

CITY OF ALBUQUERQUE



January 26, 2017

Verlyn Miller P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE Building F
Albuquerque, NM 87107

Re: Sts. Peter & Paul Church School, 5800 Ouray Rd NW
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 07-08-15 (H11-D062)
Certification dated 01-17-17

Dear Mr. Miller,

Based upon the information provided in your submittal received 01-20-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

H11D062

Project Title: ST. PETER & PAUL CHURCH SCHOOL Building Permit #: 201690322 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT 360 UNIT 8 336D 186F 267

City Address: 5800 CURRY RD. NW ALB NM

Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: VERLYN MILLER

Address: 3500 COMANCHE NE BUILDING F

Phone#: 505.888.7500 Fax#: 505.888.3800 E-mail: vmliller@mecon.com

SOCIETY OF

Owner: ST. PIOUS X Contact: FR. PATRICK CRANE

Address: 11485 N. FARLEY RD. PLATTE CITY MO 64079

Phone#: 816.923.0202 Fax#: 816.861.6635 E-mail: frpcrane@sspx.org

Architect: ORCUTT WINSLOW Contact: TIM SCOLARO

Address: 3003 N. CENTRAL AVE. 16TH FL PHX, AZ 85012

Phone#: 602.257.1764 Fax#: 602.257.9029 E-mail: scolaro.t@owp.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

- DEPARTMENT:
- HYDROLOGY/ DRAINAGE
 - TRAFFIC/ TRANSPORTATION
 - MS4/ EROSION & SEDIMENT CONTROL

- CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
- BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY

- TYPE OF SUBMITTAL:
- ENGINEER/ ARCHITECT CERTIFICATION
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - DRAINAGE MASTER PLAN
 - DRAINAGE REPORT
 - CLOMR/LOMR

- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 1/9/2016 By: Tim Scolaro



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

TRAFFIC CERTIFICATION

I, Verlyn A. Miller, NMPE 14507, OF THE FIRM Miller Engineering Consultants, Inc., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Tim Scolaro OF THE FIRM Orcutt Winslow. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12-9-16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

