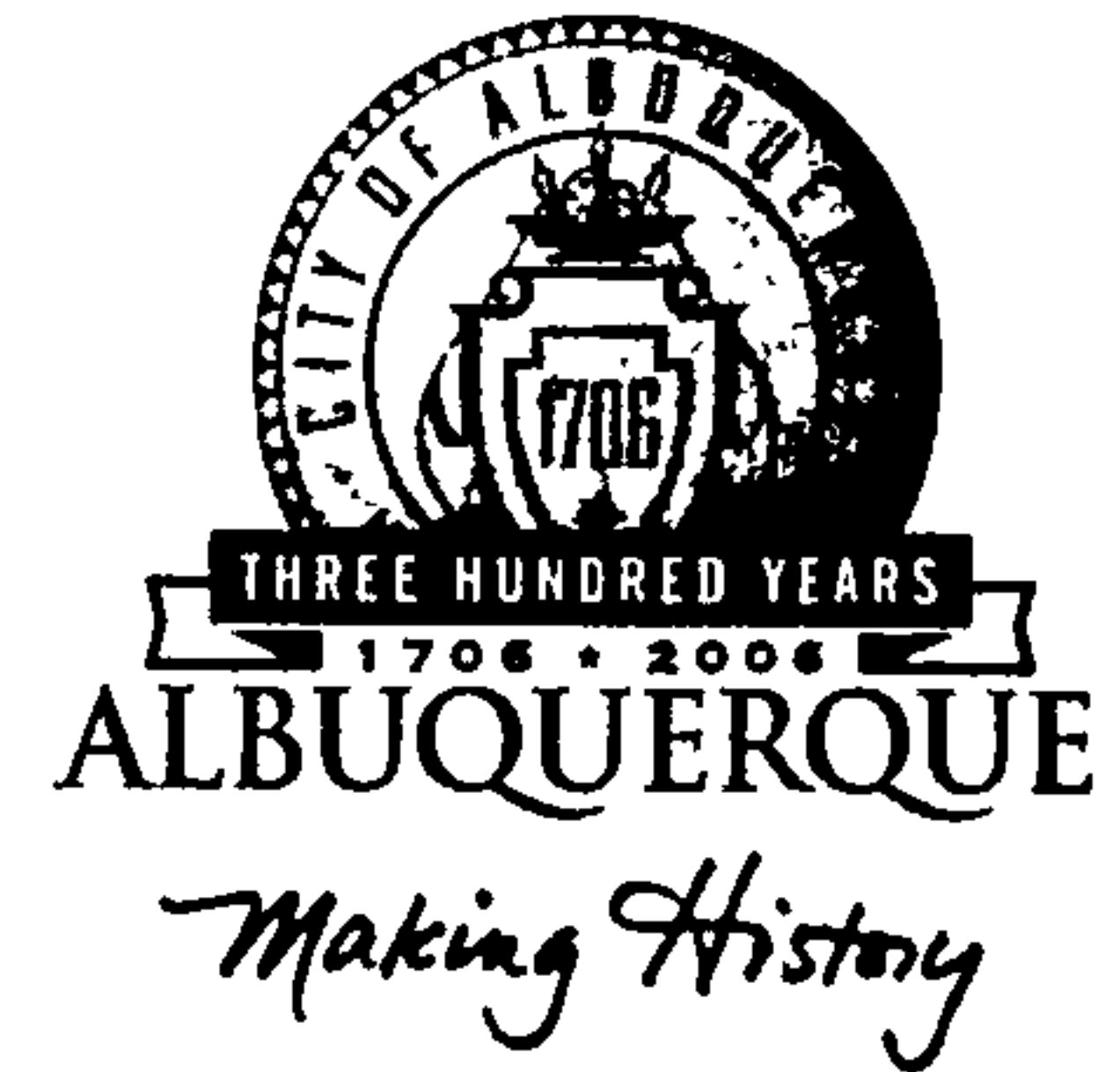


# CITY OF ALBUQUERQUE



*Planning Department  
Transportation Development Services Section*

November 2, 2004

Ronald R. Bohannon, P.E.,  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Bank of America, [H-11 / D67B]  
2601 Coors NW  
Engineer's Stamp Dated 11/02/04

Dear Mr. Bohannon:

Based on the information provided on your submittal dated November 2, 2004, the above referenced project is approved for a 30-day Temporary C.O.

P.O. Box 1293

Albuquerque

A Temporary C.O. has been issued allowing the outstanding signing and striping (per letter dated November 11, 2004) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO clerk

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Bank of America at Quail Ridge Center  
DRB 1002459 EPC #: 03EPC-00159

ZONE MAP/DRG. FILE #: H-11/D67  
WORK ORDER #:

LEGAL DESCRIPTION: TRACT 2 QUAIL RIDGE  
CITY ADDRESS: 2601 COORS BOULEVARD NW

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Quail Plaza LLC  
ADDRESS: 4408 Canyon Court NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ben Spencer  
PHONE: 889-3061  
ZIP CODE: 87120

ARCHITECT: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

SURVEYOR: Sandia Survey LLC  
ADDRESS: 6705 Giselle Drive  
CITY, STATE: Albuquerque, NM

