

# GENERAL NOTES:

- See sheet C2.0 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- Contractor shall field verify site for existing conditions (spalls, borrow areas, etc.) prior to bidding earthwork quantities.
- Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.

C1		
	TC	FL
1	4.95	4.45
2	4.36	4.36
3	4.95	4.28

C8		
	TC	FL
1	3.65	3.65
2	4.23	3.73
3	4.31	3.81

C16		
	TC	FL
1	3.23	3.23
2	3.86	3.36
3	3.98	3.48

C9		
	TC	FL
1	4.15	3.65
2	4.03	3.53
3	3.41	3.41

REFER TO SHEET C2.2 FOR  
CURVE & LINE TABLES

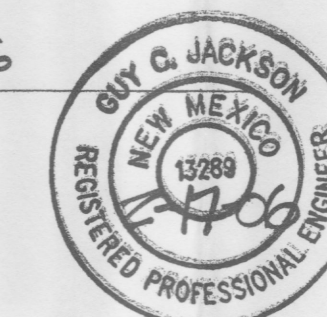
AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THE CONTRACTOR HAS RESOLVED 5 OF THE 6 ITEMS LISTED IN THE ITEMS TO BE ADDRESSED ON THE LETTER DATED 11/2/05 WITH THE EXCEPTION OF ITEM 4 WHICH READ "The elevations of the new pavement north of the building has not been built to design grades. The water block near the northwest corner of the building has not been constructed." IN REVIEW OF THE AS-BUILT GRADES COLLECTED AND PROVIDED BY JOAQUINE ARGUELLES, PS ON 10/21/05 AND SUPPLEMENTED ON 2/02/06, IT APPEARS THAT THE AFORMENTIONED WATER BLOCK WAS BUILT APPROXIMATELY 45' TO THE WEST, WHICH ADDED AN ADDITIONAL 0.08 AC OF AREA THAT DRAINS INTO THE DETENTION PONDS ADJACENT TO 57TH ST. THE ACCOMPANYING DRAINAGE PLAN ADDRESSES THIS CHANGE. HOWEVER, THE DISPLACEMENT OF THE WATER BLOCK HAS LESSENED THE DESIGN SLOPE OF THE ORIGINAL SWALE TO THE RETENTION POND FROM 2% TO .5% ALONG THIS 125' SWALE. ALTHOUGH POSITIVE DRAINAGE IS CURRENTLY APPARENT AS SHOWN ON THE PROVIDED AS-BUILTS, AUTOZONE MUST PROVIDE MAINTENANCE OF THIS SWALE TO ENSURE THAT BIRDBATHS DON'T PROPAGATE AS THE ASPHALT AGES. IF THIS OCCURS OVER THE COURSE OF TIME, IT IS RECOMMENDED THAT A CONCRETE RIBBON CHANNEL OR UNDERGROUND SLOTTED DRAIN BE INSTALLED TO ENSURE POSITIVE DRAINAGE TO THE RETENTION POND.

IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED WITH THE NOTING OF THE FUTURE RECOMMENDATIONS MENTIONED ABOVE, AND THAT THE SITE APPEARS TO HAVE BEEN CONSTRUCTED IN GENERAL COMPLIANCE OF THE APPROVED PLAN.

COLLECTION OF THE AS-BUILT INFORMATION WAS PERFORMED BY JOAQUINE ARGUELLES, PS (NM 7472) THIS INFORMATION IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE GRADING & DRAINAGE ASPECTS OF THIS PROJECT.

THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GUY C. JACKSON, NMPE 13289 DATE 2-17-06



## GRADING PLAN

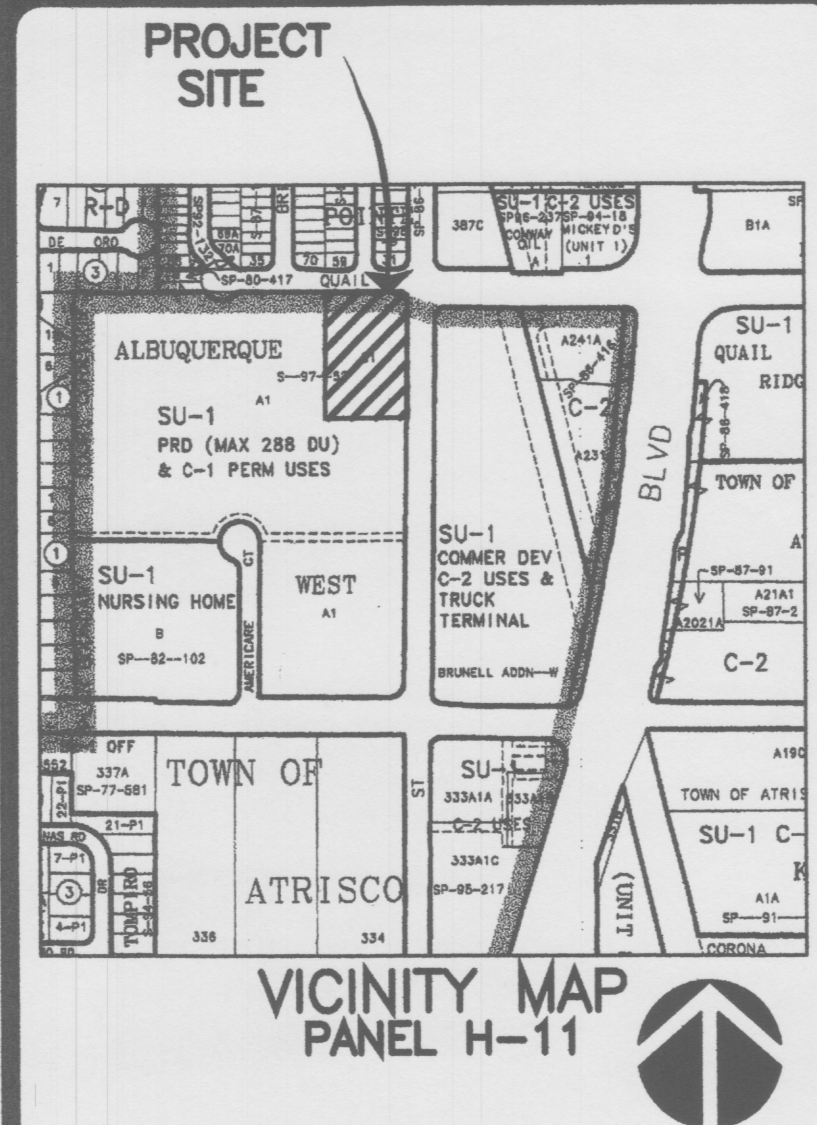
0 10' 20' 40' 80'  
SCALE: 1"=20'

**BPLW**  
Architects & Engineers, Inc.

8200 Uptown Blvd. NE  
Suite 400  
Albuquerque, New Mexico 87110  
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49 West First Street  
Suite 100  
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*Designing to Shape the Future*



**LEGAL DESCRIPTION**  
TRACT LETTERED C-ONE (C-1), OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1997 IN PLAT BOOK 97C, FOLIO 232.