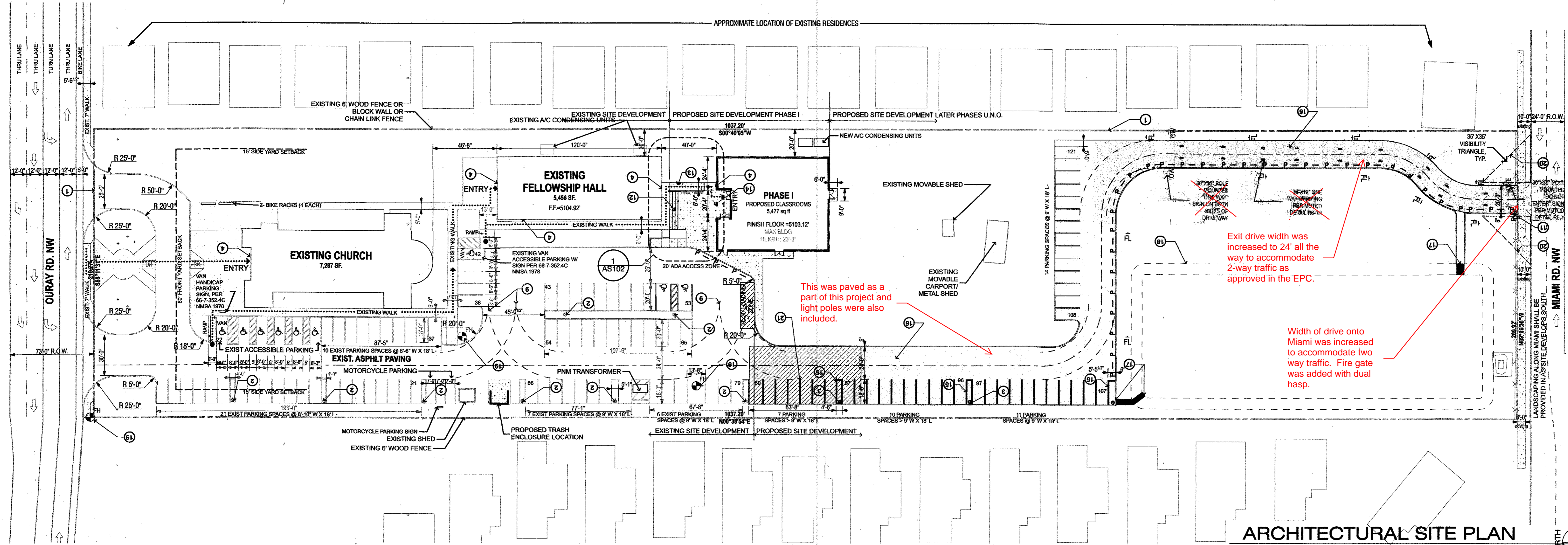


Signature of Engineer



Date





ARCHITECTURAL SITE PLAN



SITE PLAN KEYNOTES:

- Property Line.
- Existing pole-mounted light fixtures (typical). *Poles added as part of this project*
- Future 16' high pole-mounted light fixtures to match existing (typical) at 10' a.f.f. away from residential side of buildings only.
- Building-mounted light fixtures at multiple points along face of building.
- Future 6' wide sidewalk location to serve later phases.
- Existing storm sewer inlet.
- Existing 16' wide drive apron onto Miami at exit gate. Install 'DO NOT ENTER' sign facing Miami Street.
- Existing chain link fencing.
- Fire truck turning radii (typical).
- Flush curb for ADA loading zone and vehicular access.
- Modify fencing to add Pedestrian Gate as shown.
- Concrete steps for seating.
- Concrete ramp with ADA compliant handrails.
- Concrete-paved Entry plaza.
- 6" high concrete curb around light pole.
- Exit Drive to be paved prior to the commencement of any Phase II Construction. *Exit drive was paved all the way out to Miami*
- New swale and curb opening, see civil drawings.
- New retention basin, see civil drawings.
- Existing Fire hydrant.
- Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.
- 8 parking spaces to be built (indicated by hatched area) with Phase I construction to meet parking requirements regardless of paved driveway construction to Miami Road.

SITE PLAN GENERAL NOTES:

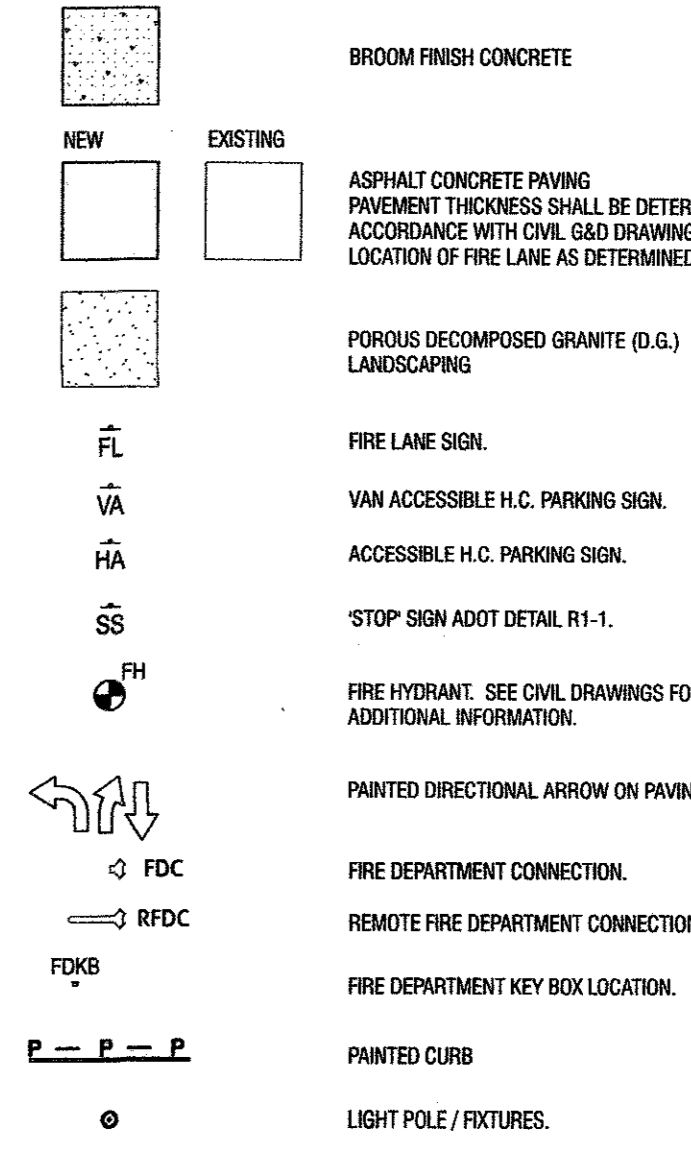
- Contractor shall remove all existing vegetation, site improvements, etc. whether or not specifically indicated on the drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of his proposal.
- Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
- Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
- Angles indicated are 45 degrees unless noted otherwise.
- Construction debris shall be removed from the site on a continuing basis for the duration of construction.
- Concrete walks shall have expansion joints at a maximum spacing of 20 feet OC and control joints at 5 feet OC, unless otherwise noted.
- Perform all clearing, grubbing and earthwork in accordance with the Geotechnical report, unless more restrictive requirements exist.
- Should slopes of greater than 1:20 (5%) occur at pavement locations, notify architect immediately.
- All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements, prior to placing on site.
- Dimensions are to outside face of stem walls/foundations unless noted otherwise.
- All areas disturbed by construction, staging, etc. shall be restored to their original condition by the General Contractor. General Contractor is responsible for documenting original condition.
- All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.
- All landscaping to be in conformance with the city of Albuquerque Water Conservation Landscaping & Waste Water Ordinance.
- Responsibility for maintenance by Owner.
- Irrigation system to include sprinklers, piping, controls, equipment, labor necessary for a complete system, including auto valves. Connect to existing timer.

