

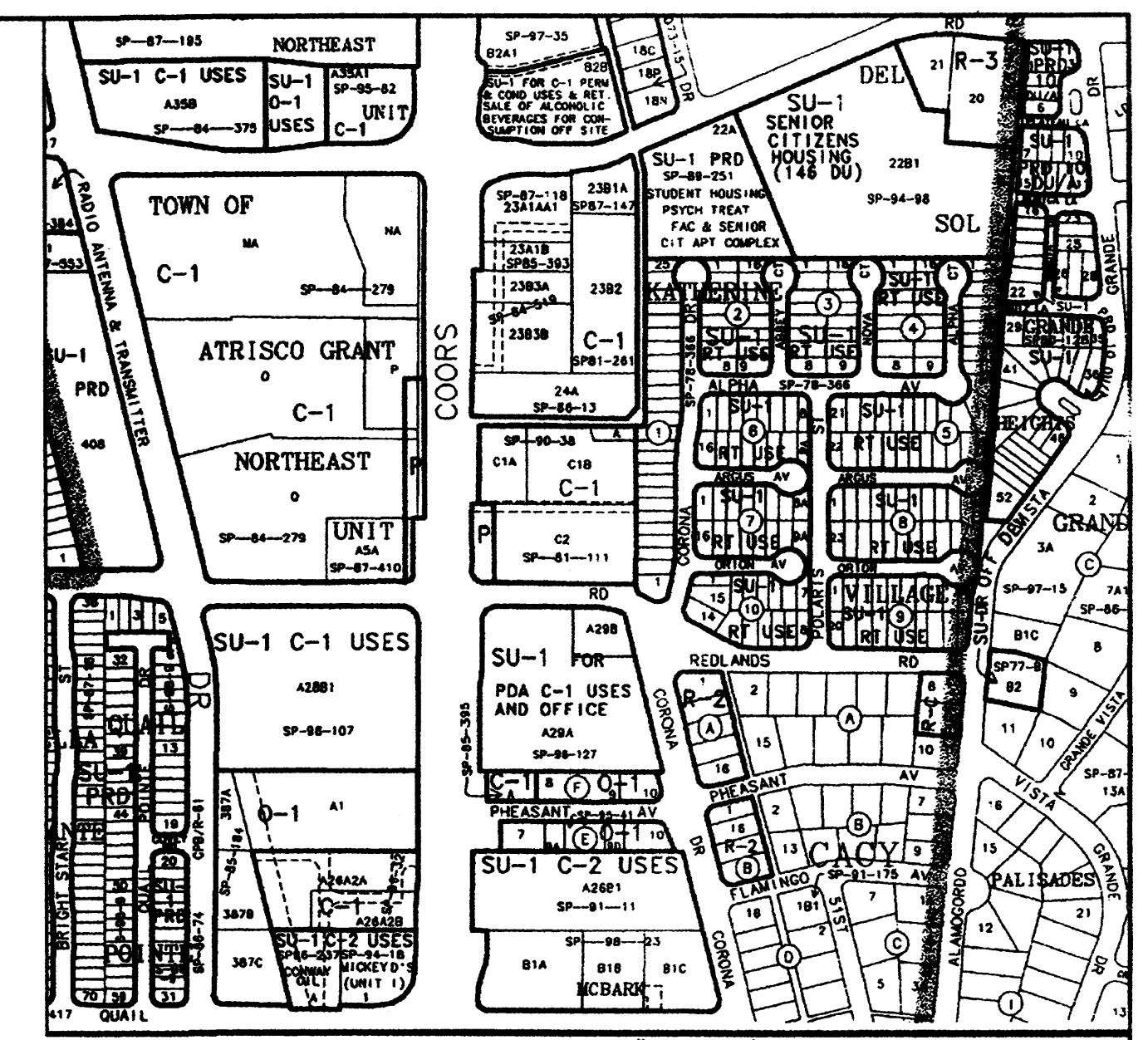
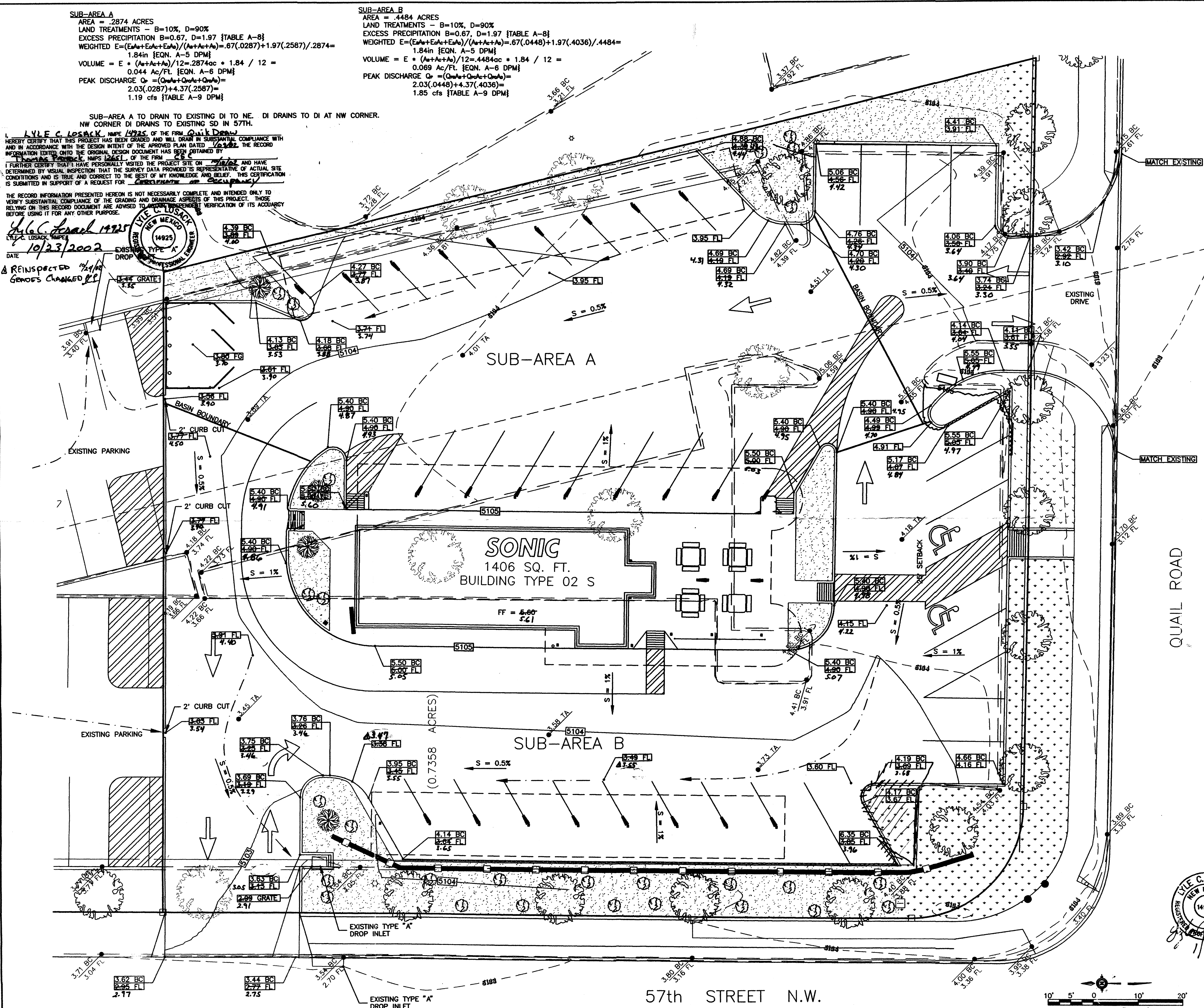
SUB-AREA A
 AREA = .2874 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION $B=0.67, D=1.97$ [TABLE A-8]
 $WEIGHTED\ E = (E_{A1} + E_{A2} + E_{A3}) / (A_{A1} + A_{A2} + A_{A3}) = .67(.0287) + 1.97(.2587) / .2874 = 1.84in$ [EQN. A-5 DPM]
 $VOLUME = E * (A_{A1} + A_{A2} + A_{A3}) / 12 = .2874ac * 1.84 / 12 = 0.044\ Ac/Ft$ [EQN. A-6 DPM]
 $PEAK\ DISCHARGE\ Q_p = (Q_{A1} + Q_{A2} + Q_{A3}) = 2.03(.0287) + 4.37(.2587) = 1.19\ cfs$ [TABLE A-9 DPM]