**BENCH MARK**  
ALBUQUERQUE CONTROL MONUMENT "12-H11"  
ELEV=5102.17

REV.	DESCRIPTION	DATE

GUY C. JACKSON  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
13289

ENGINEER

ARCHITECT

**AUTOZONE**  
57TH & QUAIL

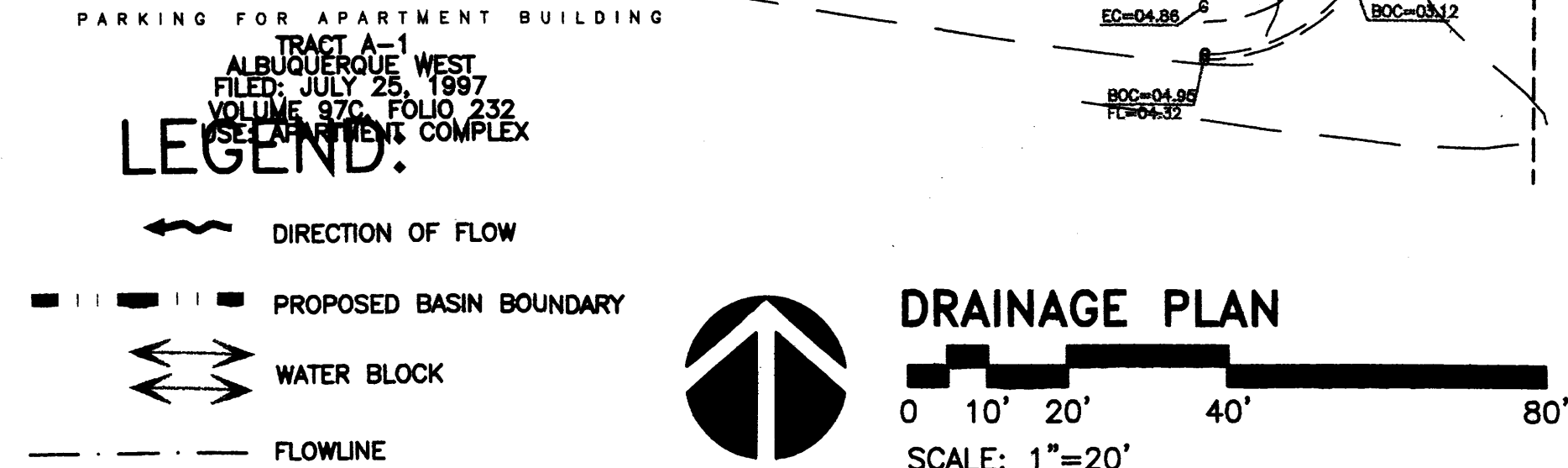
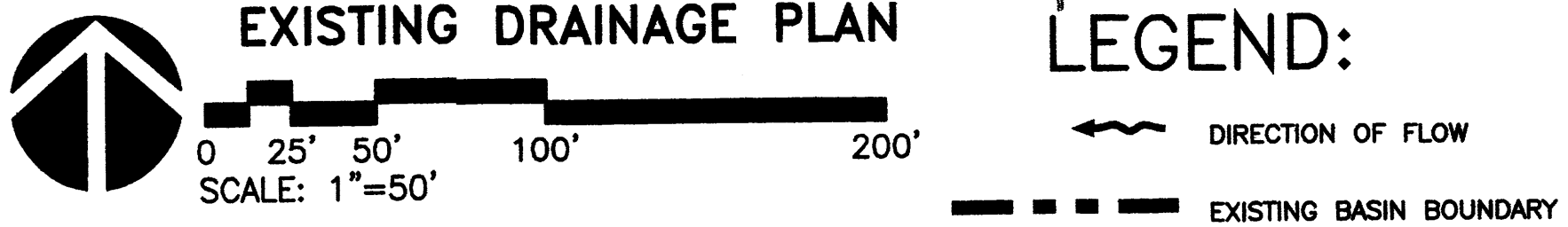
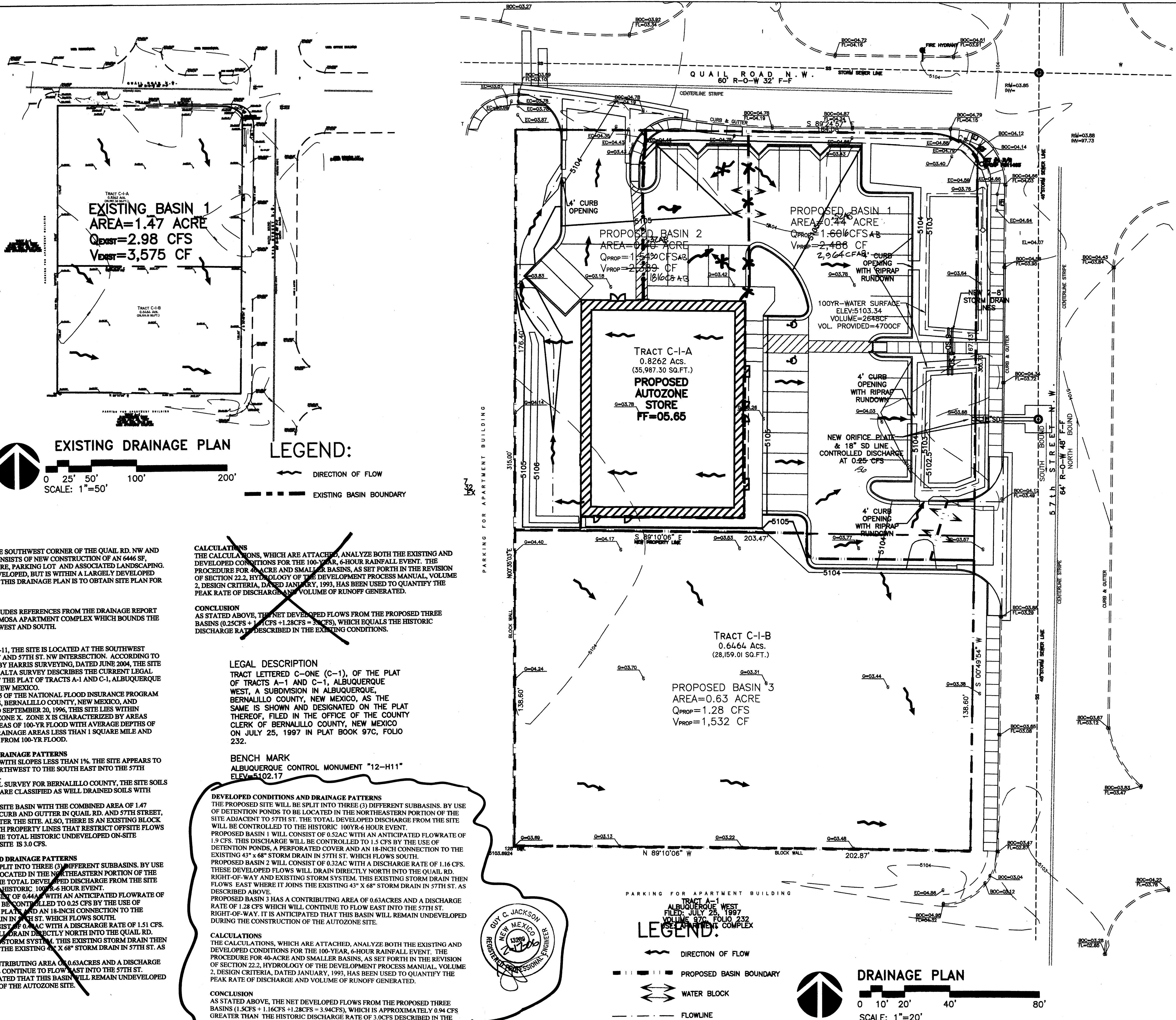
RFB# A04029 DATE 2-05

GRADING PLAN

DRAWING NO.

**C2.0**





**DRAINAGE PLAN**

**EXECUTIVE SUMMARY**  
THIS PROJECT, LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION, CONSISTS OF NEW CONSTRUCTION OF AN 6446 SF, SINGLE STORY -AUTOZONE STORE, PARKING LOT AND ASSOCIATED LANDSCAPING. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN SITE PLAN FOR BUILDING PERMIT APPROVAL.

**REFERENCES**  
THE DRAINAGE ANALYSIS INCLUDES REFERENCES FROM THE DRAINAGE REPORT PREPARED FOR THE VILLA HERMOSA APARTMENT COMPLEX WHICH BOUNDS THE AUTOZONE PROPERTY TO THE WEST AND SOUTH.

**PROJECT DESCRIPTION**  
AS SHOWN ON VICINITY MAP H-11, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION. ACCORDING TO THE ALTA SURVEY PREPARED BY HARRIS SURVEYING, DATED JUNE 2004, THE SITE IS CURRENTLY ZONED C-1. THE ALTA SURVEY DESCRIBES THE CURRENT LEGAL DESCRIPTION AS: TRACT C-1 OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, BERNALILLO COUNTY, NEW MEXICO. AS SHOWN BY PANEL 327 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS WITHIN THE 500-YR FLOOD, AREAS OF 100-YR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YR FLOOD.