PROJECT NUMBER: 1000400
 APPLICATION NUMBER: 14EPC-40086

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	7/8/15 DATE
<i>[Signature]</i> UTILITIES DEVELOPMENT	6/10/15 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	6-10-15 DATE
<i>[Signature]</i> CITY ENGINEER	6-10-15 DATE
NA ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	7-8-15 DATE
NA SOLID WASTE MANAGEMENT	7-8-15 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	7-8-15 DATE

SITE PLAN LEGEND



LANDSCAPE AREA

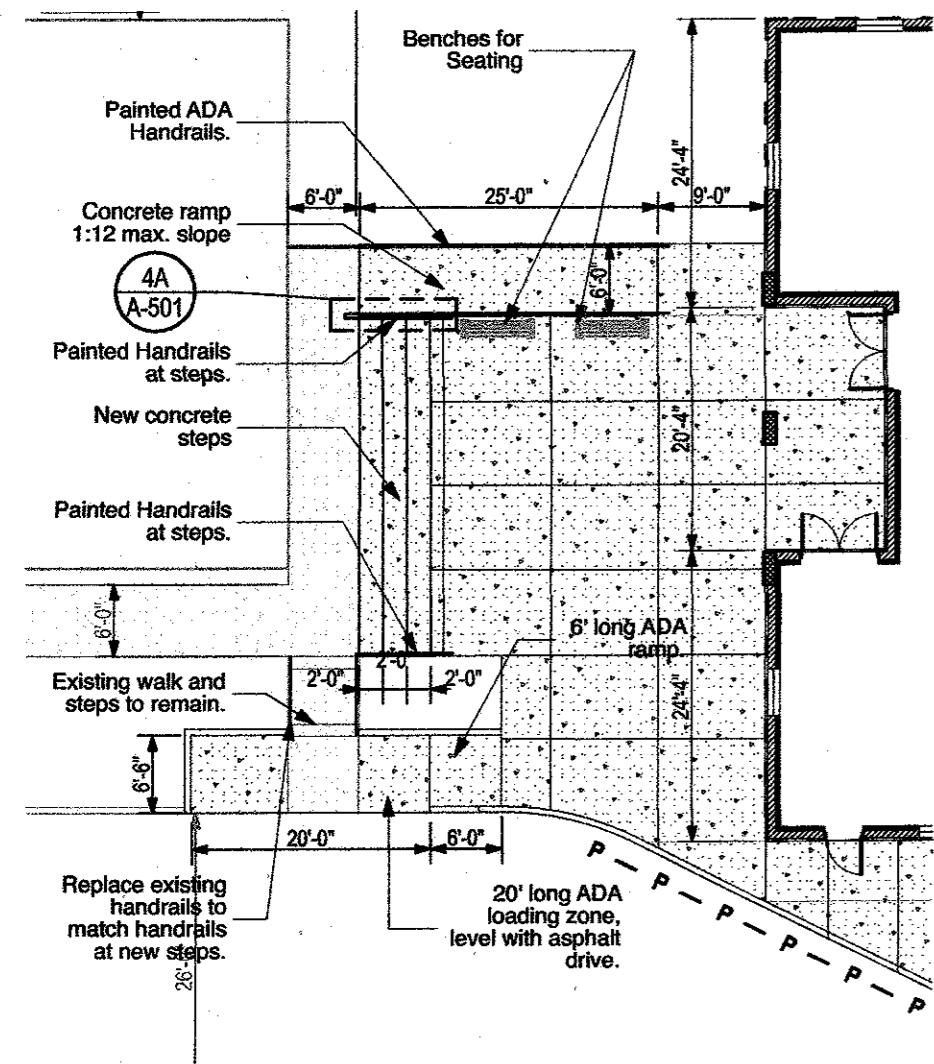
GROSS SITE AREA	217,800 sf
Existing Church	(7,287) sf
Existing Fellowship Hall	(5,456) sf
Phase I	(5,477) sf
Phase II	(8,060) sf
Phase III	(9,880) sf
Phase IV	(7,641) sf
NET SITE AREA	173,705 sf
Required Landscape Area (15%)	26,055 sf
Existing Landscape Area	34,621 sf
New Landscape Area	51,175 sf
TOTAL LANDSCAPE AREA PROVIDED	85,796 sf