CONTACT: Andrew Medina  
PHONE: 828-0858  
ZIP CODE: 87109

CONTRACTOR: Richardson & Richardson Inc.  
ADDRESS: 4100 Menaul Boulevard NE  
CITY, STATE: Albuquerque, NM

CONTACT: Wayne Connel  
PHONE: 881-2268  
ZIP CODE: 87110

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)



DATE SUBMITTED: 11/1/2004 BY: Brad Frosch 263-5808

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

November 2, 2004

Mr. Nilo Salgado-Fernandez, PE  
Development and Building Services  
Public Works Department  
PO Box 1293  
Albuquerque, NM 87103

**RE: Site Plan Certification for 30-Day Temporary Certificate of Occupancy  
Bank of America  
2601 Coors Boulevard NW**

Dear Nilo:

Tierra West, LLC, requests a 30-Day Temporary Certification of the Site Plan for Building Permit for the Bank of America located at 2601 Coors Boulevard NW.

Enclosed please find the information sheet, the as built Site Plan for Building Permit and the DRB approved Site Plan for Building Subdivision.

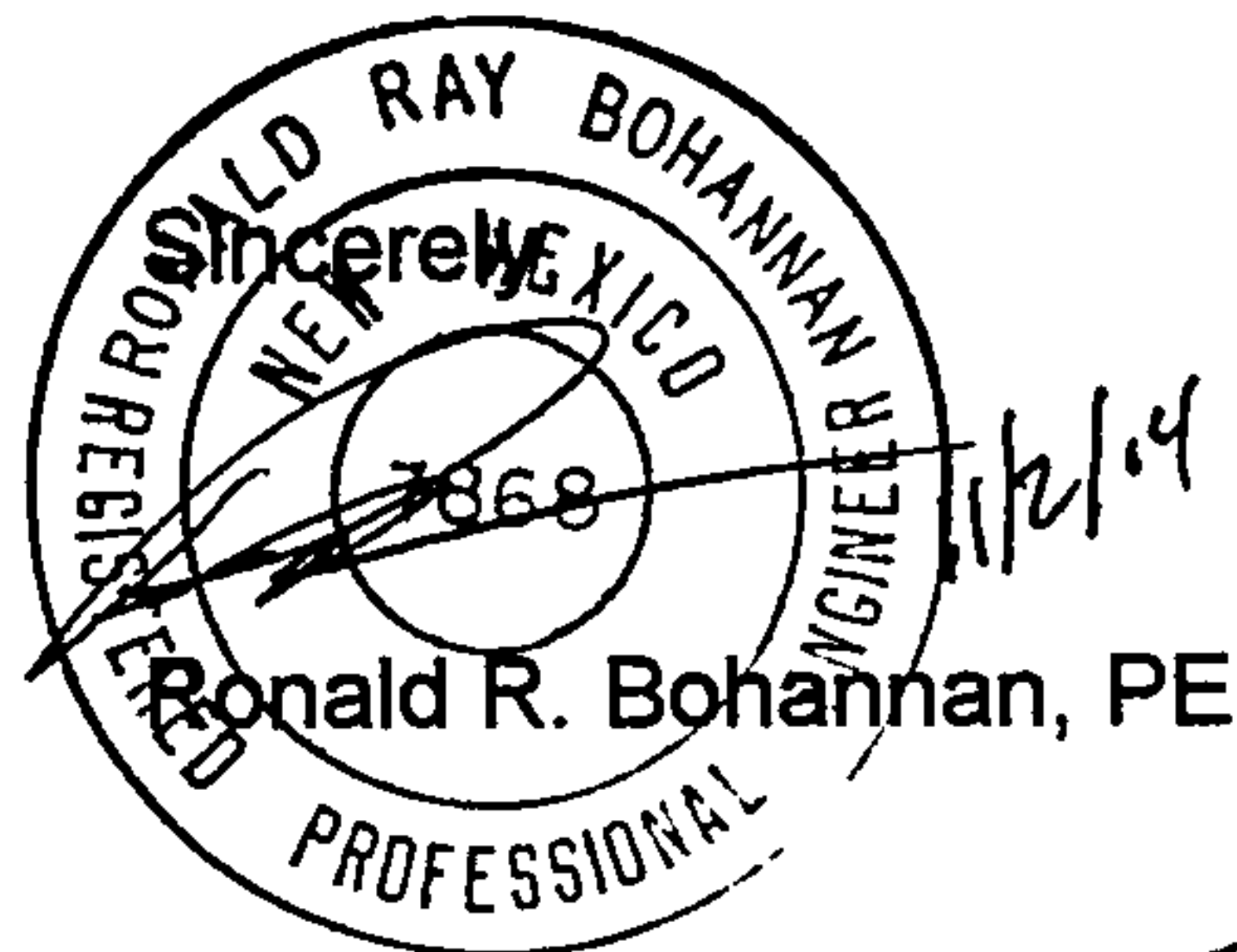
Field verification of the site was completed by our office and is in substantial compliance with the approved plan.

The purpose of this request is to allow completion of the punch list items as noted:

1. Install Stop sign at exit to Ouray Road.
2. Stripe crosswalk across drive thru entrance.
3. Install " Do Not Enter " sign at drive thru exit.

We are, therefore, requesting Certification of the Site Plan for Building Permit for a 30-Day Temporary Certificate of Occupancy.