**EXISTING CONDITIONS AND DRAINAGE PATTERNS**  
THE SITE IS RELATIVELY FLAT WITH SLOPES LESS THAN 1%. THE SITE APPEARS TO MOSTLY DRAIN FROM THE NORTHWEST TO THE SOUTH EAST INTO THE 57TH STREET STORM DRAIN SYSTEM. ACCORDING TO THE USCS SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE MVA (MADUREZ) WHICH ARE CLASSIFIED AS WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP 'B'. THE SITE CONSISTS OF ONE ONSITE BASIN WITH THE COMBINED AREA OF 1.47 ACRES. DUE TO THE EXISTING CURB AND GUTTER IN QUAIL RD. AND 57TH STREET, NO OFFSITE STREET FLOWS ENTER THE SITE. ALSO, THERE IS AN EXISTING BLOCK WALL ON THE WEST AND SOUTH PROPERTY LINES THAT RESTRICT OFFSITE FLOWS FROM ENTERING THE SITE. THE TOTAL HISTORIC UNDEVELOPED ON-SITE 100YR-6HR RUNOFF FROM THE SITE IS 3.0 CFS.

**DEVELOPED CONDITIONS AND DRAINAGE PATTERNS**  
THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) DIFFERENT SUBBASINS. BY USE OF DETENTION PONDS TO BE LOCATED IN THE NORTHEASTERN PORTION OF THE SITE ADJACENT TO 57TH ST. THE TOTAL DEVELOPED DISCHARGE FROM THE SITE WILL BE CONTROLLED TO THE HISTORIC 100YR-6 HOUR EVENT. PROPOSED BASIN 1 WILL CONSIST OF 0.44 AC WITH AN ANTICIPATED FLOWRATE OF 1.9 CFS. THIS DISCHARGE WILL BE CONTROLLED TO 0.25 CFS BY THE USE OF DETENTION PONDS, A ORIFICE PLATE AND AN 18-INCH CONNECTION TO THE EXISTING 43" X 68" STORM DRAIN IN 57TH ST. WHICH FLOWS SOUTH. PROPOSED BASIN 2 WILL CONSIST OF 0.63 AC WITH A DISCHARGE RATE OF 1.51 CFS. THESE DEVELOPED FLOWS WILL DRAIN DIRECTLY NORTH INTO THE QUAIL RD. RIGHT-OF-WAY AND EXISTING STORM SYSTEM. THIS EXISTING STORM DRAIN THEN FLOWS EAST WHERE IT JOINS THE EXISTING 43" X 68" STORM DRAIN IN 57TH ST. AS DESCRIBED ABOVE. PROPOSED BASIN 3 HAS A CONTRIBUTING AREA OF 0.63 ACRES AND A DISCHARGE RATE OF 1.28 CFS WHICH WILL CONTINUE TO FLOW EAST INTO THE 57TH ST. RIGHT-OF-WAY. IT IS ANTICIPATED THAT THIS BASIN WILL REMAIN UNDEVELOPED DURING THE CONSTRUCTION OF THE AUTOZONE SITE.

**CALCULATIONS**  
THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

**CONCLUSION**  
AS STATED ABOVE, THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS (0.25CFS + 1.16CFS + 1.28CFS = 2.69CFS), WHICH EQUALS THE HISTORIC DISCHARGE RATE DESCRIBED IN THE EXISTING CONDITIONS.

**LEGAL DESCRIPTION**

TRACT LETTERED C-ONE (C-1), OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1997 IN PLAT BOOK 97C, FOLIO 232.

**BENCH MARK**  
ALBUQUERQUE CONTROL MONUMENT "12-H11"  
ELEV=5102.17

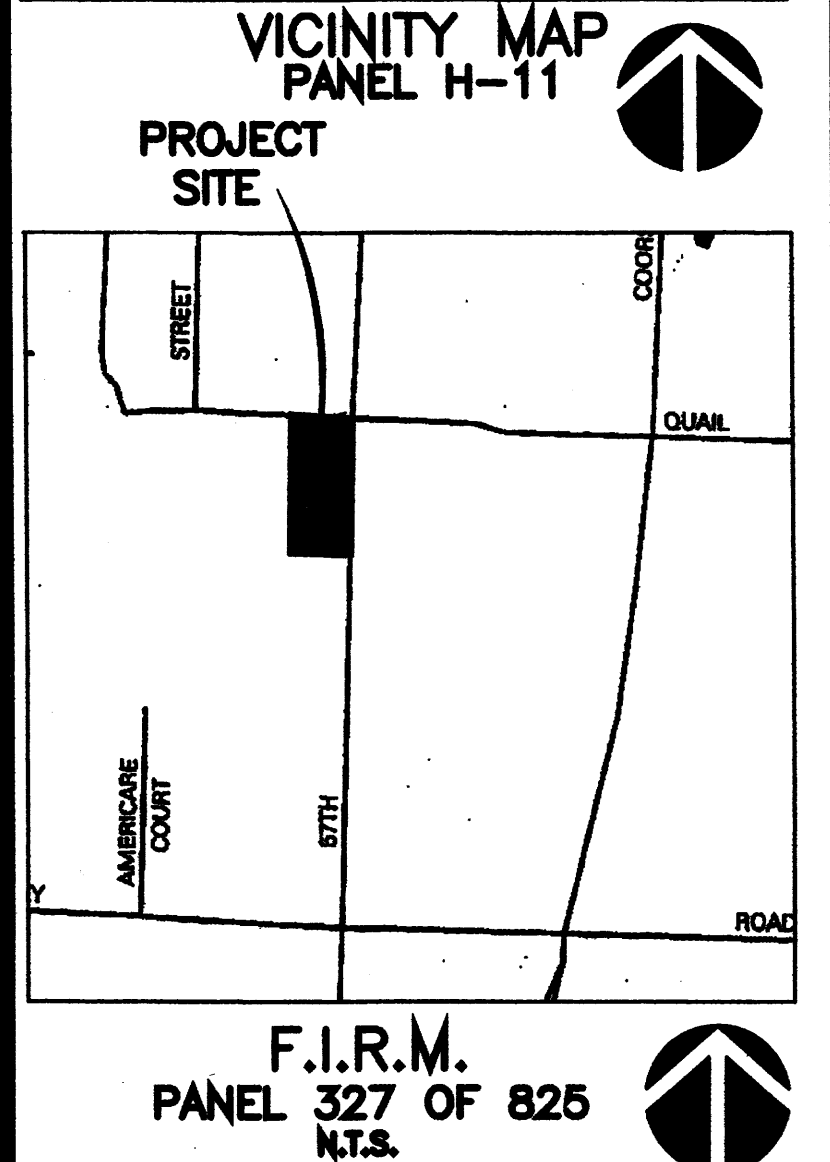
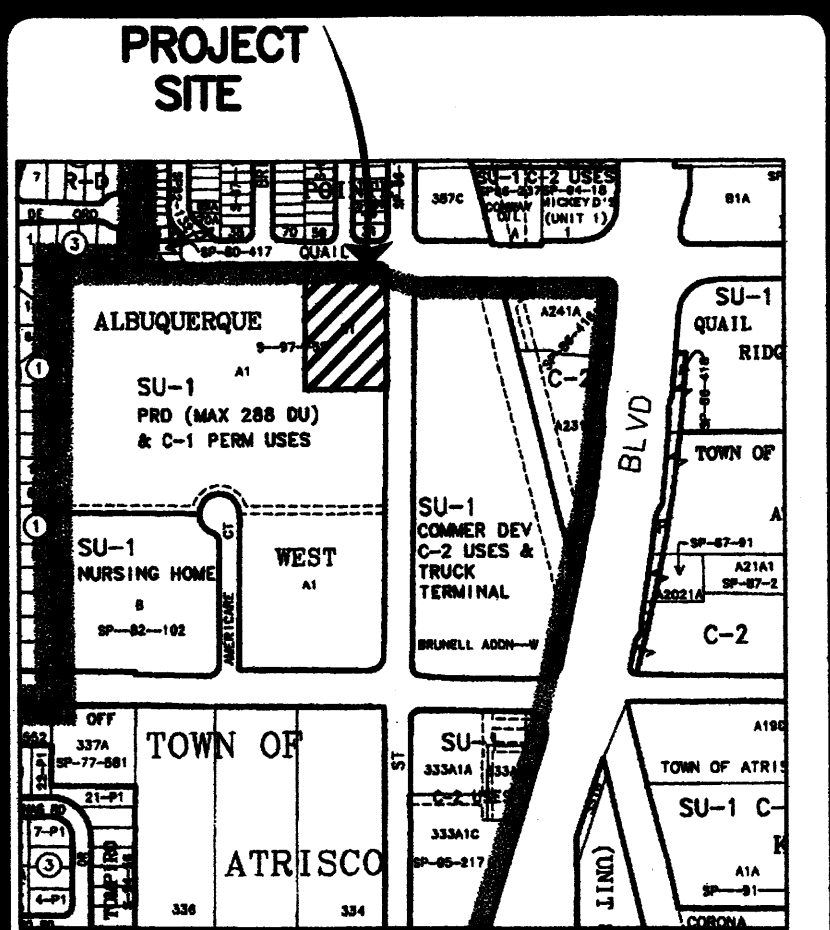
**DEVELOPED CONDITIONS AND DRAINAGE PATTERNS**  
THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) DIFFERENT SUBBASINS. BY USE OF DETENTION PONDS TO BE LOCATED IN THE NORTHEASTERN PORTION OF THE SITE ADJACENT TO 57TH ST. THE TOTAL DEVELOPED DISCHARGE FROM THE SITE WILL BE CONTROLLED TO THE HISTORIC 100YR-6 HOUR EVENT. PROPOSED BASIN 1 WILL CONSIST OF 0.52 AC WITH AN ANTICIPATED FLOWRATE OF 1.9 CFS. THIS DISCHARGE WILL BE CONTROLLED TO 1.5 CFS BY THE USE OF DETENTION PONDS, A PERFORATED COVER AND AN 18-INCH CONNECTION TO THE EXISTING 43" X 68" STORM DRAIN IN 57TH ST. WHICH FLOWS SOUTH. PROPOSED BASIN 2 WILL CONSIST OF 0.32 AC WITH A DISCHARGE RATE OF 1.16 CFS. THESE DEVELOPED FLOWS WILL DRAIN DIRECTLY NORTH INTO THE QUAIL RD. RIGHT-OF-WAY AND EXISTING STORM SYSTEM. THIS EXISTING STORM DRAIN THEN FLOWS EAST WHERE IT JOINS THE EXISTING 43" X 68" STORM DRAIN IN 57TH ST. AS DESCRIBED ABOVE. PROPOSED BASIN 3 HAS A CONTRIBUTING AREA OF 0.63 ACRES AND A DISCHARGE RATE OF 1.28 CFS WHICH WILL CONTINUE TO FLOW EAST INTO THE 57TH ST. RIGHT-OF-WAY. IT IS ANTICIPATED THAT THIS BASIN WILL REMAIN UNDEVELOPED DURING THE CONSTRUCTION OF THE AUTOZONE SITE.