FLOOR AREA RATIO:

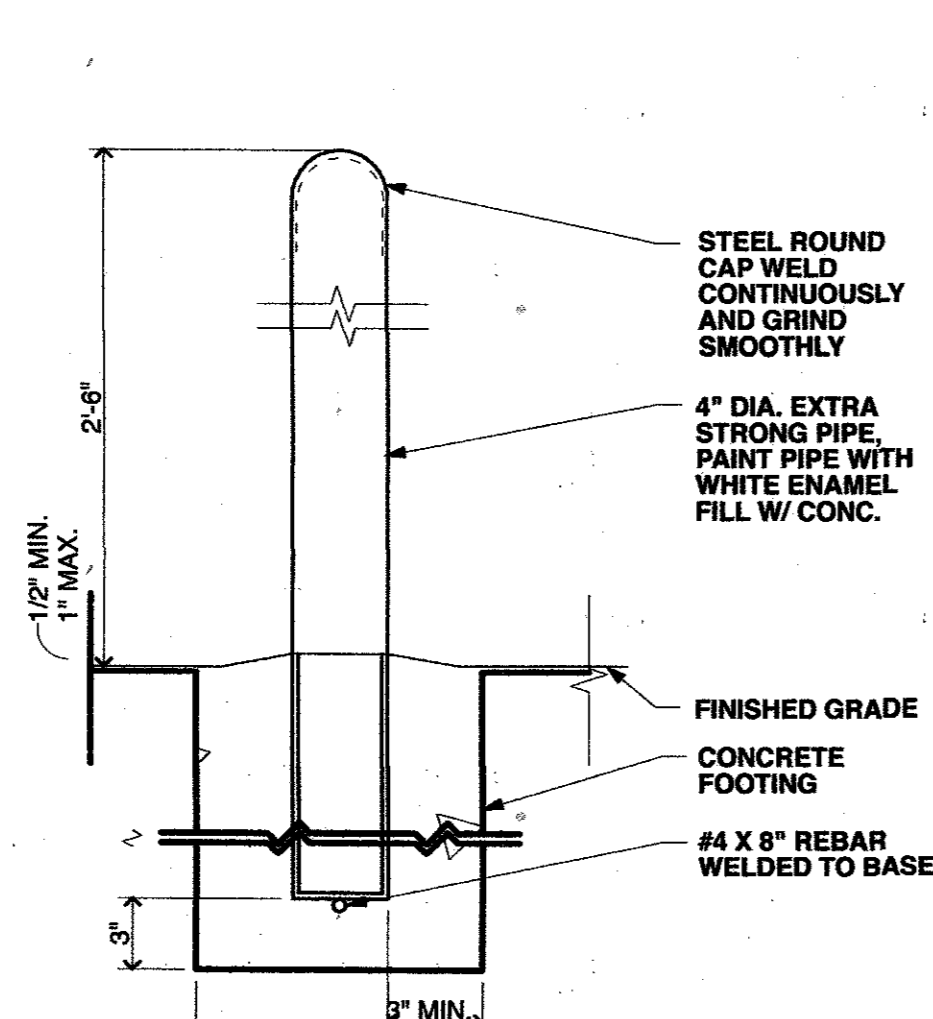
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Phase II	(8,060) sf
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Phase IV	(7,641) sf
FLOOR AREA RATIO:	43,801 SF/217,800=20