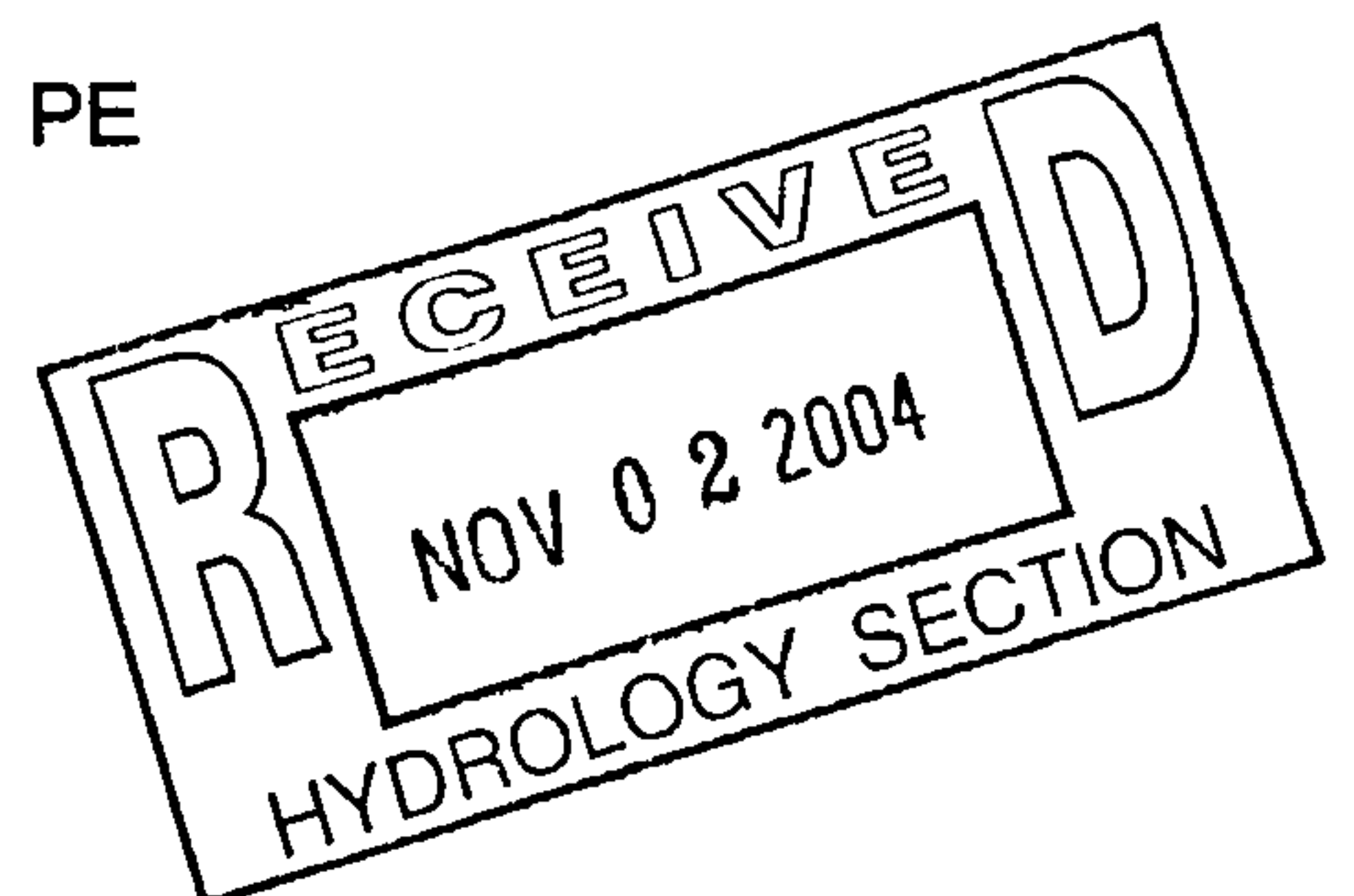
If you have any questions or need additional information regarding this matter, please do not hesitate to call me.



Enclosure/s

cc: Bank of America  
Richardson & Richardson INC.  
Quail Plaza LLC

JN: 24005  
RRB/bf





✓

**DEVELOPMENT & BUILDING SERVICE CENTER  
ONE STOP SHOP  
600 SECOND ST. N.W.**

**ATTENTION:** Hydrology  
**505-924-3900**

**Records Withdrawal Form**

**Project No.**

H11-D11 D67A D67 D33 J11-D23  
D21A D67B D67

**Date:**

6/29/04

**Project Title:**

- ☒ a. File                      b. Mylars                      c. Redlines/Comments  
☒ d. Other Microfilm

**Requested by:** Rose Rötter Bohannon Huston **Phone No.:** 823-1000  
Name                      and                      Company

**Comments:**

1 FORM FOR 7 DRAINAGE FILES & MICROFILM

**Anticipated Return Date:** 7/1/04

I hereby accept full responsibility for the security of the above noted records/plans until return receipt acknowledgement is completed. Records/plans will be returned to the Development and Building Services Center on or before the indicated anticipated return date.