SUB-AREA B
 AREA = .4484 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION $B=0.67, D=1.97$ [TABLE A-8]
 $WEIGHTED\ E = (E_{B1} + E_{B2} + E_{B3}) / (A_{B1} + A_{B2} + A_{B3}) = .67(.0448) + 1.97(.4036) / .4484 = 1.84in$ [EQN. A-5 DPM]
 $VOLUME = E * (A_{B1} + A_{B2} + A_{B3}) / 12 = .4484ac * 1.84 / 12 = 0.069\ Ac/Ft$ [EQN. A-6 DPM]
 $PEAK\ DISCHARGE\ Q_p = (Q_{B1} + Q_{B2} + Q_{B3}) = 2.03(.0448) + 4.37(.4036) = 1.85\ cfs$ [TABLE A-9 DPM]

SUB-AREA A TO DRAIN TO EXISTING DI TO NE. DI DRAINS TO DI AT NW CORNER.
 NW CORNER DI DRAINS TO EXISTING SD IN 57TH.

I, **LYLE C. LOSACK**, N.M.P.E. 14925, OF THE FIRM **LOSACK ENGINEERS**,
 HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH
 AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **10/23/2002**. THE RECORD
 INFORMATION ENTERED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
LYLE C. LOSACK, N.M.P.E. 14925, OF THE FIRM **LOSACK ENGINEERS**,
 I FURTHER CERTIFY THAT I HAVE PERSONALLY NOTED THE PROJECT SITE ON **10/23/2002** AND HAVE
 DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE
 CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION
 IS SUBMITTED IN SUPPORT OF A REQUEST FOR **REINSPECTION** OF THE PROJECT.
 THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO
 VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE
 RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY
 BEFORE USING IT FOR ANY OTHER PURPOSE.

LYLE C. LOSACK
 N.M.P.E. 14925
 DATE **10/23/2002**
 REINSPECTED **10/23/2002**
 GENO'S CHANGED **10/23/2002**



LEGEND

PROPOSED	EXISTING	
---	---	PROJECT BOUNDARY
---	---	TOP OF ASPHALT ELEVATION
---	---	FLOW LINE ELEVATION
---	---	BACK OF CURB ELEVATION
---	---	CONTOUR MAJOR
---	---	CONTOUR MINOR
---	---	6" CURB AND GUTTER
---	---	FLOW ARROW
---	---	LANDSCAPING
---	---	SOUND WALL

LEGAL DESCRIPTION
 LOT 387C, TOWN OF ATRISCO GRANT. THE EXISTING SITE OF .75 ACRES IS DEVELOPED
 AS A PARKING LOT. THE PARCEL SLOPES FROM SOUTH TO NORTH AT LESS THAN 0.5%.

FLOOD HAZARD
 THE SITE IS LOCATED WITHIN ZONE "X" COMMUNITY PANEL NO. 350002 0327D, DATED
 SEPTEMBER 20, 1996, AND IS NOT WITHIN A SPECIAL FLOOD HAZARD BOUNDARY
 INDICATED BY FEMA FLOOD INSURANCE RATE MAPS (FIRM).

DESIGN CRITERIA
 THE DESIGN CRITERIA WAS BASED ON SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT
 PROCESS MANUAL VOLUME 2, JANUARY 1993.