PARKING

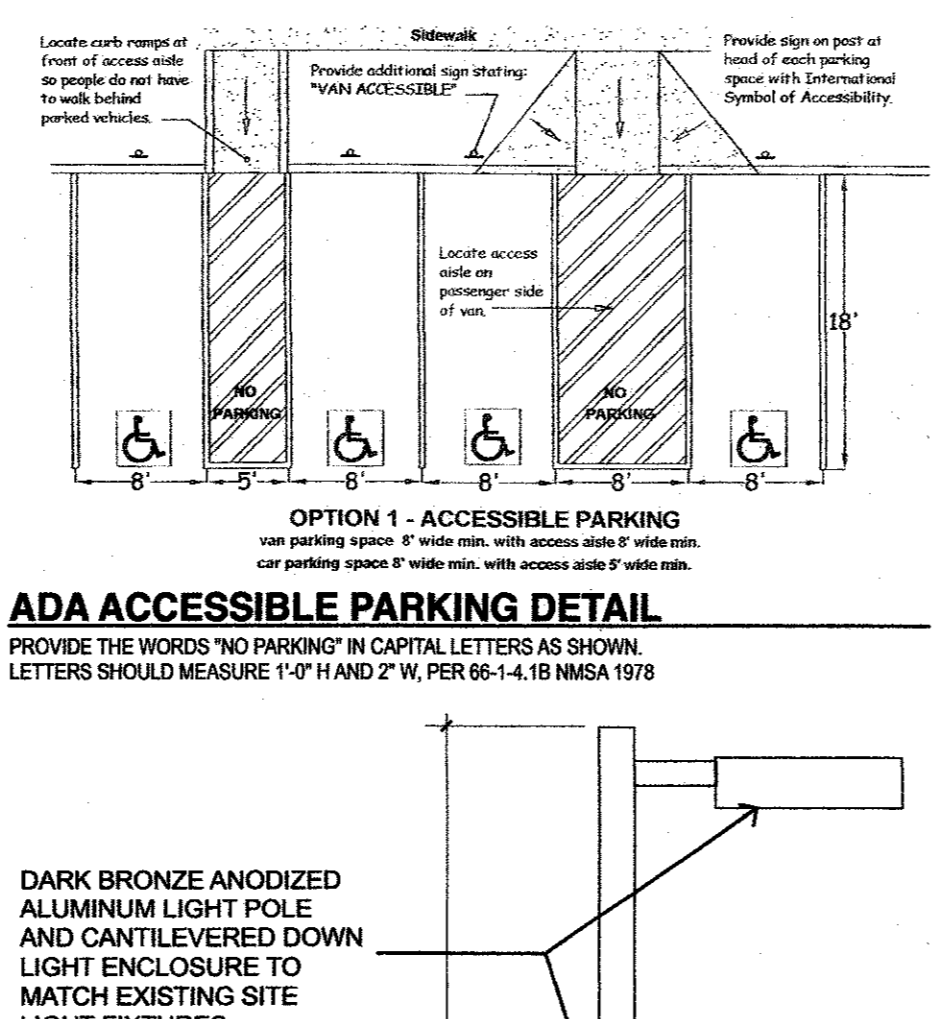
PARKING REQUIREMENTS:	Req'd.	Provided
Existing Church	230 seats/4 (including 4 accessible)	58
Existing Fellowship Hall	100 people/3	33
Phase I School Addition	8 employees/1	8
Total Automobile Spaces (73 Exist./27 New)	99	100
Handicap and Van Accessible Spaces	4	7
Motorcycle	3	3
Bicycle	4	8
Future Phases	Per Zoning code	0