**CALCULATIONS**  
THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

**CONCLUSION**  
AS STATED ABOVE, THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS (1.5CFS + 1.16CFS + 1.28CFS = 3.94CFS), WHICH IS APPROXIMATELY 0.94 CFS GREATER THAN THE HISTORIC DISCHARGE RATE OF 3.0CFS DESCRIBED IN THE EXISTING CONDITIONS.

**BPLW**  
Architects & Engineers, Inc.  
6200 Uptown Blvd. NE  
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Albuquerque, New Mexico 87110  
(505) 881-2759  
48 West First Street  
Suite 100  
Albuquerque, New Mexico 85201  
(602) 827-2759

*Designing to Shape the Future*



REV.	DESCRIPTION	DATE
1	Revised/As-built	2-17-05

ENGINEER	ARCHITECT
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**AUTOZONE**  
**57TH & QUAIL**

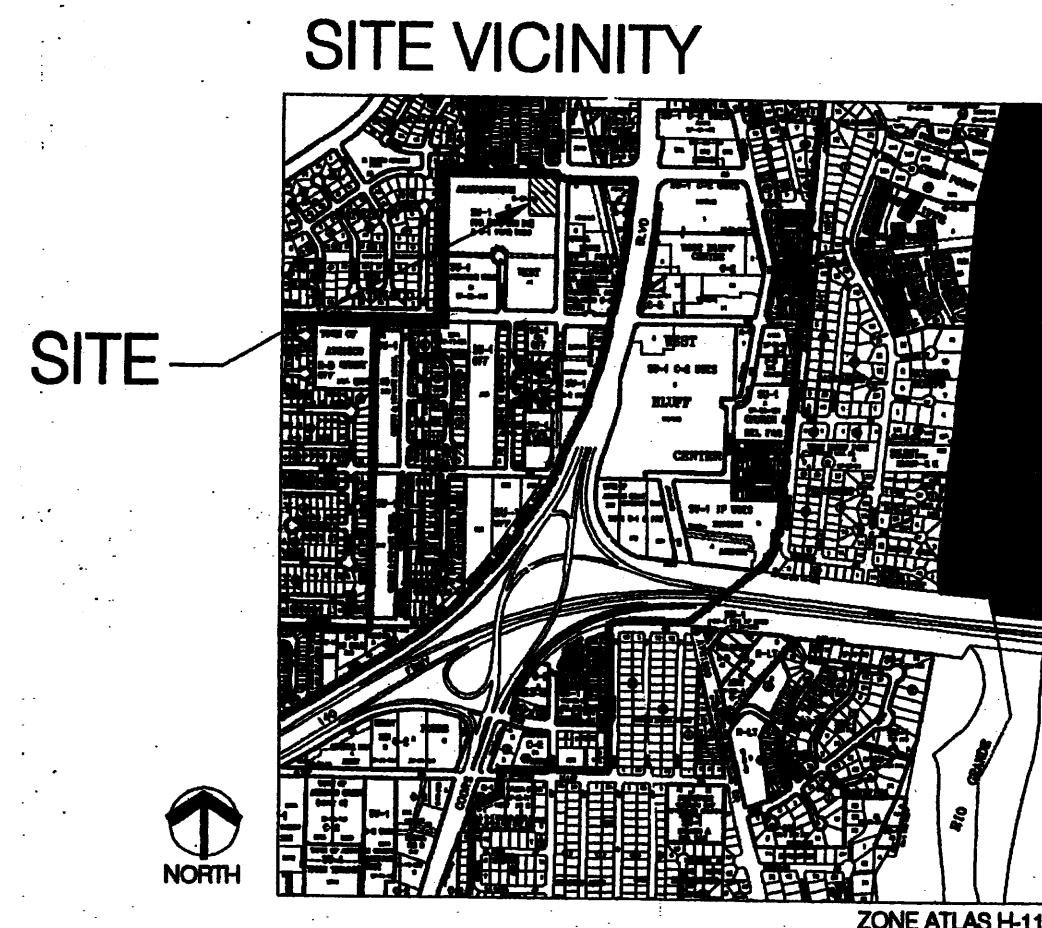
RFB#	DATE
A04029	2-05

**DRAINAGE PLAN**

DRAWING NO.