EXISTING DRAINAGE CONDITION
 THE SITE IS LOCATED WITHIN THE PRECIPITATION ZONE 1. AT PRESENT THE RUNOFF
 FROM THE SITE IS DIRECTED TO TWO DROP INLETS LOCATED NEAR THE NORTHEAST AND
 NORTHWEST CORNERS OF THE PROPERTY. IN ADDITION, THERE ARE CROSS DRAINAGE
 EASEMENTS BETWEEN THIS PARCEL AND THE ADJOINING PARCELS TO THE NORTH.

LOT AREA = .7358 ACRES
 LAND TREATMENTS - B= 9%, C=15%, D=76%
100-YEAR
 EXCESS PRECIPITATION $B=0.67, C=0.99, D=1.97$ [TABLE A-8]
 $WEIGHTED\ E = (E_{A1} + E_{A2} + E_{A3}) / (A_{A1} + A_{A2} + A_{A3}) = .67(.0658) + .99(.1115) + 1.97(.5585) / .7358 = 1.22in$ [EQN. A-5 DPM]
 $VOLUME = E * (A_{A1} + A_{A2} + A_{A3}) / 12 = .7358ac * 1.22 / 12 = 0.075\ Ac/Ft$ [EQN. A-6 DPM]
 $PEAK\ DISCHARGE\ Q_p = (Q_{A1} + Q_{A2} + Q_{A3}) = 2.03(.0658) + 2.87(.1115) + 4.37(.5585) = 2.89\ cfs$ [TABLE A-9 DPM]

PROPOSED DRAINAGE CONDITION
 THE 100 YEAR IS DETERMINED AS

100-YEAR
 LOT AREA = .7354 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION $B=0.67, D=1.97$ [TABLE A-8]
 $WEIGHTED\ E = (E_{A1} + E_{A2} + E_{A3}) / (A_{A1} + A_{A2} + A_{A3}) = .67(.0736) + 1.97(.6622) / .7358 = 1.84in$ [EQN. A-5 DPM]
 $VOLUME = E * (A_{A1} + A_{A2} + A_{A3}) / 12 = .7354ac * 1.84 / 12 = 0.113\ Ac/Ft$ [EQN. A-6 DPM]
 $PEAK\ DISCHARGE\ Q_p = (Q_{A1} + Q_{A2} + Q_{A3}) = 2.03(.0736) + 4.37(.6622) = 3.04\ cfs$ [TABLE A-9 DPM]

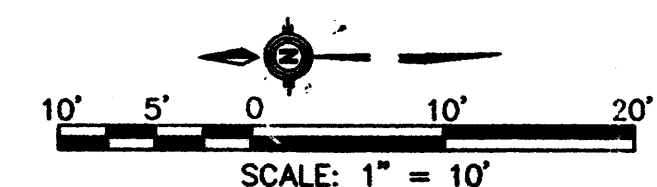
LYLE C. LOSACK
 N.M.P.E. 14925
 DATE **10/23/2002**