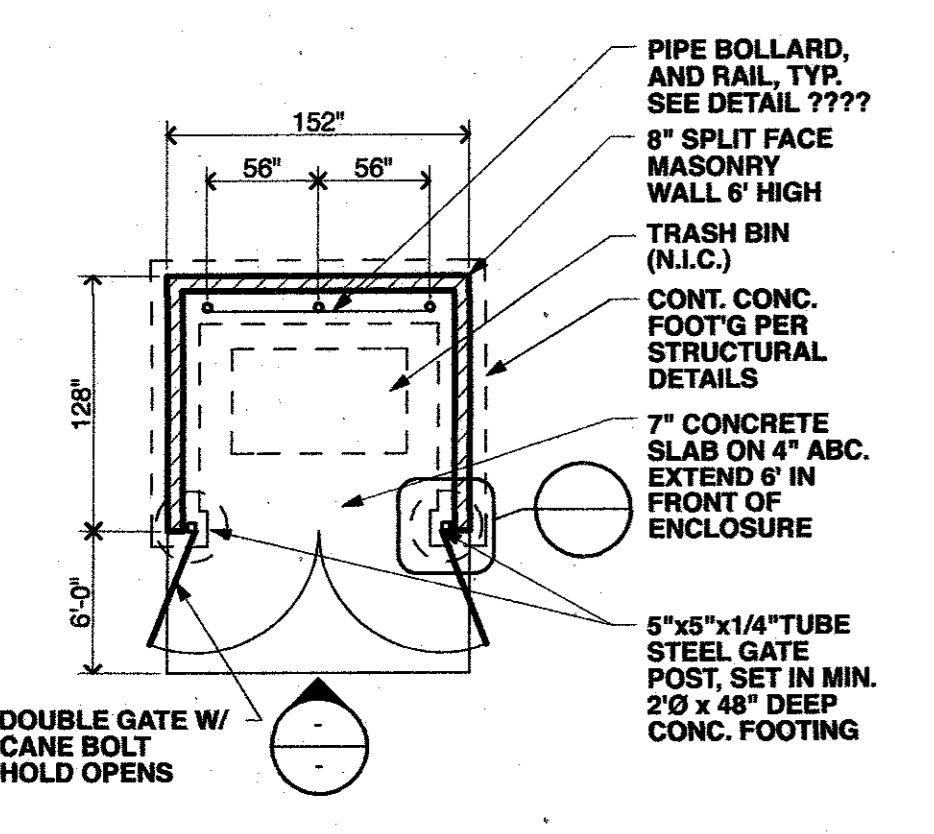
1 ENLARGED SITE PLAN
 SCALE: 1/16" = 1'-4"
 0 8 16 32



