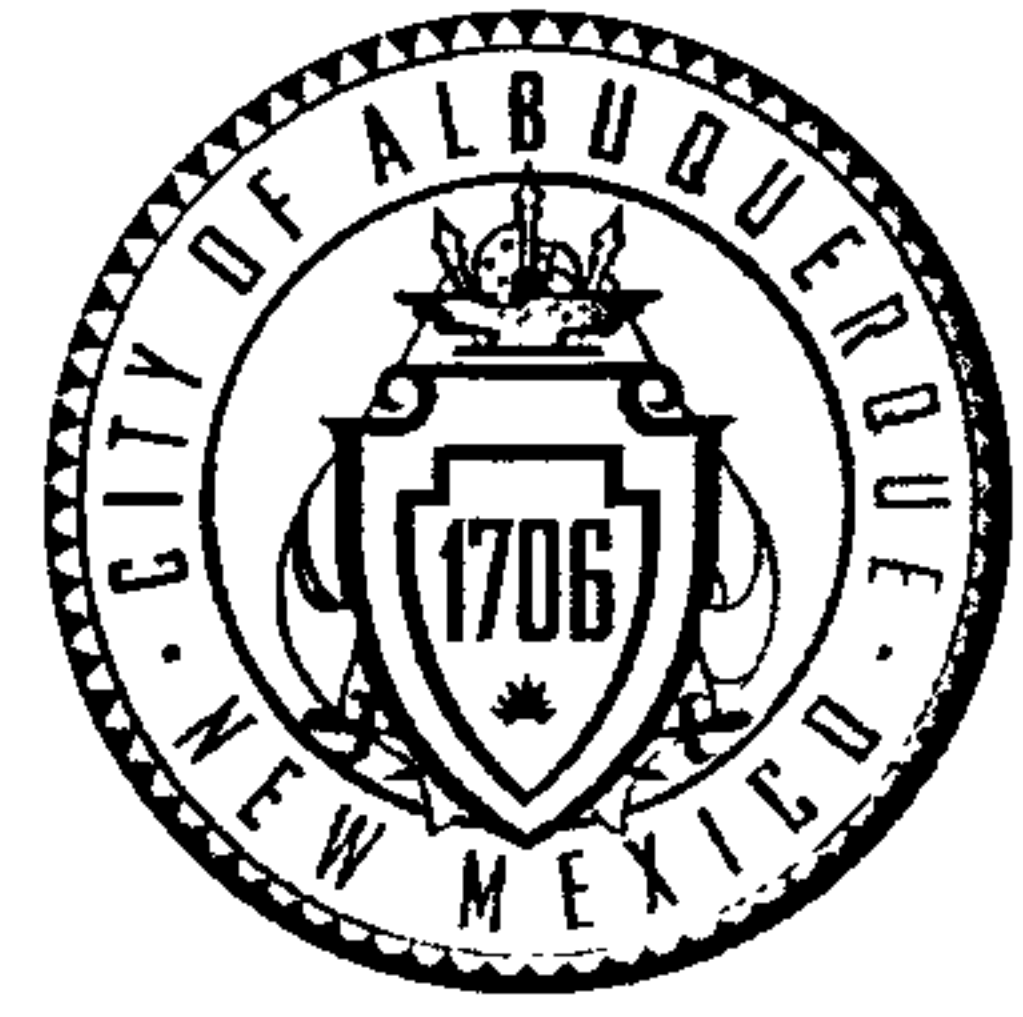


CITY OF ALBUQUERQUE



February 26, 2014

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

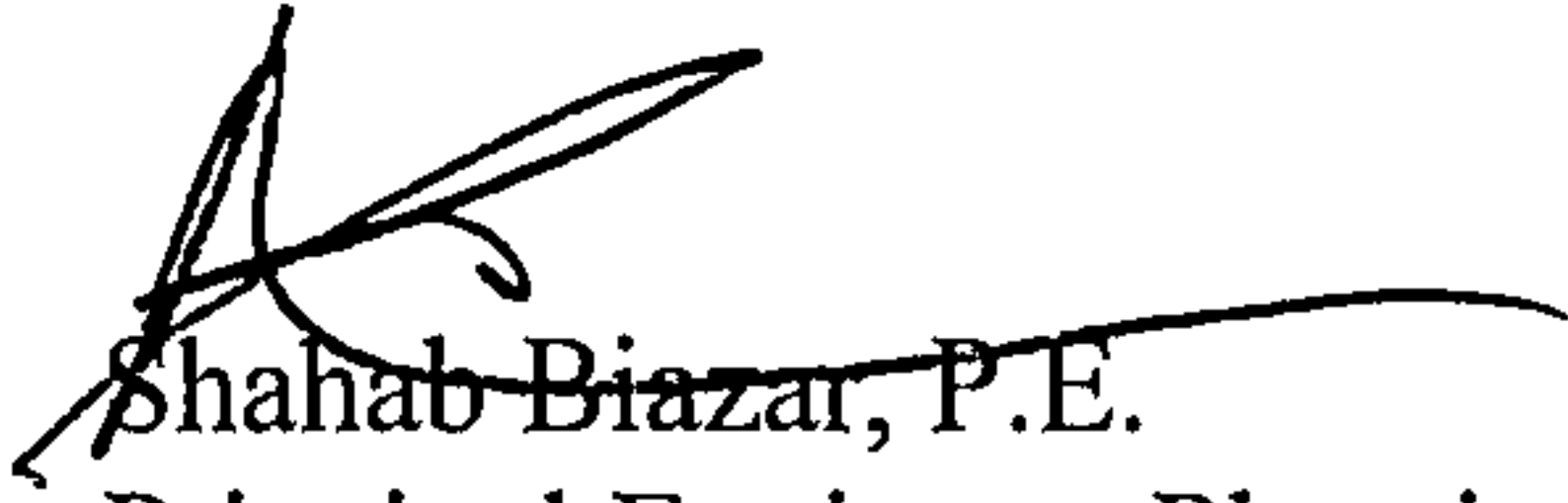
**Re: Atrisco Apartments, 1720 Atrisco Drive NW,
Request For Permanent C.O. (H11/D0068)
Plan Certification Stamp Date: 10-23-13
Letter Certification Stamp Date: 02-24-14**