**Delivery Picked Up By:**

**Name:** Larry Barbour  
Print

**Organization:** Bohannon-Huston, Inc.

**Signed:** Larry Barbour

**Date:** 6/29/04

-----  
**Office Use Only**

**Return Acknowledged:**

**Received By:** Arhene V. Portillo  
Print

**Date:** 7-6-04

Arhene V. Portillo

7/7/04

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Bank of America at Quail Ridge Center  
DRB 1002459 EPC #: 03EPC-00159

ZONE MAP/DRG. FILE #: H-11/D67B  
WORK ORDER #:

LEGAL DESCRIPTION: TRACT 2 QUAIL RIDGE  
CITY ADDRESS: 2601 COORS BOULEVARD NW

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Quail Plaza LLC  
ADDRESS: 4408 Canyon Court NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ben Spencer  
PHONE: 889-3061  
ZIP CODE: 87120

ARCHITECT: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

SURVEYOR: Sandia Survey LLC  
ADDRESS: 6705 Giselle Drive  
CITY, STATE: Albuquerque, NM

CONTACT: Andrew Medina  
PHONE: 828-0858  
ZIP CODE: 87109

CONTRACTOR: Richardson & Richardson Inc.  
ADDRESS: 4100 Menaul Boulevard NE  
CITY, STATE: Albuquerque, NM

CONTACT: Wayne Connel  
PHONE: 881-2268  
ZIP CODE: 87110

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

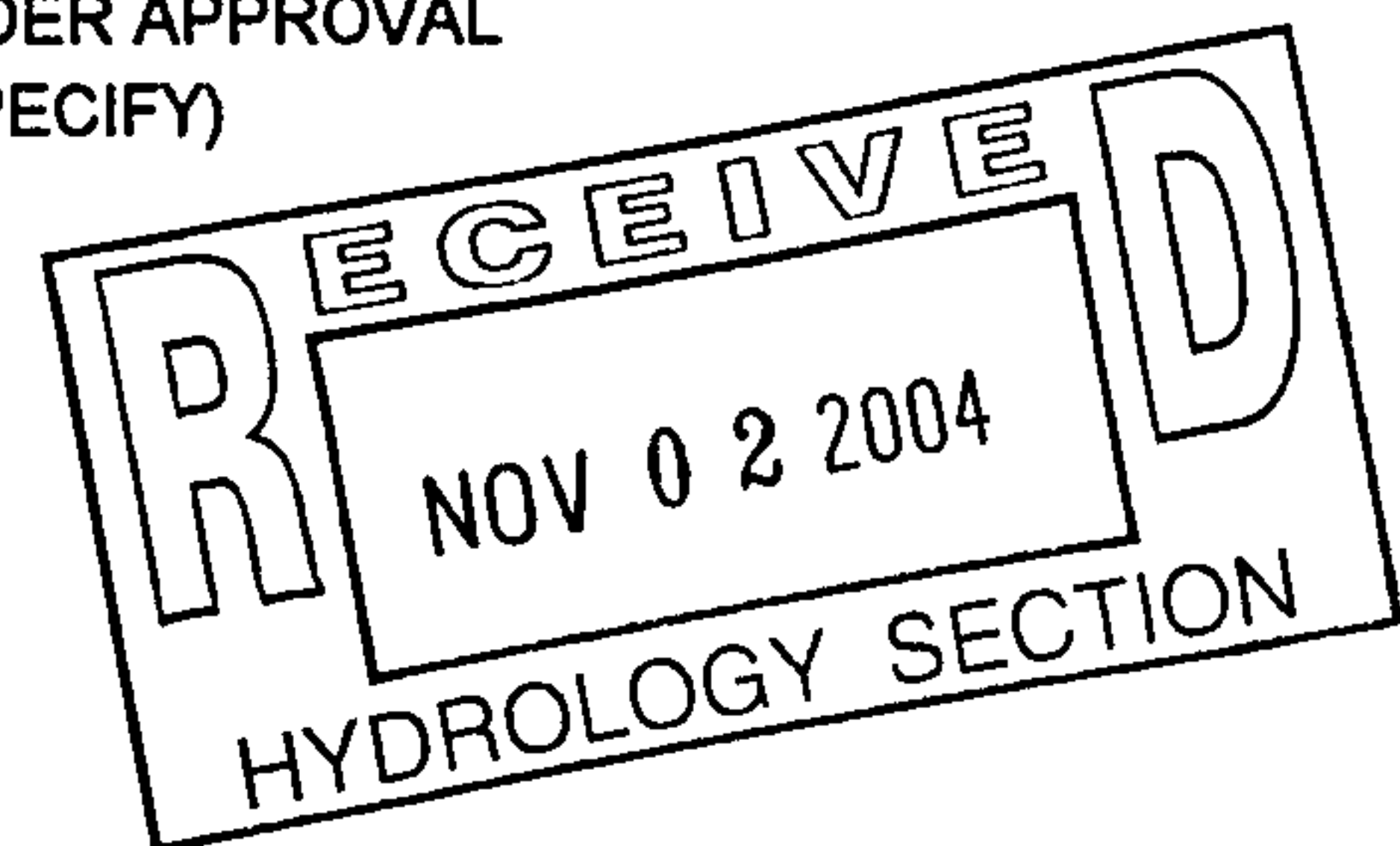
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☐ PRELIMINARY PLAT APPROVAL  
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☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