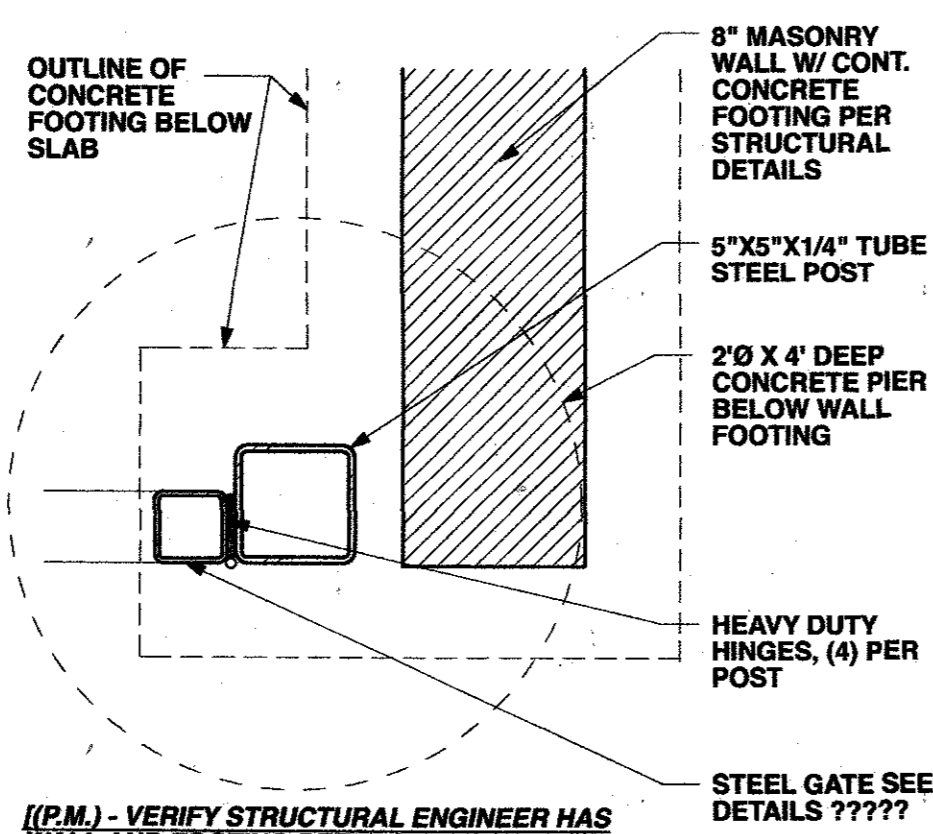
3 PIPE BOLLARD
 S-323113-3.0.3



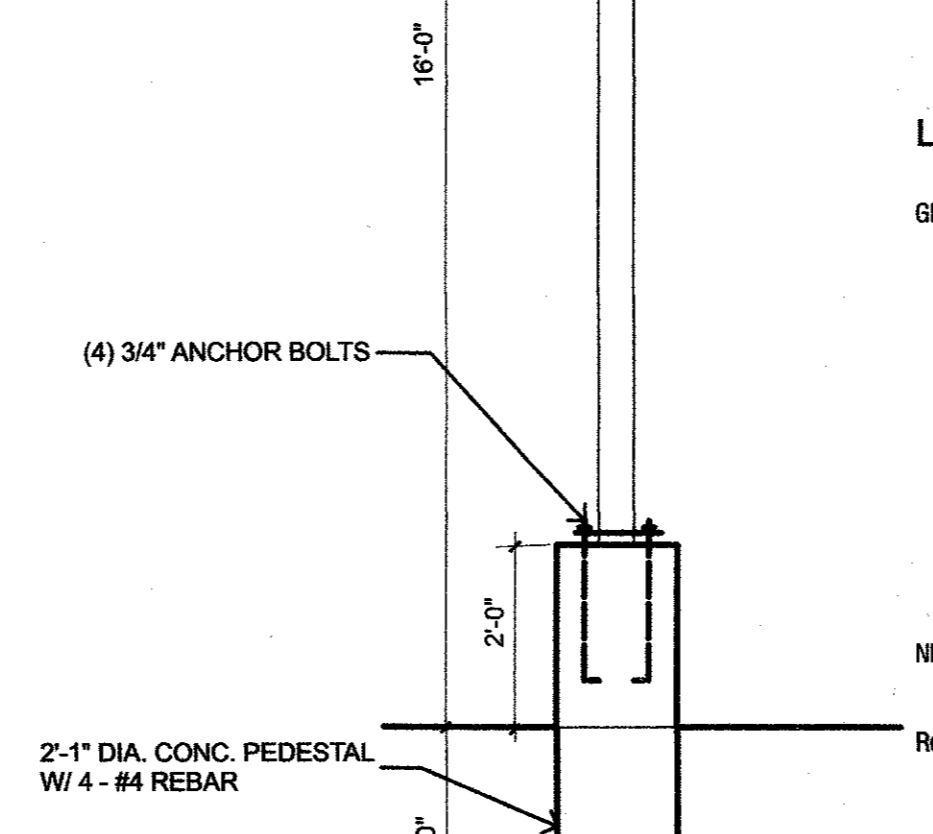
OPTION 1 - ACCESSIBLE PARKING
 PROVIDE THE WORDS "NO PARKING" IN CAPITAL LETTERS AS SHOWN. LETTERS SHOULD MEASURE 1'-0" H AND 2" W, PER 66-1-4.18 NMSA 1978



2 TRASH ENCLOSURE
 SINGLE BIN W/ GATE
 S-323519-4.1.1



4 GATE POST AT TRASH ENCLOSURE
 S-323519-4.0.3



TYPICAL LIGHT POLE & FIXTURE

As-built transportation revisions shown in red

Society of St Pius X
Sts. Peter & Paul Church School
 5800 OURAY RD NW, ALBUQUERQUE, NM 87120

CLIENT CONTACT
 Steve O'Dell 816-733-2573 t
 11485 N. Farley Rd. 816-753-3560 f
 Platte City, MO 64079 sodell@sspx.org

PROJECT NO. DATE OF ISSUE
 2014_003 05.12.2015

REVISION NO. DATE

PROJECT TEAM DRAWN BY
 Scolaro ad

PROJECT PHASE
 construction documents

SHEET CONTENTS
 architectural site plan

SHEET NO.

AS102