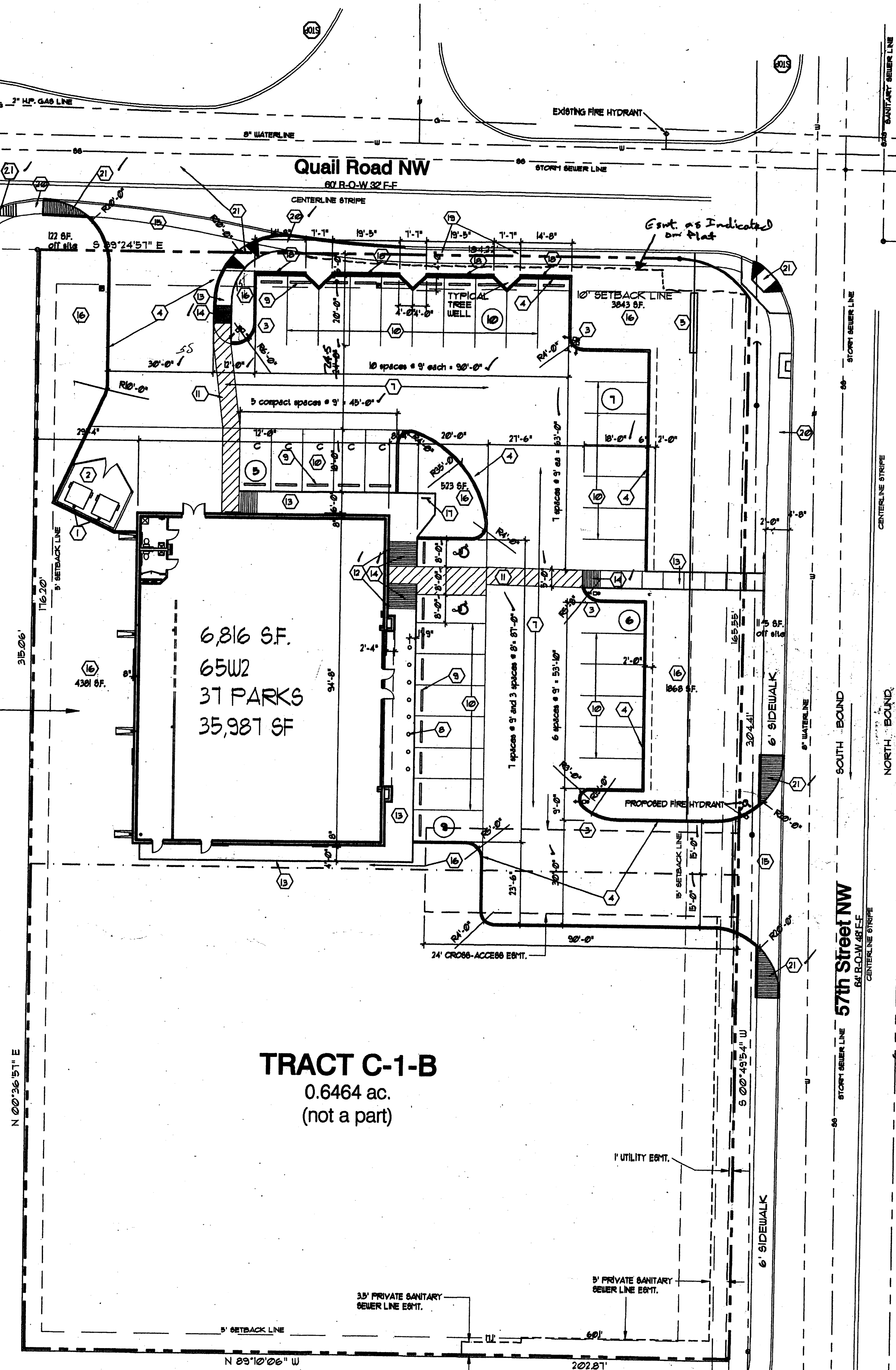
**C2.1**





TRACT C-1-A

SU-1 PRD (max. 288 du) AND C-1 PERMISSIVE USES



TRACT C-1-B  
0.6464 ac.  
(not a part)

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED SITE PLAN.

IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED FOR TRAFFIC CIRCULATION. COLLECTION OF THE AS-BUILT INFORMATION WAS PERFORMED BY JOAQUIN AROVELLES JR. NMPS 7472 (10-21-05). THIS INFORMATION IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT.

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GUY O JACKSON, NMPE 13289 DATE 11-3-05  
GUY O JACKSON, NMPE 13289  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
13289

LEGAL DESCRIPTION  
TRACT LETTERED C-ONE (C-1) OF THE PLAT OF TRACTS A-I AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1991 IN PLAT BOOK 51C/FOLIO 232.

SCALE: 1" = 20'

CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) S.S.

### KEYNOTES

- BUILDING & PAVING**
- 1 Pipe guard - see details 5 & 7/ CIA
  - 2 Dumpster layout - see details 12/3, 4 & 14/ CIA
  - 3 Concrete light pole base - see detail 10/ CIA
  - 4 Air light fixture in direction as indicated. Maximum height of 11' 6" unless otherwise noted.
  - 5 Concrete curb & gutter - see detail 1/ CIA
  - 6 Free standing sign - 'x' x 'y' hgt. - see det. 15/ CIA
  - 7 Slope end of curb 4:1
  - 8 Concrete paving - see det. 2/ CIA. Expansion and Control Joints - see detail 3 & 4/ CIA and refer to soils report for maximum or minimum spacings.
  - 9 Concrete bollard - see details 8 & 11/ CIA
  - 10 6'-0" long concrete wheel stop pinned to pavement (typical). Locate 2'-0" from face of curb or sidewalk.
  - 11 4" wide parking stripe painted orange (typ.)
  - 12 4" wide diagonal stripes painted orange at 2 ft. O.C.
  - 13 Handicap parking sign - see detail 6/ CIA
  - 14 Concrete sidewalk - see detail 9/ CIA for sidewalks around building
  - 15 Concrete handicap ramp - MAXIMUM SLOPE 1:12 (8.33%)
  - 16 New curb cut and approach
  - 17 New landscape area - Provide 3" topsoil. See sheet L10 for additional information
  - 18 Bicycle Rack see detail sheet CIA
  - 19 3' High masonry screen wall per detail CIA
  - 20 Existing city sidewalk to remain
  - 21 New city sidewalk
  - 22 New accessible ramps per city standard

### GENERAL NOTES

1. Proof roll building and all parking areas. Notify the Architect of any unacceptable areas.
2. Edge of new pavement to be flush with existing pavement.
3. All sidewalk curb and gutter street paving, curb cuts, driveway approaches, handicap ramp, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or state specifications and requirements.
4. For areas outside the property lines, repair and/or replace all damage done to existing elements (sidewalks, paving, landscaping, etc.) as required by owner and/or governing authority.
5. For proposed utility locations, see the utility plan.

### PARKING CALCULATIONS

BUILDING 6816 SF  
6816 / 200 = 35 SPACES Required Parking  
STANDARD SPACES = 30  
COMPACT SPACES = 05 (= 13.5%)  
ACCESSIBLE SPACES 02  
TOTAL PARKING PROVIDED = 37 SPACES

### BICYCLE PARKING

REQUIRED = 1 SPACE / 20 AUTO PARKING  
= 2 SPACES  
PROVIDED = 2 SPACES

PROJECT NUMBER: 1001783  
Application Number: 04EPC-01717 / ASDRB-00063

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Dec. 13, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Engineering, Transportation Division 1-26-05  
Date  
Utilities Department 1-26-05  
Date  
Parks and Recreation Department 1/26/05  
Date  
City Engineer 5/6/05  
Date  
Solid Waste Management 1-25-05  
Date  
DRB Chairperson, Planning Department 1/25/05  
Date

ARCHITECT: AUTOZONE  
123 SOUTH FRONT STREET, HYDROLOGY SECTION  
MEMPHIS, TENNESSEE 38103

AutoZone STORE DEVELOPMENT  
Store No. 3406  
51TH & QUAIL  
ALBUQUERQUE, NM 87120

SITE PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"

