



April 14, 2015

Verlyn Miller, PE
Miller Engineering Construction
3500 Comanche NE Building F
Albuquerque, NM 87107

**RE: St. Peter and Paul Church, 5800 Ouray Road NW
Grading and Drainage Plan
Engineer's Stamp Date 3-20-2015 (File: H11-D062)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 3-20-15, the above referenced plan cannot be approved for DRB action on the Site Plan for Building Permit until the following comments are addressed:

PO Box 1293

- 1) Highlight site on vicinity map, and show Basin A-1 and B-1 boundaries. In the Drainage Narrative, explain Basin A-1's ultimate discharge to the southwest corner of the property if this is the case.

Albuquerque

- 2) In discussion of off-site flows, also mention any impact of on-site drainage to the property to the west and east or lack there-of. Provide more existing spot elevations along the western and eastern boundaries of the site.

New Mexico 87103

- 3) For the new 12" pipe tie-in to the existing inlet at the southwest corner of the site, provide a downstream invert elevation, and show the invert elevation of this existing inlet to ensure positive flow to the storm drain in Miami Road. Show and label existing storm drain in Miami Road and the tie to the existing storm drain in Miami Road.

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- 4) Label curb cuts where needed in low spots within the newly paved areas. It looks like a curb cut needs to be called out where Keyed Note 13 calls out a riprap rundown from the parking lot.

Prior to obtaining a building permit, please address the following comments:

- 1) Keyed Note 17 for the storm drain is not called out on the plan view.
- 2) Is the top of grate elevation meant to be called out as 5100.70 on Keyed Note 16? If so, call it out, and double-check on pipe cover since with the listed pipe invert elevation, it appears that the pipe cover is less than a foot.
- 3) Show capacities, discharge flows, and pipe slopes for all proposed on-site storm drain pipes. Show capacity of new on-site inlet. For any proposed curb cuts, also provide capacity calculations.
- 4) For the proposed pond, label complete pond volume and WSEL Elevation.

If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: ST. PETER AND PAUL CHURCH ZONE MAP/DRG. FILE # H-11-2
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT 360 UNIT 8 (336 D 186 P 267) ZONE SU-1
 CITY ADDRESS: 5800 OURAY N.W., ALBUQUERQUE, NM

ENGINEERING FIRM: MILLER ENGINEERING CONS.
 ADDRESS: 3500 COMANCHE NE BLDG. F
 CITY, STATE: ALB., NM 87107

CONTACT: VERLAIN MILLER
 PHONE: 505-888-7500
 ZIP CODE: 87107

OWNER: THE SOCIETY OF SAINT PIUS X
 ADDRESS: 2331 MAIDEN GRASS RD. N.W.
 CITY, STATE: ALB, NM

CONTACT: FR. PATRICK RUTLEDGE
 PHONE: 816-753-0073
 ZIP CODE: 87120

ARCHITECT: ORCUTT WINSLOW
 ADDRESS: 3003 N. CENTRAL AVE. 16TH FLOOR
 CITY, STATE: PHOENIX, AZ

CONTACT: TIM SCOLARO
 PHONE: 602-257-1764
 ZIP CODE: 85012

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: JOHN JACQUEZ DATE: 3/20/15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

1. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185--WELDED STEEL WIRE FABRIC FOR CONCRETE REINFORCEMENT.
2. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE CONSTRUCTION LIMITS OF THIS PROJECT AND WILL BE RESPONSIBLE FOR ANY PRIVATE AGREEMENTS NECESSARY TO EXECUTE THIS CONTRACT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS EQUIPMENT TO PUBLIC OR PRIVATE PROPERTY.
3. THE CONTRACTOR SHALL HAUL AND DISPOSE OF ALL CONCRETE RUBBLE AND OTHER REMOVALS TO AN ENVIRONMENTALLY SUITABLE LOCATION.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 48 HOURS BEFORE COMMENCING WORK IN THE AREAS NEAR UNDERGROUND UTILITY LINES. CONTRACTOR SHALL NOT INTERFERE WITH UTILITY LINE OPERATION AND SHALL COORDINATE ALL WORK AFFECTING EXISTING UTILITIES WITH THE APPROPRIATE AUTHORITY FOR EACH UTILITY, AND THE ENGINEER SHALL BE PROMPTLY NOTIFIED OF ANY PROBLEMS OR CONFLICTS ENCOUNTERED.
5. NOT USED.