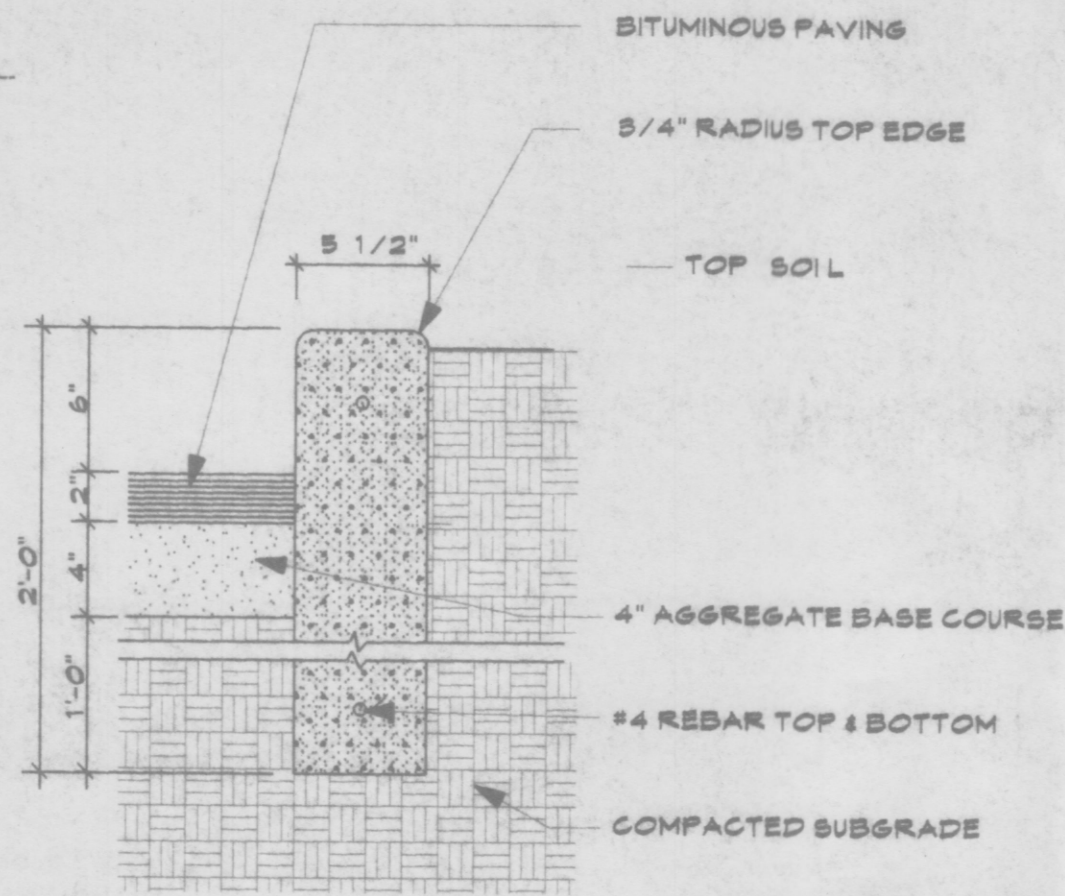
Community Sciences Corporation
 LAND PLANNING ENGINEERING SURVEYING
 P.O. Box 1328 Corrales, New Mexico 87048

SONIC DRIVE-IN
 BUILDING TYPE: 02 S
 QUAIL ROAD N.W. & 57th ST. N.W.
 ALBUQUERQUE, N. MEXICO
 EPC: DRAINAGE
 PLAN

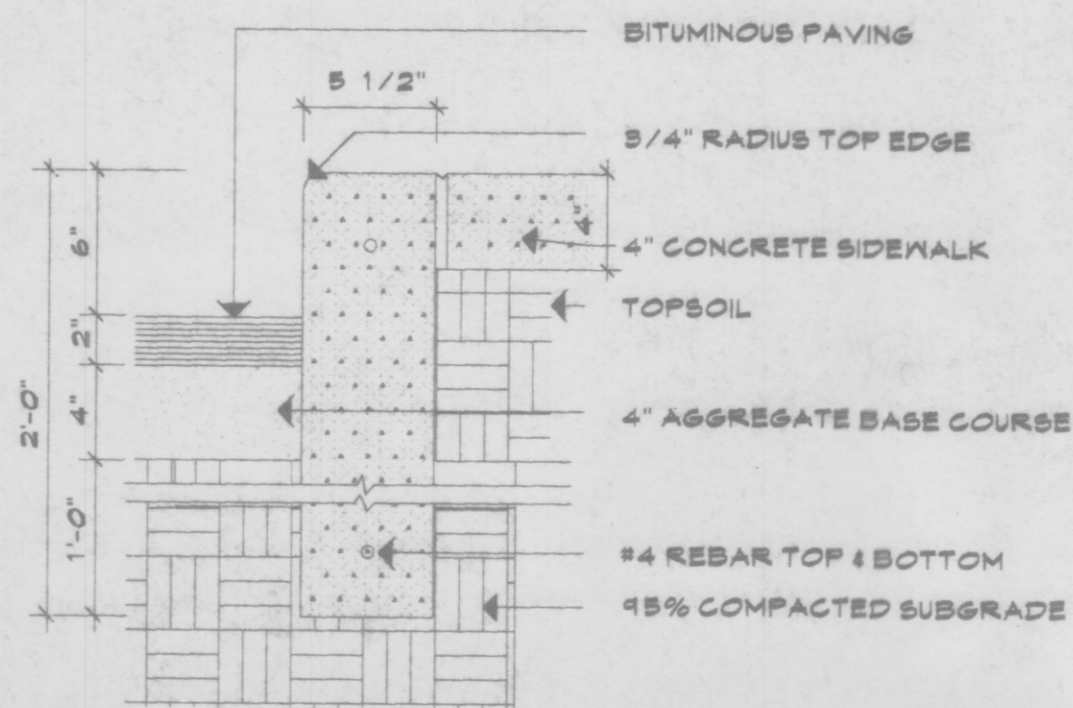
SONIC CORPORATION
 101 PARK AVENUE
 OKLAHOMA CITY, OK 73102
 OFFICES: 405-280-7654
 FAX: 405-280-7568
 COPYRIGHT 1998-2001 AMERICA'S DRIVE-IN TRUST
 THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSE
 OTHER THAN THAT FOR WHICH THEY WERE SPECIFICALLY PREPARED FOR THE PROJECT LOCATION