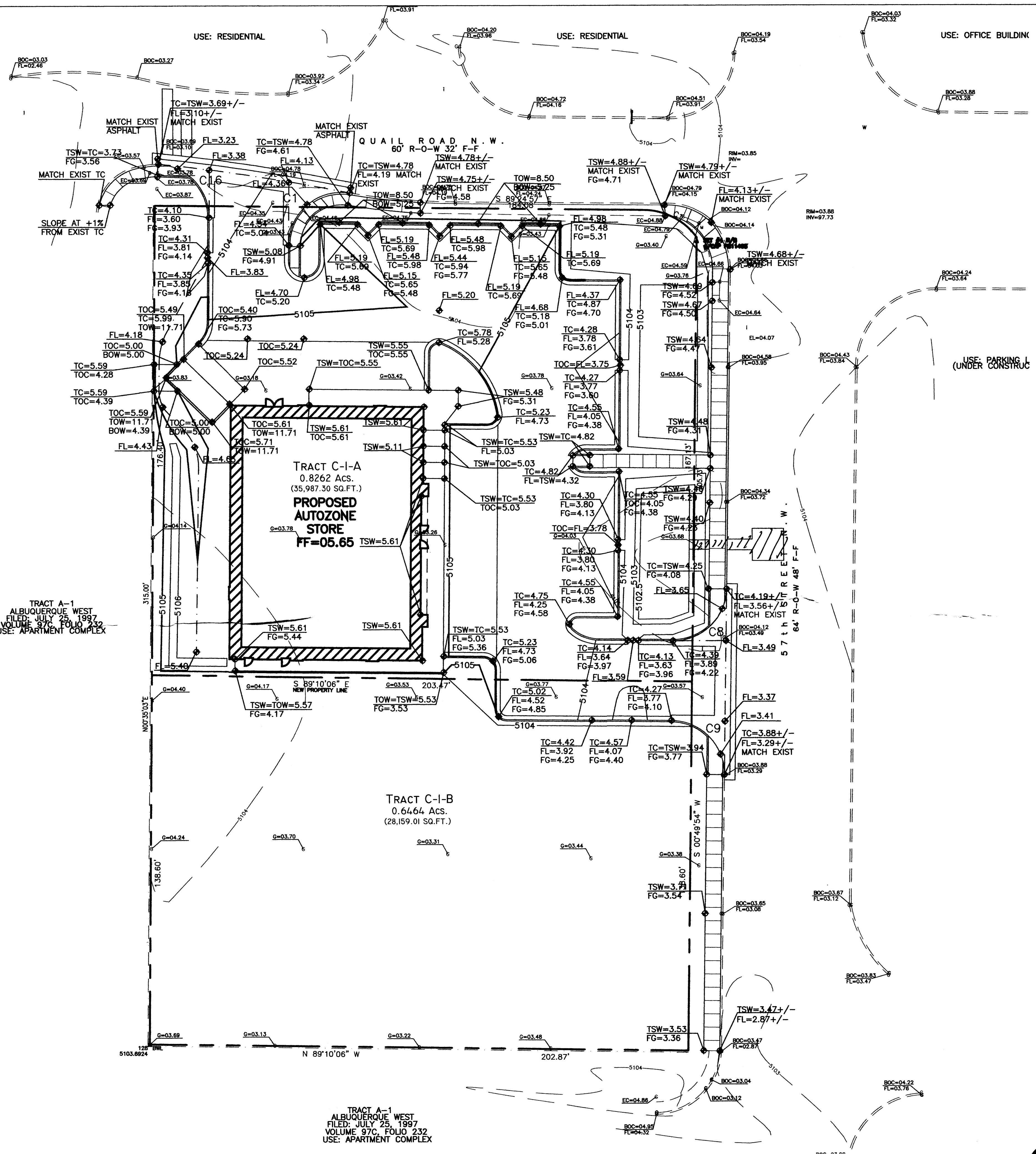
REVISIONS

NO.	DATE	DESCRIPTION
1	10-21-04	CI
2	01-03-04	JL
3	01-21-05	LF
4		
5		
6		
7		

ARCHITECT: AN  
DRAFTSMAN:  
CHECKED BY:  
PERMIT DATE: 01-11-05  
PROTOTYPE SIZE: 65W2

C1.0





- GENERAL NOTES:**
- A. See sheet CG.0 for complete list of general notes and symbol/linetype legend that apply to all sheets.
  - B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
  - C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.
  - D. Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.

C1			C8		
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C16			C9		
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3	3.98	3.48	3	3.41	3.41

REFER TO SHEET C2.2 FOR CURVE & LINE TABLES

APPROVALS	NAME	DATE
INSPECTOR		

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET CLASSIFICATION USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**BPLW**  
Architects & Engineers, Inc.

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Suite 400  
Albuquerque, New Mexico 87110  
(505) 881-2759

48 West First Street  
Suite 100  
Mesa, Arizona 85201  
(602) 827-2759

*Designing to Shape the Future*

**PROJECT SITE**

**VICINITY MAP**  
PANEL H-11

**LEGAL DESCRIPTION**  
TRACT LETTERED C-ONE (C-1), OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1997 IN PLAT BOOK 97C, FOLIO 232.

**BENCH MARK**  
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ELEV=5102.17

REV.	DESCRIPTION	DATE

GUY C. JACKSON  
REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
13293

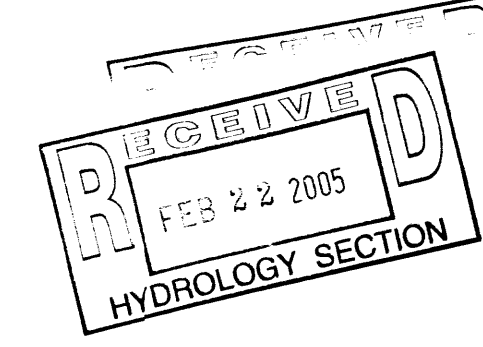
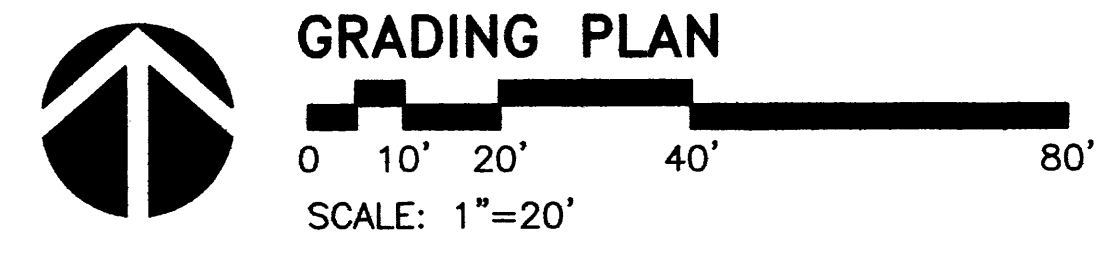
ARCHITECT