6. TOPOGRAPHIC DATA, BENCHMARKS, REFERENCE POINTS, P.I.'S, STRUCTURE TIES, AND ALL OTHER MISCELLANEOUS SURVEY INFORMATION WAS OBTAINED FROM PREVIOUS FIELD SURVEYS. IT IS ENTIRELY POSSIBLE THAT THESE POINTS MAY NO LONGER EXIST IN THE FIELD. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REESTABLISH ANY MISSING BENCH MARKS, REFERENCE POINTS, OR P.I.'S REQUIRED FOR CONSTRUCTION OF THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY BETWEEN ADJACENT REFERENCE POINTS, BENCH MARKS, AND P.I.'S PRIOR TO THEIR USE IN CONSTRUCTING THIS PROJECT TO ASSURE THE INTEGRITY OF EACH POINT.

7. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.

8. THE CONTRACTOR SHALL USE CAUTION AT ALL EXISTING STRUCTURES INCLUDING ALL UNREINFORCED MASONRY WALLS, BUILDINGS, ETC.. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY STRUCTURES, DRIVEWAYS, LIGHT FIXTURES, AND WATER METERS, ETC.. AND SHALL REPAIR THE DAMAGES AT HIS OWN EXPENSE.
9. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.M.A.P.W.A. (AMERICAN PUBLIC WORKS ASSOCIATION) NEW MEXICO CHAPTER, AND THE SPECIFICATIONS IN THE PROJECT MANUAL UNLESS OTHERWISE STATED.

10. THE CONTRACTOR SHALL DETERMINE AND COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.

11. WHEN ABUTTING NEW ASPHALT TO EXISTING ASPHALT, SAW CUT EXISTING ASPHALT TO A NEAT STRAIGHT LINE TO MATCH NEW ASPHALT DEPTH.

12. DURING THE CONSTRUCTION OF THIS PROJECT, SOME OVERHEAD AND/OR UNDERGROUND UTILITY ADJUSTMENTS MAY HAVE TO BE ACCOMPLISHED CONCURRENTLY BY THE UTILITY OWNERS (COUNTY AND/OR PRIVATELY OWNED). THE CONTRACTOR SHALL COORDINATE AND ADVISE THE UTILITY OWNERS, ALLOWING ENOUGH TIME SO THAT THE REQUIRED UTILITY ADJUSTMENTS DO NOT IMPEDE THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR ANY DELAYS, INCONVENIENCE, OR DAMAGE SUSTAINED DUE TO ANY INTERFERENCE FROM SAID UTILITY APPURTENANCES.

13. AS OF MARCH 10, 2003, THE USEPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT WHO HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DEVELOPING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DOCUMENT FOR THE PROJECT AND PROVIDING, BUILDING, MANAGING AND MAINTAINING ALL BEST MANAGEMENT PRACTICES (BMP'S) AND TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE SWPPP DOCUMENT.

14. ALL ASPHALT PAVED SURFACES SHALL HAVE A MINIMUM SLOPE OF 1.00%. THE CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE PROJECT ENGINEER IF ANY ASPHALT PAVED SURFACES SLOPES ARE LESS THAN 1.00% PRIOR TO CONSTRUCTION..

15. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING EXISTING ASPHALT PAVING. THERE SHALL BE NO PAVEMENT CUTS, UNLESS PAVEMENT CUTS ARE EXPLICITLY NEEDED. SAWCUT ASPHALT OR CURB AND GUTTER TO A CLEAN, STRAIGHT EDGE. REPLACE SECTIONS AND MATCH TO EXISTING SECTIONS OF ASPHALT, CONCRETE, BASE COURSE, AND/OR SUBGRADE PREPARATION. REMOVE AND REPLACE ANY AREAS OF DISTURBED LANDSCAPING. CONTRACTOR SHALL SUBMIT NEW SECTION TO PROJECT ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. ANY DAMAGE TO THE ASPHALT DUE TO CONSTRUCTION ACTIVITY WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

GENERAL NOTES

16. ACCESS TO ALL LOCAL BUSINESSES (INCLUDING ALL DELIVERIES) AND RESIDENCES SHALL BE KEPT OPEN AT ALL TIMES. ANY ACCESS CLOSURE MUST BE SCHEDULED WITH THE PROPERTY OWNERS AT LEAST 48 HOURS IN ADVANCE AND APPROVED BY THE PROJECT ENGINEER
17. ALL ASPHALT PAVEMENT, BASE COURSE AND SUBGRADE PREPARATION THICKNESSES ARE PROVIDED BY THE GEOTECHNICAL REPORT FOR THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT ALL ASPHALT AND CONCRETE PAVING SECTIONS ARE IN COMPLIANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT. SEE SHEET C-501 FOR ASPHALT AND CONCRETE PAVING SECTIONS, AND GEOTECHNICAL REPORT INFORMATION.

18. NOT USED

19. MAINTENANCE OF DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.

20. PROJECT BENCHMARKS ARE AS SHOWN ON TOPOGRAPHIC SURVEY PROVIDED BY VIGIL AND ASSOCIATES ARCHITECTS' AND PREPARED BY TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. P.O. BOX 2532, CORRALES, NEW MEXICO, MARCH 2014.

21. ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM A TOPOGRAPHIC SURVEY PROVIDED BY TERRA LAND SURVEYS. MILLER ENGINEERING CONSULTANTS HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THIS INFORMATION.

22. THE CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS ON ALL CIVIL SITE RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.

23. DURING THE CONSTRUCTION OF THIS PROJECT, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY TEMPORARY DRAINAGE MEASURES NECESSARY TO SAFELY CONVEY STORM WATER RUNOFF. ANY DAMAGES TO PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS CONSTRUCTED BY THE CONTRACTOR RESULTING FROM STORM WATER FLOWS IN THE PROJECT VICINITY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

24. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%. THE CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE PROJECT ENGINEER IF ANY CROSS SLOPES ARE GREATER THAN 2% PRIOR TO CONSTRUCTION.

25. SEE LANDSCAPING PLANS AND SPECIFICATIONS FOR ALL SEEDING REQUIREMENTS.

26. THE CONTRACTOR SHALL DEVELOP THE TRAFFIC CONTROL PLAN AND SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES AND CONSTRUCTION SIGNING IN ACCORDANCE WITH THE "MUTCD" (LATEST EDITION) DURING THE CONSTRUCTION PERIOD (WORKING AND NON-WORKING HOURS). ANY NECESSARY DEVIATION FROM THE "MUTCD" SHALL HAVE PRIOR APPROVAL OF THE PROJECT ENGINEER OR CONSTRUCTION INSPECTOR. THE CONTRACTOR SHALL SUBMIT A COPY OF THE PROPOSED TRAFFIC CONTROL PLAN TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. THIS PLAN SHALL SATISFY THE REQUIREMENTS FOR PUBLIC SAFETY AND TRAVELING PUBLIC AS WELL AS THE REQUIREMENTS OF "MUTCD" AND SHALL BE REVISED AS NECESSARY TO MEET THE REQUIREMENTS DURING THE CONSTRUCTION PERIOD. THE SECTIONS OF ROADWAY WHICH ARE OPEN TO TRAFFIC SHALL BE KEPT IN GOOD RIDING CONDITION AND CLEAR OF HAZARDS TO TRAFFIC. THE SAFETY AND COMFORT OF THE TRAVELING PUBLIC AND ACCESS TO RESIDENCES AND OTHER TURNOUTS SHALL BE OF PRIMARY CONSIDERATION.

27. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
28. ALL STORM DRAIN PIPE, INLETS AND RELATED APPURTENANCES SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
29. ALL STORM DRAIN PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATER TIGHT JOINTS.

30. TOPOGRAPHIC DATA, BENCHMARKS, REFERENCE POINTS, P.I.'S, STRUCTURE TIES, AND ALL OTHER MISCELLANEOUS SURVEY INFORMATION WAS OBTAINED FROM PREVIOUS FIELD SURVEYS. IT IS ENTIRELY POSSIBLE THAT THESE POINTS MAY NO LONGER EXIST IN THE FIELD. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO RE-ESTABLISH ANY MISSING BENCH MARKS, REFERENCE POINTS, OR P.I.'S REQUIRED FOR CONSTRUCTION OF THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY BETWEEN ADJACENT REFERENCE POINTS, BENCH MARKS, AND P.I.'S PRIOR TO THEIR USE IN CONSTRUCTING THIS PROJECT TO ASSURE THE INTEGRITY OF EACH POINT.
31. CONTRACTOR SHALL VERIFY ALL PIPE LENGTHS, SLOPES AND LOCATIONS PRIOR TO INSTALLATION WITH THE COUNTY INSPECTOR AND THE PROJECT ENGINEER.
32. CONNECTIONS TO DISSIMILAR PIPING SHALL BE WITH FITTINGS RECOMMENDED BY MANUFACTURERS.

33. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING EXISTING ASPHALT PAVING. ANY DAMAGE TO THE ASPHALT DUE TO CONSTRUCTION ACTIVITY WILL BE REPAIRED BY THE CONTRACTOR AT OWN EXPENSE.
34. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.

CIVIL DRAWING INDEX

SHEET No.	SHEET TITLE
CG-001	GENERAL NOTES, & DRAWING INDEX
C-100	GRADING AND DRAINAGE REPORT
C-101	OVERALL GRADING AND DRAINAGE PLAN
C-102	DETAILED GRADING AND DRAINAGE PLAN
C-103	SITE UTILITY PLAN
C-500	MISCELLANEOUS DETAILS
C-501	MISCELLANEOUS DETAILS

35. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.

36. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.

37. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.

38. CONTRACTOR SHALL ADJUST THE STORM DRAIN LINES FROM THE ROOF DRAINS AS NECESSARY TO AVOID THE NEW FIRE LINE OR ANY OTHER PROPOSED OR EXISTING UTILITIES.

39. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY CONFLICTS BETWEEN EXISTING OR PROPOSED UTILITIES ON THIS PROJECT PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR HIRING A SURFSURFACE UTILITY ENGINEERING COMPANY TO LOCATE AND DESIGNATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION OF ANY POTENTIAL CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES. ONCE NOTIFIED IN WRITING, THE ARCHITECT WILL ISSUE A SKETCH AND/OR DESCRIPTIVE SCOPE OF WORK TO RESOLVE THE UTILITY CONFLICT.

41. THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL. ALL MATERIALS, EQUIPMENT AND LABOR ASSOCIATED WITH THE PROPER CONSTRUCTION OF THE STEEP SLOPE SEEDING WILL BE CONSIDERED INCIDENTAL AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS MATERIAL OR WORK. THE COCONUT FIBER EROSION BLANKET AND ASSOCIATED SEEDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.

WATER AND SANITARY SEWER UTILITY GENERAL NOTES

- A. AT AREAS OF CUTTING AND TRENCHING AT EXISTING ASPHALT SURFACES FOR NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR DAMAGED ASPHALT TO MATCH EXISTING ADJACENT SURFACES
- B. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT W/ SITE UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK

- C. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT

- D. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION

- E. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

- F. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE ABCWUA ON ANY UTILITY CONSTRUCTION AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.

- G. CONTRACTOR SHALL ADHERE TO THE ABCWUA STANDARD DRAWINGS AND SPECIFICATIONS AND THE SPECIFICATIONS IN THE PROJECT MANUAL UNLESS OTHERWISE STATED FOR WATER AND SANITARY SEWER UTILITY WORK.

- H. IF THERE IS A CONFLICT BETWEEN PROPOSED SEWER SERVICE AND WATER SERVICE LINES, THE CONTRACTOR SHALL ADJUST THE WATER SERVICES AS NECESSARY TO COMPLETE THE WORK. 10' MINIMUM SEPARATION BETWEEN THE WATER AND SEWER-PIPES.

- I. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL IDENTIFY, LOCATE AND REMOVE ALL SUPERFLUOUS UTILITIES AND ASSOCIATED CONDUITS AND APPURTENANCES ACCORDING TO THE INDICATIONS OF THIS DRAWING. REFER TO LEGEND AND DRAWING TO INTERPRET EXTENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 48 HOURS BEFORE COMMENCING WORK IN THE AREAS NEAR UNDERGROUND UTILITY LINES. CONTRACTOR SHALL NOT INTERFERE WITH UTILITY LINE OPERATION AND SHALL COORDINATE ALL WORK AFFECTING EXISTING UTILITIES WITH THE APPROPRIATE AUTHORITY FOR EACH UTILITY, AND THE SCHOOL SHALL BE PROMPTLY NOTIFIED OF ANY PROBLEMS OR CONFLICTS ANTICIPATED OR ENCOUNTERED.

- J. DURING THE CONSTRUCTION OF THIS PROJECT, SOME OVERHEAD AND/OR UNDERGROUND UTILITY ADJUSTMENTS MAY HAVE TO BE ACCOMPLISHED CONCURRENTLY BY THE UTILITY OWNERS (CITY AND/OR PRIVATELY OWNED). THE CONTRACTOR SHALL COORDINATE AND ADVISE THE UTILITY OWNERS, ALLOWING ENOUGH TIME SO THAT THE REQUIRED UTILITY ADJUSTMENTS DO NOT IMPEDE THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR ANY DELAYS, INCONVENIENCE, OR DAMAGE SUSTAINED DUE TO ANY INTERFERENCE FROM SAID UTILITY APPURTENANCES.

- K. ALL WATER LINE PIPE SHALL BE C-900 PVC.

- L. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC.

- M. THE CONTRACTOR SHALL COORDINATE WITH THE ABCWUA FOR ALL NEW UTILITY INSTALLATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ALL UTILITIES IN ACCORDANCE WITH THE ABCWUA REQUIREMENTS.

- N. ALL WATERLINES SHALL BE FLUSHED, DISINFECTED, AND TESTED IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION (AWWA) SPECIFICATION. ALL FIRE LINES SHALL BE FLUSHED, DISINFECTED, AND TESTED IN ACCORDANCE WITH THE NFPA CODES AND REGULATIONS.

- O. ALL WATERLINE BENDS, TEES, WTES, VALVES, HYDRANTS, AND DEAD ENDS WILL BE MECHANICALLY RESTRAINED.



ME MILLER ENGINEERING CONSULTANTS

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GENERAL NOTES
AND DRAWING INDEX

SHEET NO.

CG-001

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87120

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64079

DATE OF ISSUE

3.20.2015

REVISION NO.