*N-Verbal;  
Need GID Cert.; not site plan*

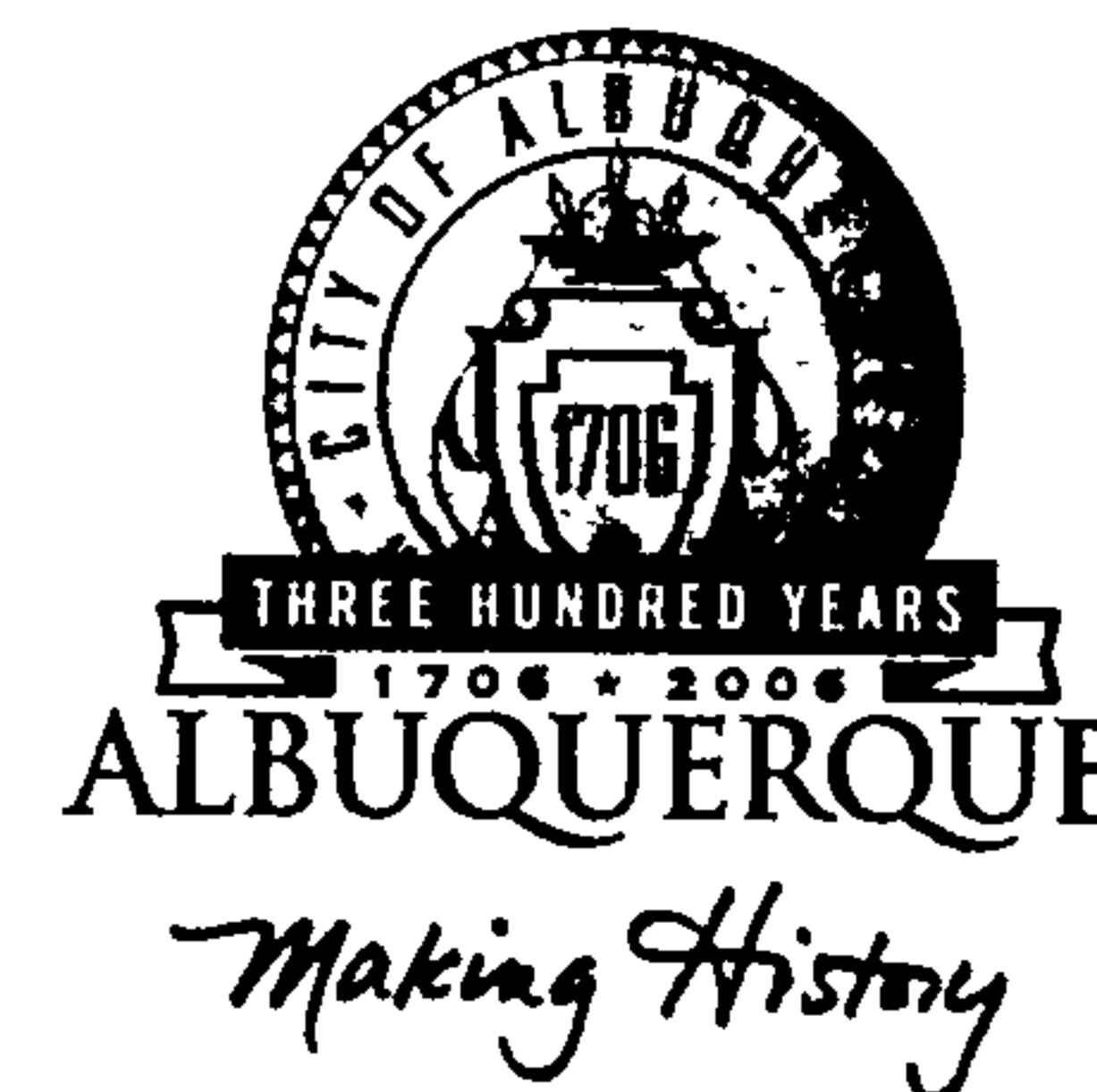


DATE SUBMITTED: 11/1/2004 BY: Brad Frosch 263-5808

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



November 3, 2004

Mr. Ron Bohannon, P.E.  
**TIERRA WEST, LLC**  
8509 Jefferson St. NE  
Albuquerque, NM 87113

**Re:    BANK OF AMERICA AT QUAIL RIDGE CENTER**  
**2601 Coors Blvd. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 02/02/2004 (H-11/D67B)**  
**Certification dated 11/01/2004**

P.O. Box 1293

Dear Ron,

Albuquerque

Based upon the information provided in your submittal received 11/03/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C:    Phyllis Villanueva  
File



**DRAINAGE AND TRANSPORTATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: Bank of America at Quail Ridge Center  
DRB 1002459 EPC #: 03EPC-00159

ZONE MAP/DRG. FILE #: H-11/D67B  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 2 QUAIL RIDGE  
CITY ADDRESS: 2601 COORS BOULEVARD NW

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Quail Plaza LLC  
ADDRESS: 4408 Canyon Court NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ben Spencer  
PHONE: 889-3061  
ZIP CODE: 87120

ARCHITECT: N/A  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Sandia Survey LLC  
ADDRESS: 6705 Giselle Drive  
CITY, STATE: Albuquerque, NM

CONTACT: Andrew Medina  
PHONE: 828-0858  
ZIP CODE: 87109

CONTRACTOR: Richardson & Richardson Inc.  
ADDRESS: 4100 Menaul Boulevard NE  
CITY, STATE: Albuquerque, NM

