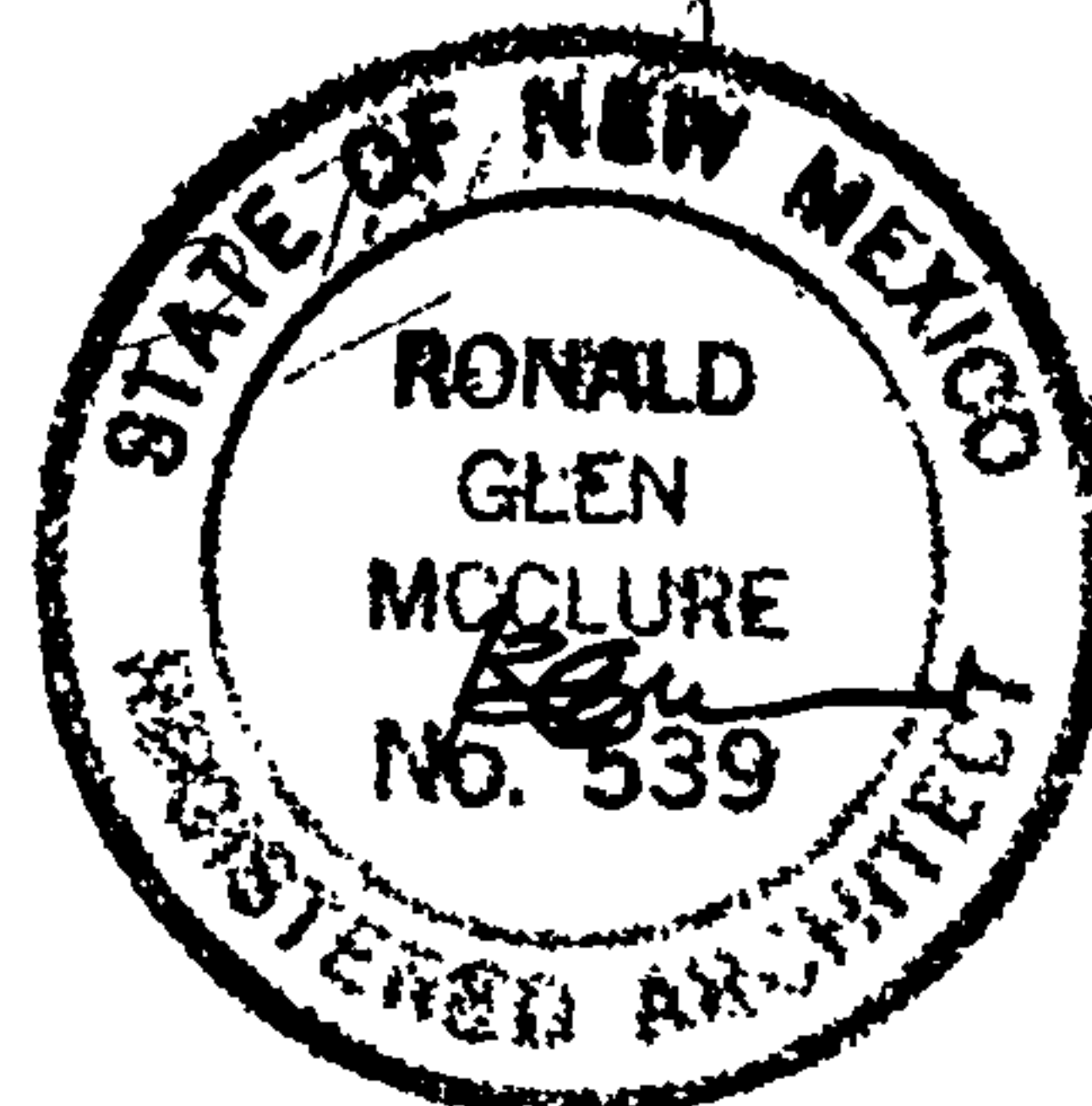
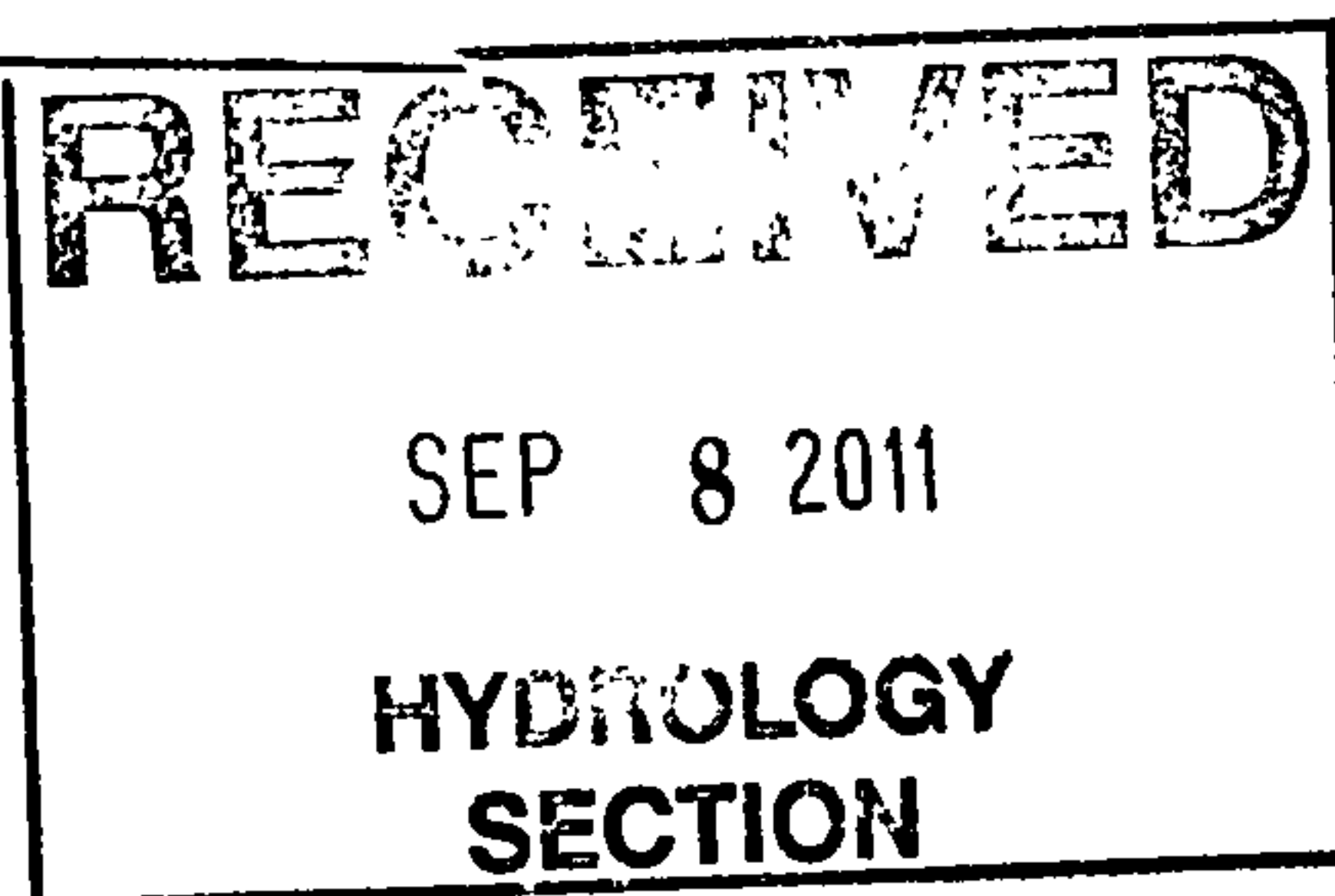
(Describe any deficiencies and/or required corrections here in a separate paragraph.)

SEE SHEET AA DATED 5/26/2011 FOR CORRECTIONS.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this Project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Signature of Architect

8/31/2011
Date



p.o. box 83

del norte, co 81132

719.657.3221