DATE

3.20.2015

BP Submittal

PROJECT TEAM

DRAWN BY

KR

PROJECT PHASE

BUILDING PERMIT

SHEET CONTENTS

GENERAL NOTES

AND DRAWING INDEX

SHEET NO.

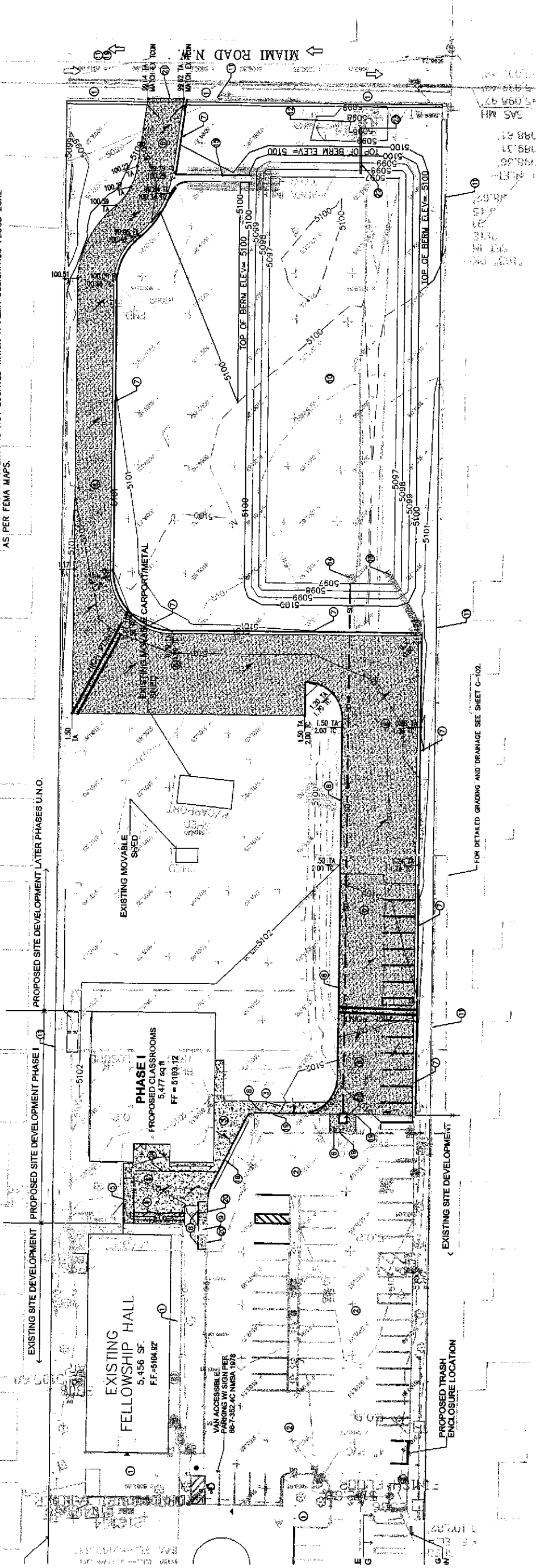


GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY HAS AN EXISTING CHURCH AND EXISTING FELLOWSHIP HALL WITH ASSOCIATED CONCRETE AND ASPHALT PARKING LOT ON THE NORTHERN PORTION OF THE PROPERTY. THESE EXISTING BUILDINGS ARE ACCESSED ON THE NORTH FROM OURAY ROAD. THE PROPOSED IMPROVEMENTS ARE LOCATED SOUTH OF THE EXISTING FELLOWSHIP HALL AND PARKING AREA. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE NORTH TO THE SOUTH. THERE IS AN EXISTING POND JUST SOUTH OF THE EXISTING PARKING AREA AND JUST EAST OF THE WESTERN PROPERTY LINE. THERE IS AN EXISTING DRAINAGE CHANNEL THAT IS JUST SOUTH OF THE EXISTING POND. THE CHANNEL RUNS PARALLEL TO THE WEST PROPERTY LINE AND DISCHARGES INTO THE EXISTING DRAIN INLET AT THE SOUTHWEST CORNER OF THE PROPERTY NORTH OF MIAMI RD. BOUNDING THE PROPERTY ON THE WEST AND EAST SIDE IS RESIDENTIAL HOUSING. ON THE NORTH SIDE THE PROPERTY IS BOUNDED BY OURAY ROAD. ON THE SOUTH SIDE THE PROPERTY IS BOUNDED BY MIAMI ROAD.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNOFFS ALLOWING STORMWATER INTO A PROPOSED WATER HARVESTING AREA. THIS WATER HARVESTING AREA WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REDD VOL = 10.33 IN. • 54851 SF)/12 = 1510 CF. WATER HARVEST AREA VOL = 21000 CF. 21000 CF. • 1510 CF) AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. A PORTION OF THE EXISTING PARKING AREA AND A PORTION OF THE ACCESS ROAD TO THE SOUTH WILL DISCHARGE INTO PROPOSED DRAINAGE INLETS. THE RUNOFF FROM THE INLETS WILL DISCHARGE THROUGH PROPOSED STORM DRAIN LINE THAT WILL CONNECT TO THE EXISTING DRAINAGE INLET NEAR THE SOUTHWEST CORNER OF THE PROPERTY. THE EXISTING DRAINAGE INLET THEN DISCHARGES INTO A STORM DRAIN SYSTEM IN MIAMI ROAD.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.