57th STREET N.W.

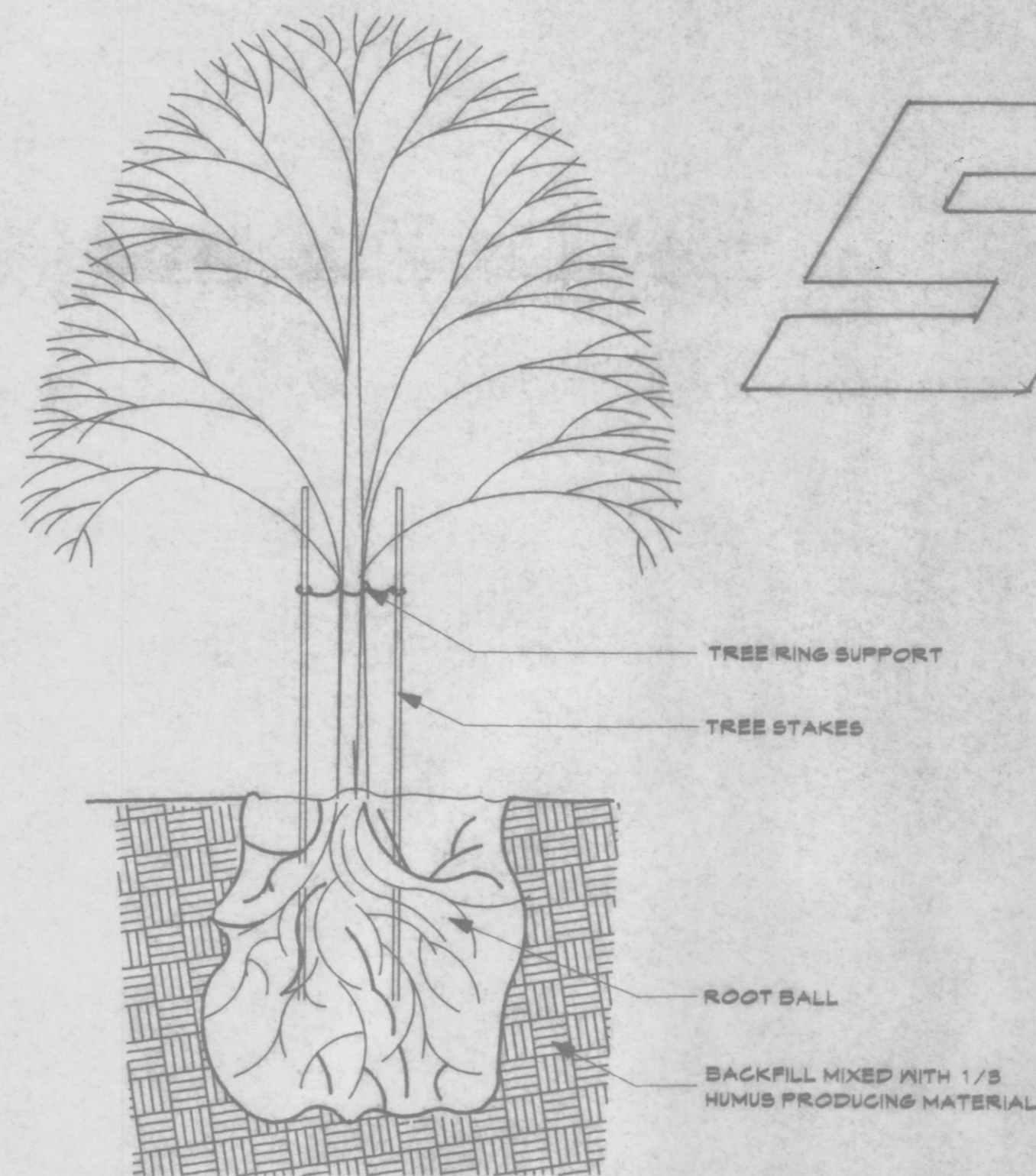




3
T
CONCRETE CURB
SCALE: 3/8\"/>



2
T
CONCRETE CURB
SCALE: 1 1/2\"/>



1
T
TREE PLANTING DETAIL
SCALE: 3/8\"/>

SONIC

SITE PLAN KEYNOTES

ITEM	NOTE
1	TRAFFIC FLOW ARROW (TYPICAL), REF: SD4.28
2	4\"/>

SIGN SCHEDULE

ITEM	QTY.	REFERENCE SIGN TYPE
A	1	SD2.11 PYLON SIGN
B	1	SD2.04 ENTER SIGN
C	1	SD2.04 EXIT SIGN
D	1	A2.01 SIGN ON BLDG.
E	2	SD2.14 HANDICAPPED PARKING SIGN

GENERAL NOTES:

- ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.
- LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6\"/>

LOCATION MAP

DESIGN DATA:

OCCUPANCY GROUP	B-2
OCCUPANT LOAD	47
CONSTRUCTION TYPE	VN
MAXIMUM HEIGHT	26'