CONTACT: Wayne Connel  
PHONE: 881-2268  
ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
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☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/1/2004 BY: Brad Frosch 263-5808

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 19, 2004

Ronald Bohannon, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Bank at Quail Ridge Shopping Center, NW Corner of Coors and Ouray,  
Grading and Drainage Plan**

**Engineer's Stamp dated 2-02-04 (H11/D67B)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-03-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: File



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

H-11/D67B

PROJECT TITLE: Bank at Quail Ridge Shopping Center  
DRB #: 1002459 EPC #: 03EPC-00159

ZONE MAP/DRG. FILE #: H-11/D67B  
WORK ORDER #:

LEGAL DESCRIPTION: WH Brunell Addition

CITY ADDRESS: Northwest corner of Coors and Ouray

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: SCM Property Company, LLC  
ADDRESS: 6300 Riverside Plaza Lane NW, Suite 200  
CITY, STATE: Albuquerque, NM

CONTACT: Ben Spencer  
PHONE: 889-3061  
ZIP CODE: 87120

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

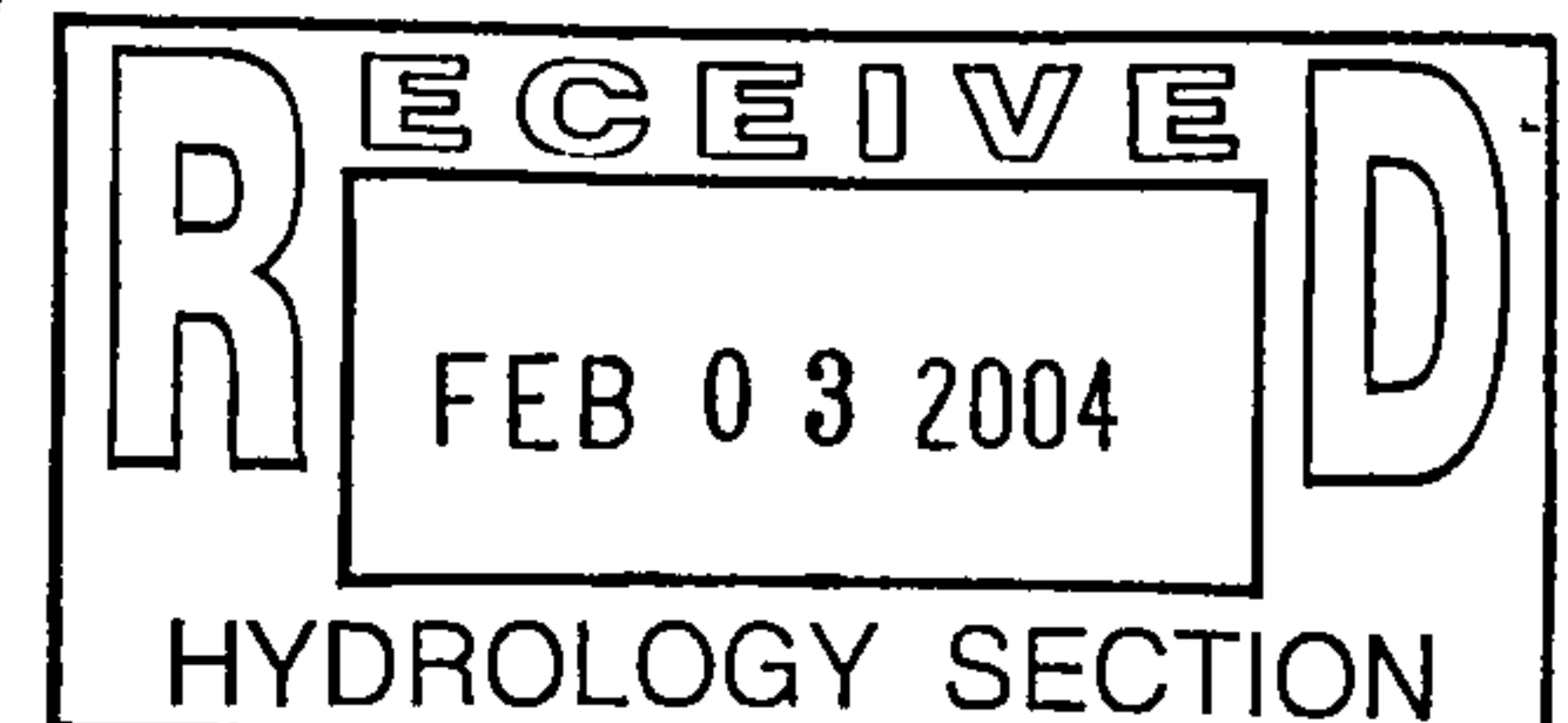
- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*  
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☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
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☐ OTHER

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- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
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☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 2/2/2003 BY: Sara Lavy

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

February 2, 2004

Mr. Brad Bingham, PE  
Sr. Engineer, Hydrology  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