LEGEND:

PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	— 98 —	GRADE BREAK
MATCH EXISTING ELEVATIONS	— 98 —	SWALE
TOP OF CONCRETE	— 98 —	STORM DRAIN LINE
FLOW LINE, CURB	— 98 —	
INVERT	— 98 —	
FINISH GRADE	— 98 —	PROPOSED MAJOR CONTOUR
TOP OF WALL	— 98 —	PROPOSED MINOR CONTOUR
TOP OF CURB	— 98 —	EXISTING MAJOR CONTOUR
TOP OF GRADE	— 98 —	EXISTING MINOR CONTOUR
PROPOSED DRAIN BASIN	— 98 —	
PROPOSED MANHOLE	— 98 —	
FLOW ARROW	— 98 —	

KEYED NOTES:

- EXISTING CONCRETE SIDEWALK/FLATWORK TO REMAIN.
 - EXISTING ASPHALT SURFACE TO REMAIN.
 - NEW CONCRETE FLATWORK. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - NEW CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - NEW TYPE A HANDICAP RAMP WITH PEDESTRIAN HAND RAIL (MAX GRADE 12:1). SEE ARCHITECTURAL PLANS FOR DETAILS.
 - NEW HOT MIX ASPHALT SURFACE. SEE SHEET C-500 FOR SECTION.
 - NEW CONCRETE CURB AND GUTTER. SEE SHEET C-500 FOR DETAIL.
 - NEW CONCRETE HEAD CURB. SEE SHEET C-500 FOR DETAIL.
 - NEW HANDICAP RAMP, SEE SHEET C-500 FOR DETAIL.
 - NEW WATER HARVEST AREA. (PONDING REQUIRED TO MANAGE 90 PERCENTILE STORM EVENTS). SEE SHEET C-500 FOR DETAIL.
 - APPROXIMATE LOCATION OF PROPERTY LINE
 - EXISTING STORM DRAIN DRAIN PIPE TO REMAIN.
 - NEW CLASS B LOOSE RIP RAP RUNOFF. SEE SHEET C-500 FOR DETAIL.
- NEW CLASS B LOOSE RIP RAP PAD. SEE SHEET C-500 FOR DETAIL.
 - NEW CONCRETE AND RIP RAP RUNOFF. SEE SHEET C-500 FOR DETAIL.
 - NEW TYPE D STORM DRAIN DRAIN PIPE.
 - NEW 12" STORM DRAIN PIPE. INV(N) = 5098.90 INV(OUT) = 509+7.0
 - NEW TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - SAWCUT EXISTING HOT MIX ASPHALT SURFACE TO CLEAN STRAIGHT EDGE. AS NECESSARY TO INSTALL NEW HEADER CURB OR NEW HOT MIX ASPHALT. STITCH CUTS ARE NOT ALLOWED.
 - SAWCUT EXISTING HEADER CURB. MATCH TOP OF CONCRETE SIDEWALK ELEVATION WITH EXISTING TOP OF ASPHALT ELEVATION.
 - MATCH TOP OF NEW HOT MIX ASPHALT SURFACE WITH EXISTING TOP OF CONCRETE SIDEWALK ELEVATION.
 - NEW 12" STORM DRAIN PIPE INV(N) = 97.50, INV(OUT) = 94.50
 - CONNECT NEW 12" STORM DRAIN PIPE TO EXISTING STORM DRAIN INLET.
 - GROUT AROUND NEW STORM DRAIN PIPE.
 - NEW CONCRETE SWALE.

OVERALL GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

A1

Society of St Plus X
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87120

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PROJECT NO. 2014_003
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DATE 3.20.2015
BP Submittal

PROJECT TEAM
Scolaro
DRAWN BY
KR

PROJECT PHASE
BUILDING PERMIT

SHEET CONTENTS

OVERALL GRADING
AND DRAINAGE PLAN

SHEET NO.