SEISMIC ZONE	2B
ROOF LIVE LOAD	20 PSF
CONCRETE STRENGTH	
FOUNDATION	3,000 PSI
EXTERIOR FLAT WORK	2,500 PSI
SOIL BEARING	1,500 PSF
BUILDING FLOOR AREA	1,488 S.F.
CANOPY AREA	5,256 S.F.
CODE REFERENCE	97 U.B.C.

PARKING:

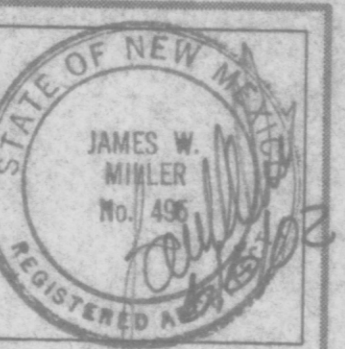
BLDG AREA = 1,488 / 200 = 8 SPACES
SPACES PROVIDED = 13 SPACES

LANDSCAPING:

- MODESTO ASH - 2\"/>

GROUND COVER - 3/4\"/>

LEGAL DESCRIPTION



JOB NO: 8871
DATE: JANUARY 1999
REVISION: MAY 22, 1999
DRAWN BY: J.H.L.
CHECKED BY: J.W.M.

SITE PLAN
AND
SITE DETAILS

SHEET TITLE

MILLER
AND
ASSOCIATES
PLANNERS
2828 RICHMOND AVE.
ALBUQUERQUE, NEW MEXICO 87110
PHONE 505-264-1235

57TH & QUAIL S.E.
ALBUQUERQUE, NEW MEXICO

JOB TITLE

T