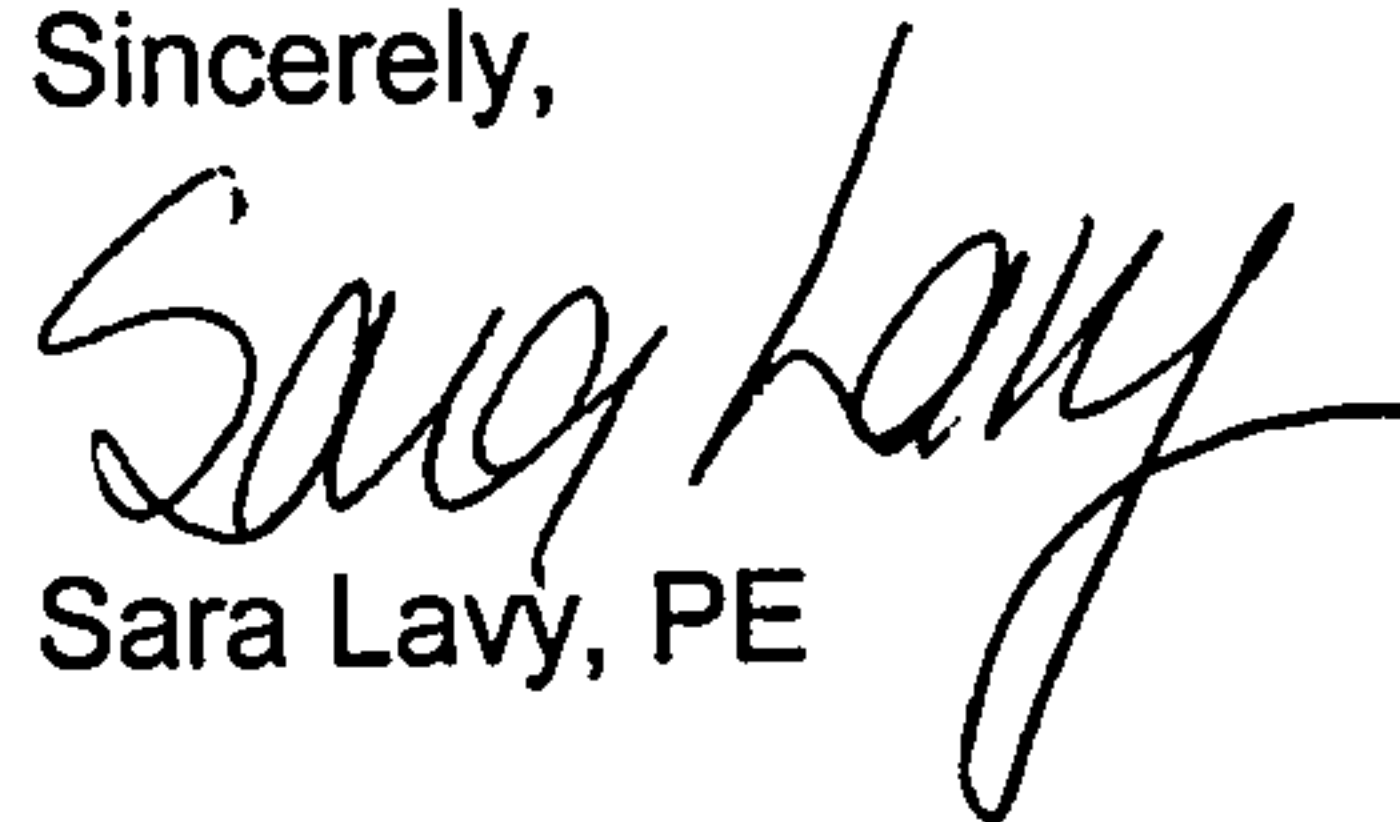
**RE: Bank Site, Tract 2 Quail Ridge Shopping Center (H11/D67)**

Dear Mr. Bingham:

Enclosed please find a Grading and Drainage Plan for the above referenced project. Quail Ridge was previously approved in a letter dated October 3, 2003. That letter stated that site-specific grading plans must be submitted for approval. The layout of Tract 2 was revised from the conceptual bank layout previously approved to an actual bank layout. This affected the orientation of the drive-thru lanes. Basin 4 will drain out the entrance to Ouray Road instead of through a sidewalk culvert as shown previously. There were some minor changes to the discharges from Basins 1, 2, 3, 4, and 5 because of the new bank layout. I included a new basin layout and runoff calculation sheet showing the revisions. However, the overall discharge and drainage patterns approved for Quail Ridge have not changed.