**AUTOZONE**  
57TH & QUAIL

RFB# **A04029** DATE **2-05**

**GRADING PLAN**

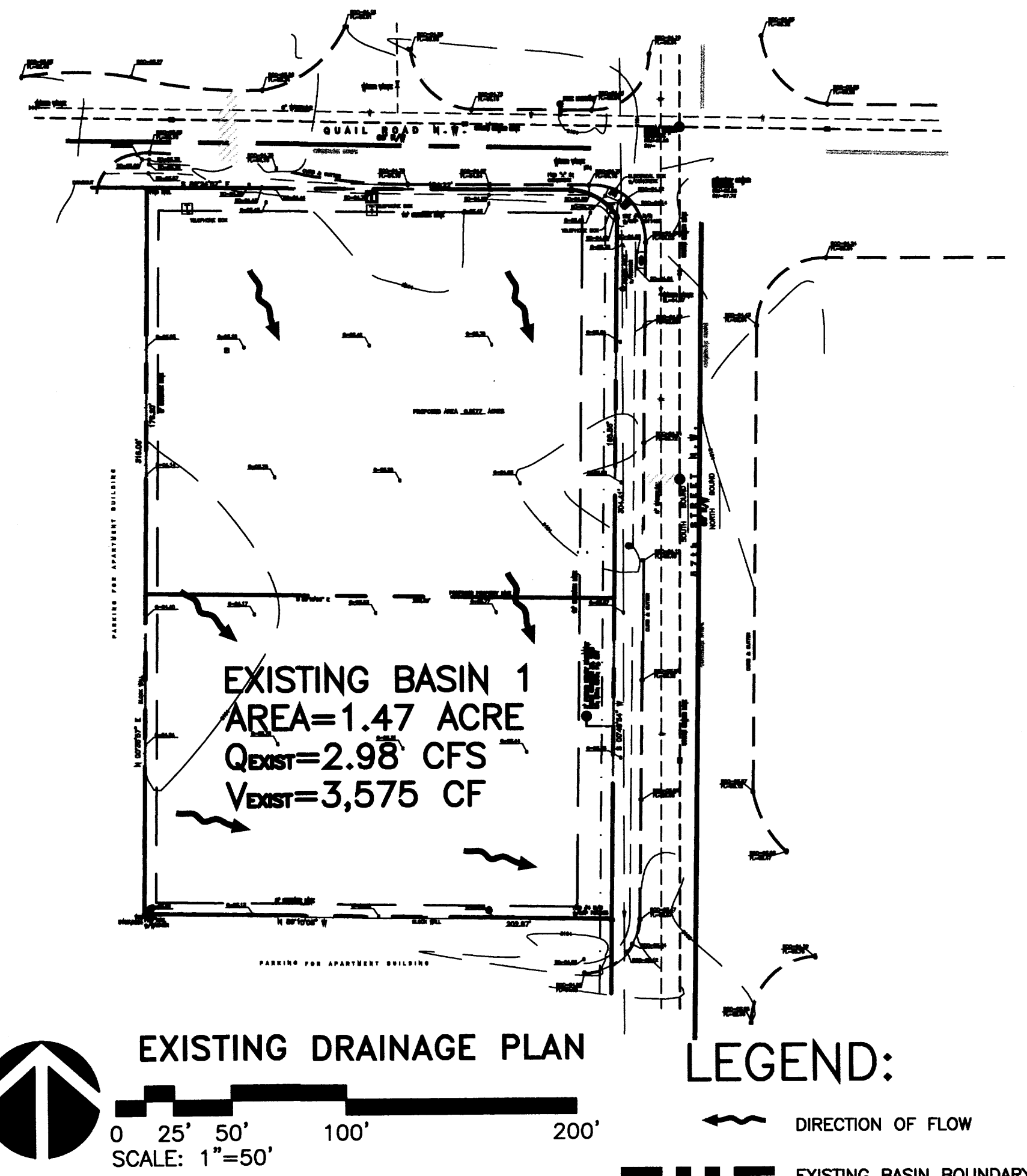
DRAWING NO.  
**C2.0**











#### DRAINAGE PLAN

##### EXECUTIVE SUMMARY

THIS PROJECT, LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION, CONSISTS OF NEW CONSTRUCTION OF AN 6446 SF, SINGLE STORY -AUTOZONE STORE, PARKING LOT AND ASSOCIATED LANDSCAPING. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN SITE PLAN FOR BUILDING PERMIT APPROVAL.

##### REFERENCES

THE DRAINAGE ANALYSIS INCLUDES REFERENCES FROM THE DRAINAGE REPORT PREPARED FOR THE VILLA HERMOSA APARTMENT COMPLEX WHICH BOUNDS THE AUTOZONE PROPERTY TO THE WEST AND SOUTH.

##### PROJECT DESCRIPTION

AS SHOWN ON VICINITY MAP H-11, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION. ACCORDING TO THE ALTA SURVEY PREPARED BY HARRIS SURVEYING, DATED JUNE 2004, THE SITE IS CURRENTLY ZONED C-1. THE ALTA SURVEY DESCRIBES THE CURRENT LEGAL DESCRIPTION AS: TRACT C-1 OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, BERNALILLO COUNTY, NEW MEXICO. AS SHOWN BY PANEL 327 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS WITHIN THE 500-YR FLOOD, AREAS OF 100-YR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YR FLOOD.

##### EXISTING CONDITIONS AND DRAINAGE PATTERNS

THE SITE IS RELATIVELY FLAT WITH SLOPES LESS THAN 1%. THE SITE APPEARS TO MOSTLY DRAIN FROM THE NORTHWEST TO THE SOUTH EAST INTO THE 57TH STREET STORM DRAIN SYSTEM. ACCORDING TO THE USCS -SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE MWA (MADUREZ) WHICH ARE CLASSIFIED AS WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP 'B'. THE SITE CONSISTS OF ONE ONSITE BASIN WITH THE COMBINED AREA OF 1.47 ACRES. DUE TO THE EXISTING CURB AND GUTTER IN QUAIL RD. AND 57TH STREET, NO OFFSITE STREET FLOWS ENTER THE SITE. ALSO, THERE IS AN EXISTING BLOCK WALL ON THE WEST AND SOUTH PROPERTY LINES THAT RESTRICT OFFSITE FLOWS FROM ENTERING THE SITE. THE TOTAL HISTORIC UNDEVELOPED ON-SITE 100YR-6HR RUNOFF FROM THE SITE IS 3.0 CFS.

##### DEVELOPED CONDITIONS AND DRAINAGE PATTERNS

THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) DIFFERENT SUBBASINS. BY USE OF DETENTION PONDS TO BE LOCATED IN THE NORTHEASTERN PORTION OF THE SITE ADJACENT TO 57TH ST. THE TOTAL DEVELOPED DISCHARGE FROM THE SITE WILL BE CONTROLLED TO THE HISTORIC 100YR-6 HOUR EVENT. PROPOSED BASIN 1 WILL CONSIST OF 0.44AC WITH AN ANTICIPATED FLOWRATE OF 1.6 CFS. THIS DISCHARGE WILL BE CONTROLLED TO 0.25 CFS BY THE USE OF DETENTION PONDS, A STANDPIPE AND AN 8-INCH CONNECTION TO THE EXISTING 43" x 68" STORM DRAIN IN 57TH ST. WHICH FLOWS SOUTH. PROPOSED BASIN 2 WILL CONSIST OF 0.40AC WITH A DISCHARGE RATE OF 1.51 CFS. THESE DEVELOPED FLOWS WILL DRAIN DIRECTLY NORTH INTO THE QUAIL RD. RIGHT-OF-WAY AND EXISTING STORM SYSTEM. THIS EXISTING STORM DRAIN THEN FLOWS EAST WHERE IT JOINS THE EXISTING 43" x 68" STORM DRAIN IN 57TH ST. AS DESCRIBED ABOVE. PROPOSED BASIN 3 HAS A CONTRIBUTING AREA OF 0.63ACRES AND A DISCHARGE RATE OF 1.28 CFS WHICH WILL CONTINUE TO FLOW EAST INTO THE 57TH ST. RIGHT-OF-WAY. IT IS ANTICIPATED THAT THIS BASIN WILL REMAIN UNDEVELOPED DURING THE CONSTRUCTION OF THE AUTOZONE SITE.