C-101

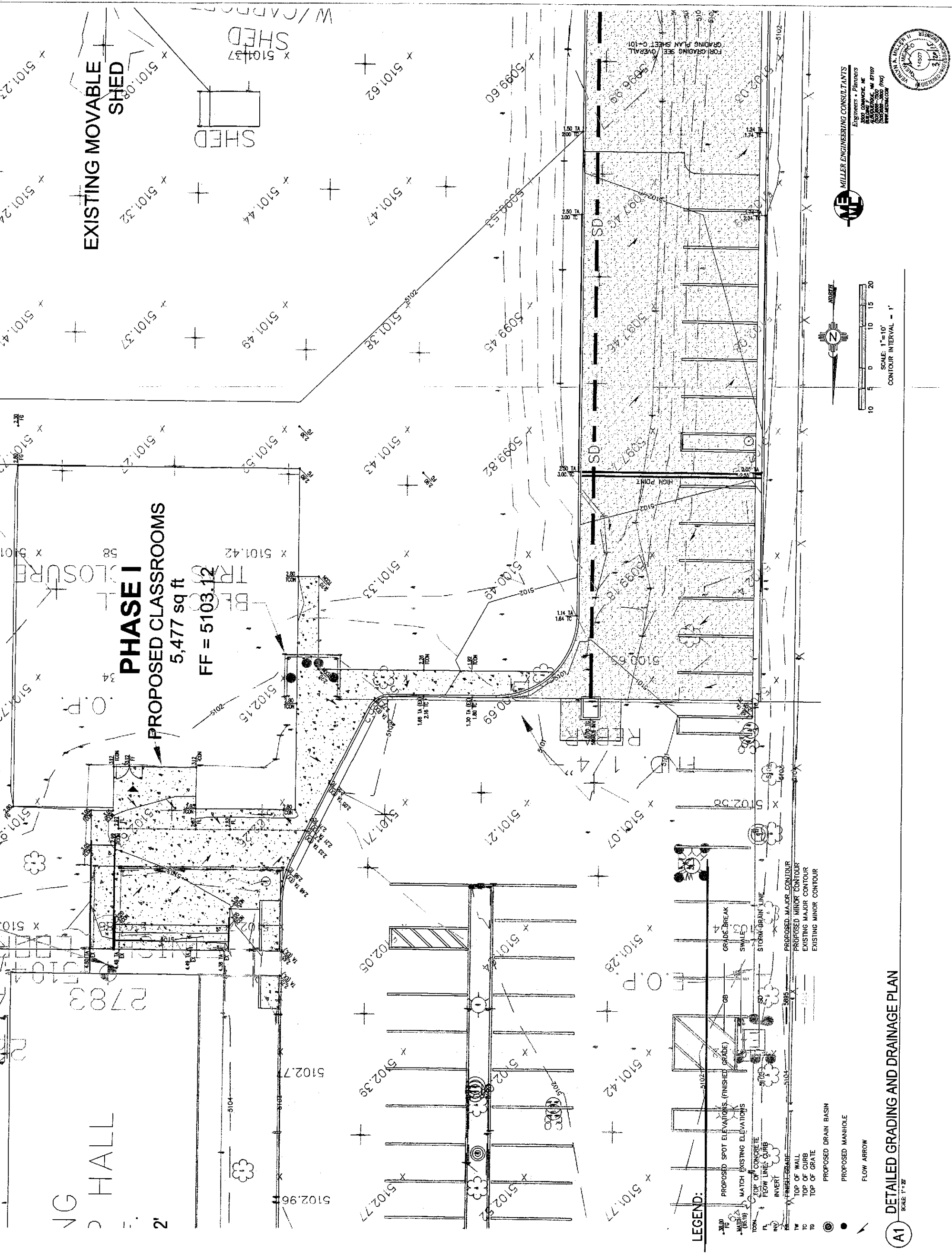


SCALE: 1"=30'
CONTOUR INTERVAL = 1'

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orcutt winslow



PHASE I PROPOSED CLASSROOMS
5,477 sq ft
FF = 5103.12

EXISTING MOVABLE SHED

LEGEND:

- PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- WATCH EXISTING ELEVATIONS
- TOP OF CONCRETE
- FLOW LINES CURB
- INVERT
- FINISH GRADE
- TOP OF WALL
- TOP OF CURB
- TOP OF GRATE
- PROPOSED DRAIN BASIN
- PROPOSED MANHOLE
- FLOW ARROW

PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR

GRADE BREAK
SWALE
STORM DRAIN LINE

LEGEND:

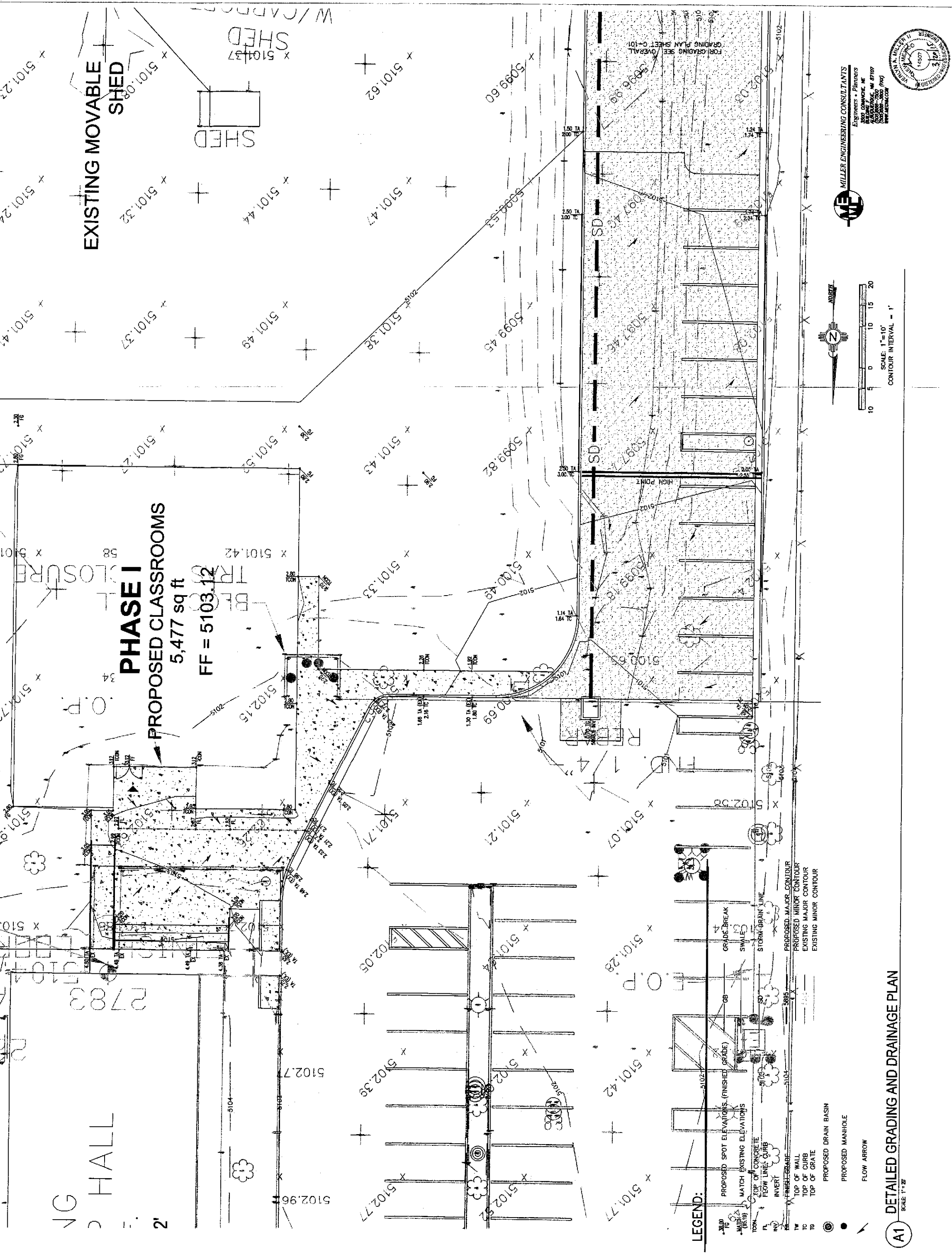
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GRADE BREAK
SWALE
STORM DRAIN LINE

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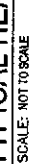
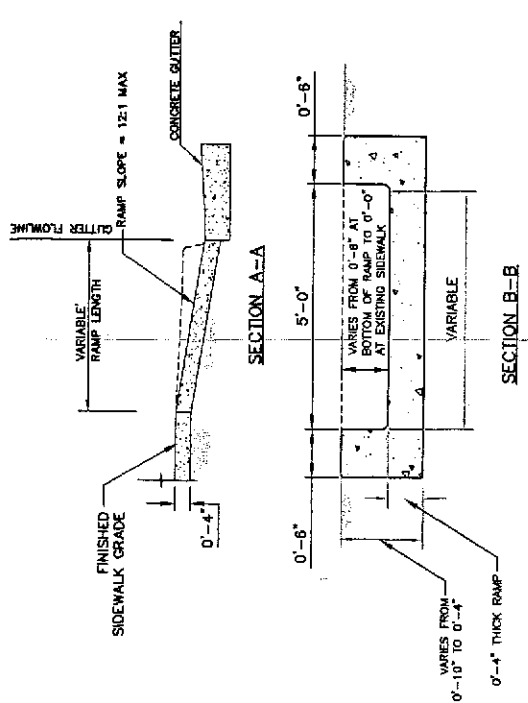
PROJECT TEAM
Sodario

DRAWN BY
KR

PROJECT PHASE
BUILDING PERMIT

SHEET CONTENTS
MISCELLANEOUS
DETAILS

SHEET NO.



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A1 MISCELLANEOUS DETAILS
SCALE: 1" = 20'

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