If you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



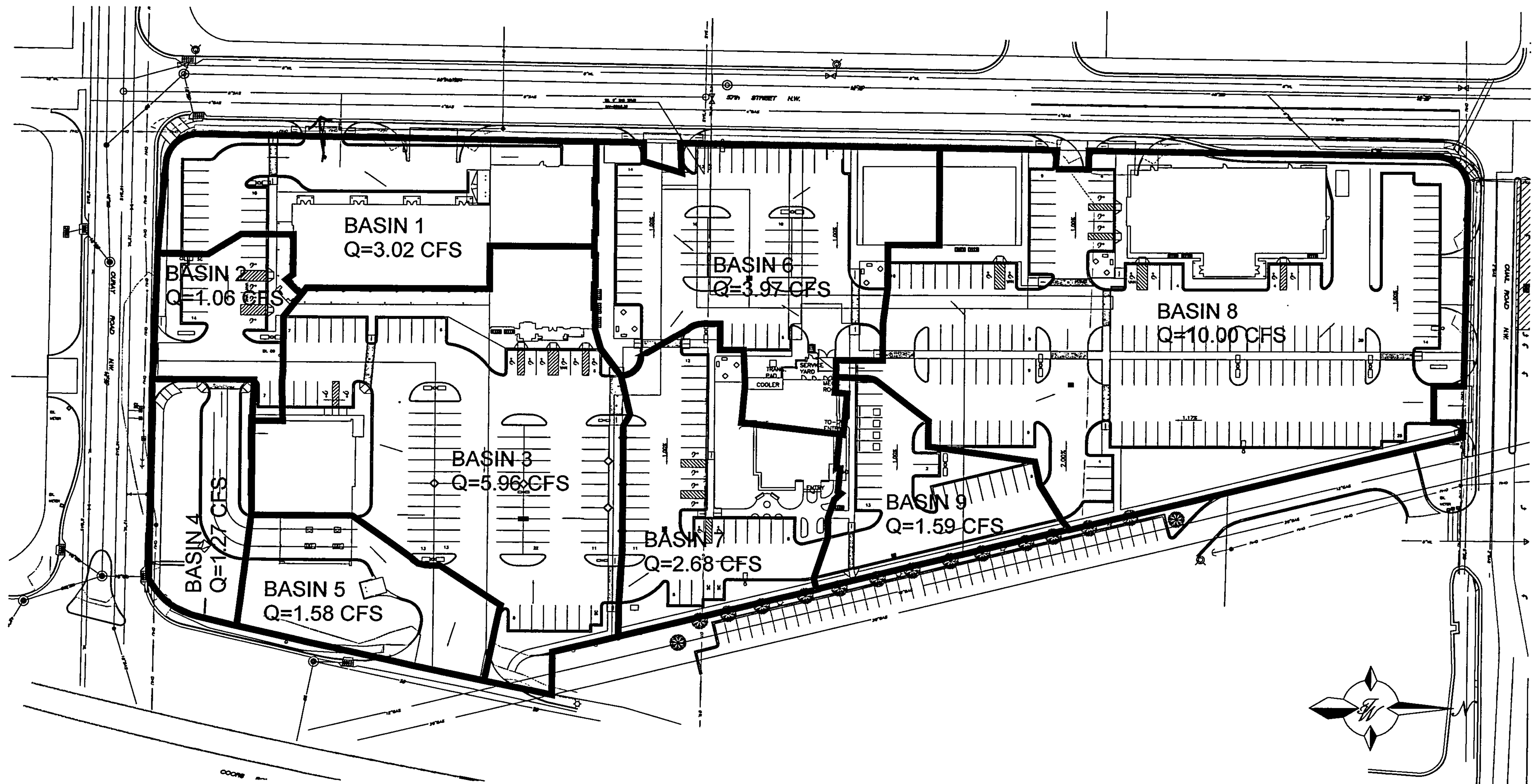
Sara Lavy, PE

Enclosure/s

cc: Ben Spencer  
Steve Maestas

JN: 220096  
scl

220096: 2296 hydrology ltr.doc



DEVELOPED BASIN LAYOUT - BANK



## Weighted E Method

### Developed On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
1	31,852	0.73	0%	0	10%	0.07	0%	0.00	90%	0.66	1.840	0.112	3.02	1.138	0.069	1.96
2	11,162	0.26	0%	0	10%	0.03	0%	0.00	90%	0.23	1.840	0.039	1.06	1.138	0.024	0.69
3	62,771	1.44	0%	0	10%	0.14	0%	0.00	90%	1.30	1.840	0.221	5.96	1.138	0.137	3.86
4	13,359	0.31	0%	0	10%	0.03	0%	0.00	90%	0.28	1.840	0.047	1.27	1.138	0.029	0.82
5	16,589	0.38	0%	0	10%	0.04	0%	0.00	90%	0.34	1.840	0.058	1.58	1.138	0.036	1.02
6	41,795	0.96	0%	0	10%	0.10	0%	0.00	90%	0.86	1.840	0.147	3.97	1.138	0.091	2.57
7	28,202	0.65	0%	0	10%	0.06	0%	0.00	90%	0.58	1.840	0.099	2.68	1.138	0.061	1.73
8	105,297	2.42	0%	0	10%	0.24	0%	0.00	90%	2.18	1.840	0.371	10.00	1.138	0.229	6.47
9	16,762	0.38	0%	0	10%	0.04	0%	0.00	90%	0.35	1.840	0.059	1.59	1.138	0.036	1.03
Total	327,788	7.52		0.00		0.75		0.00		6.77		1.154	31.12		0.714	20.14

### Undeveloped On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
1	327,788	7.52	0%	0	100%	7.52	0%	0.00	0%	0.00	0.670	0.420	15.28	0.220	0.138	5.72

### Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 1	100-Year	10 - Year
E <sub>a</sub>	0.44	0.08
E <sub>b</sub>	0.67	0.22
E <sub>c</sub>	0.99	0.44
E <sub>d</sub>	1.97	1.24

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10 - Year
Q <sub>a</sub>	1.29	0.24
Q <sub>b</sub>	2.03	0.76
Q <sub>c</sub>	2.87	1.49
Q <sub>d</sub>	4.37	2.89