##### CALCULATIONS

THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

##### CONCLUSION

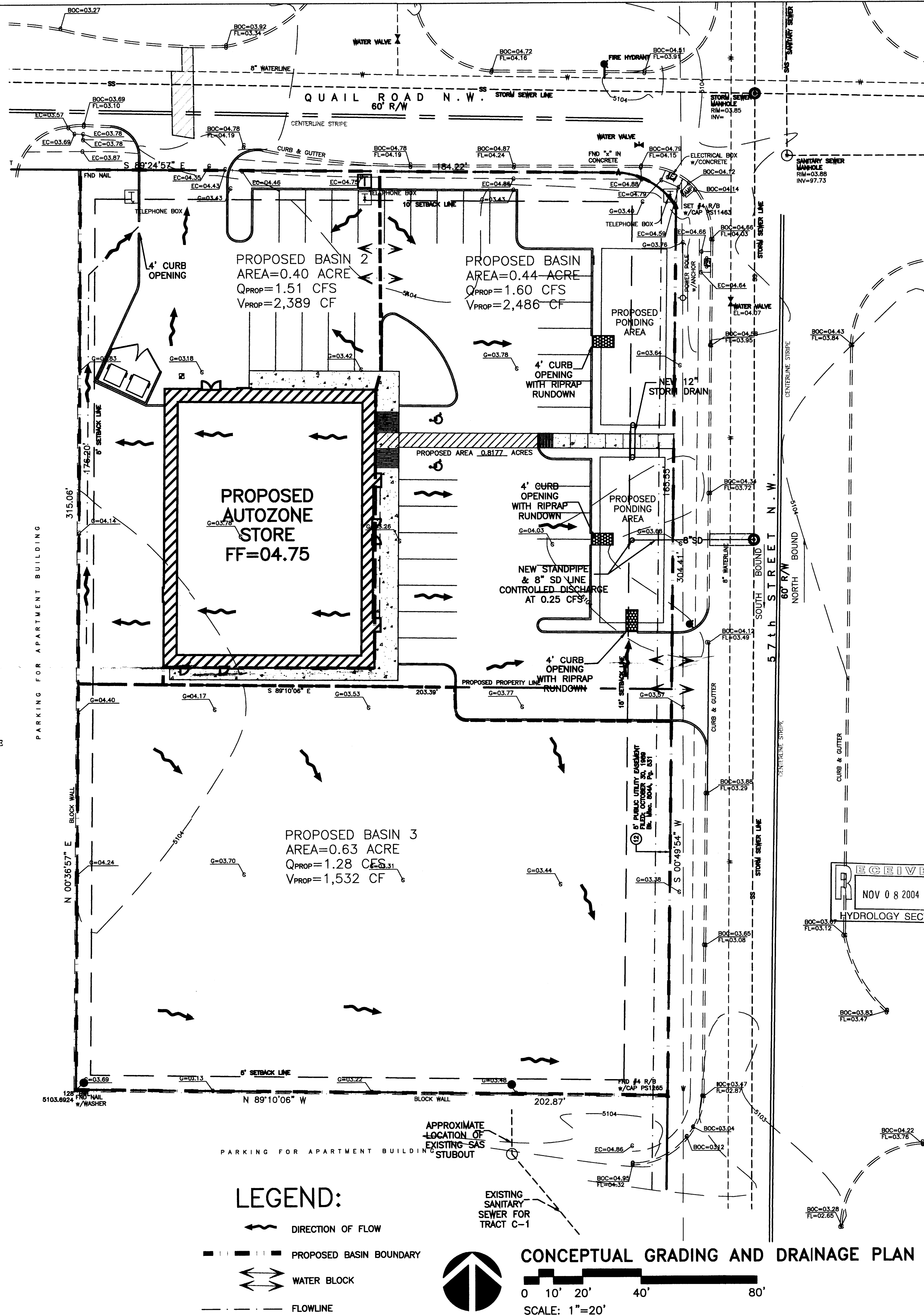
AS STATED ABOVE, THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS ( $0.25\text{CFS} + 1.51\text{CFS} + 1.28\text{CFS} = 3.0\text{CFS}$ ), WHICH EQUALS THE HISTORIC DISCHARGE RATE DESCRIBED IN THE EXISTING CONDITIONS.

##### LEGAL DESCRIPTION

TRACT LETTERED C-ONE (C-1), OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 25, 1997 IN PLAT BOOK 97C, FOLIO 232.

##### BENCH MARK

ALBUQUERQUE CONTROL MONUMENT "12-H11"  
 ELEV=5102.17



**BPLW**

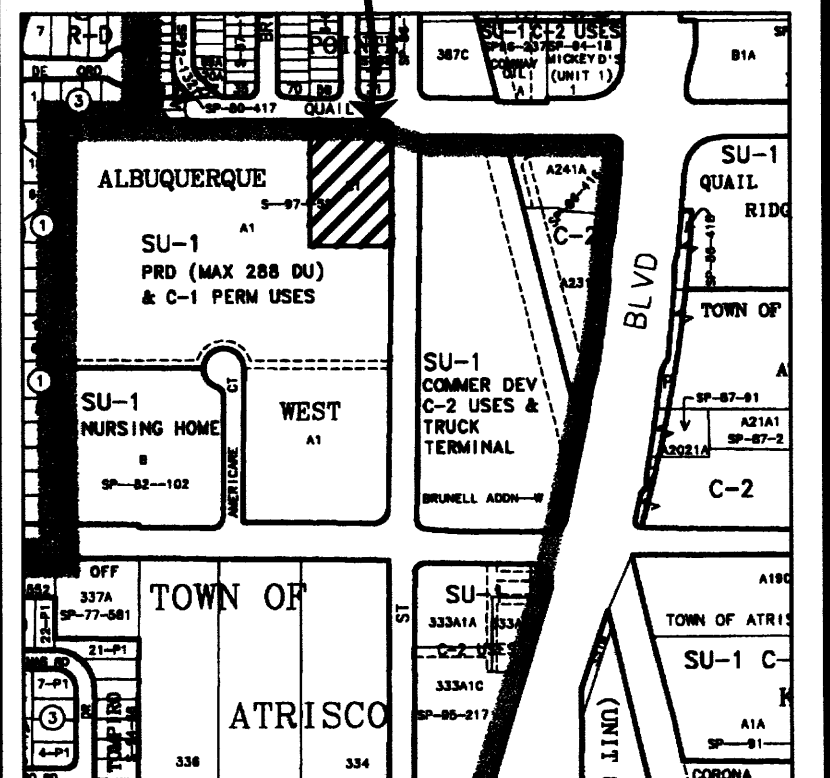
Architects & Engineers, Inc.

6200 Uptown Blvd. NE  
 Suite 400  
 Albuquerque, New Mexico 87110  
 (505) 881-2759

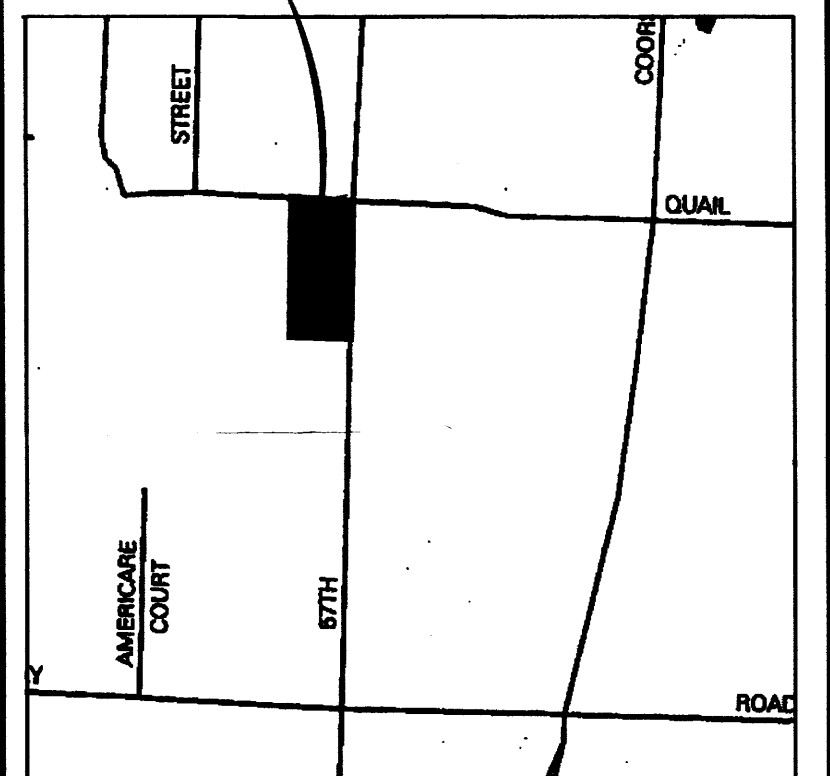
49 West First Street  
 Suite 100  
 Mesa, Arizona 85201  
 (602) 627-2759

*Designing to Shape the Future*

#### PROJECT SITE



#### PROJECT SITE



REV.	DESCRIPTION	DATE

NOV 08 2004	HYDROLOGY SECTION
ENGINEER	ARCHITECT

#### AUTOZONE 57TH & QUAIL

RFB#	DATE
A04029	11-4-04

#### CONCEPTUAL GRADING & DRAINAGE PLAN

DRAWING NO.  
**C2.0**