Dear Mr. McGee,

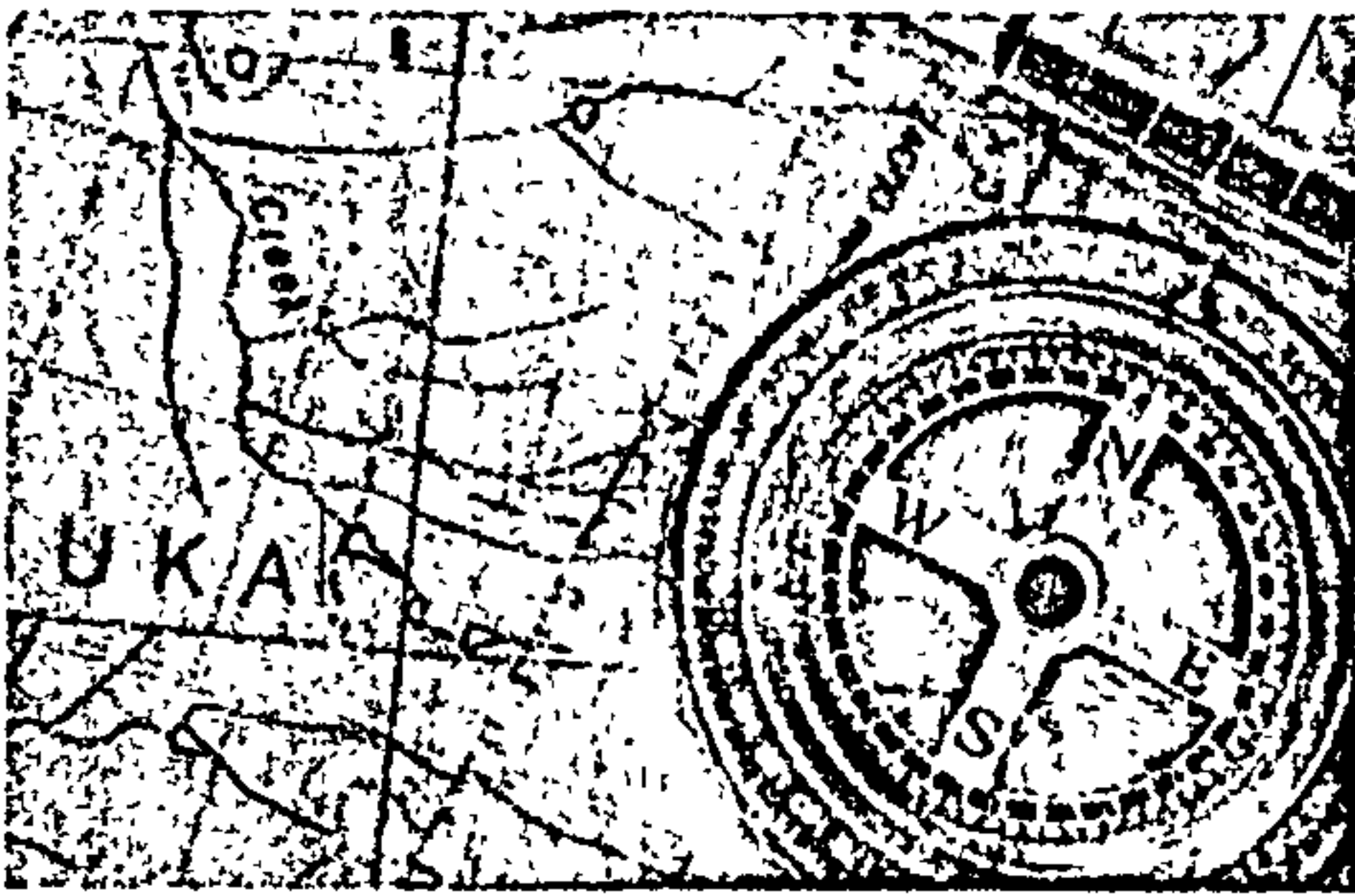
Based on the Certification Letter received 2/24/2014 (via e-mail) and Grading Certification received 10/23/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk—Katrina Sigala
E-mail



SCOTT M MCGEE PE, LLC
CIVIL ENGINEER

1/21/2014

Re: Atrisco Apartments (H11/D068)

A Grading Certification was submitted 10/23/13 with a request for a Certificate of Occupancy. Your concerns noted 10/25/13 are addressed as follows:

The Owner has stated that where asphalt curbs were placed adjacent to buildings, curb openings will be cut when and where needed. The Owner will also be responsible for any runoff flowing toward the buildings (water will enter the maintenance room and pond against the north side of the building facing I-40), and will take any appropriate actions necessary to protect the structures from excess runoff. Rain gutters have been installed over walkways.

Parking lot elevations (east of the easterly building), are represented by the existing asphalt spot elevations as the old paving was not removed and replaced as designed.

The sidewalk culvert plates extend from the Atrisco Drive curb face to the property line as required to get the green tag approval for the S. O. 19 permit.

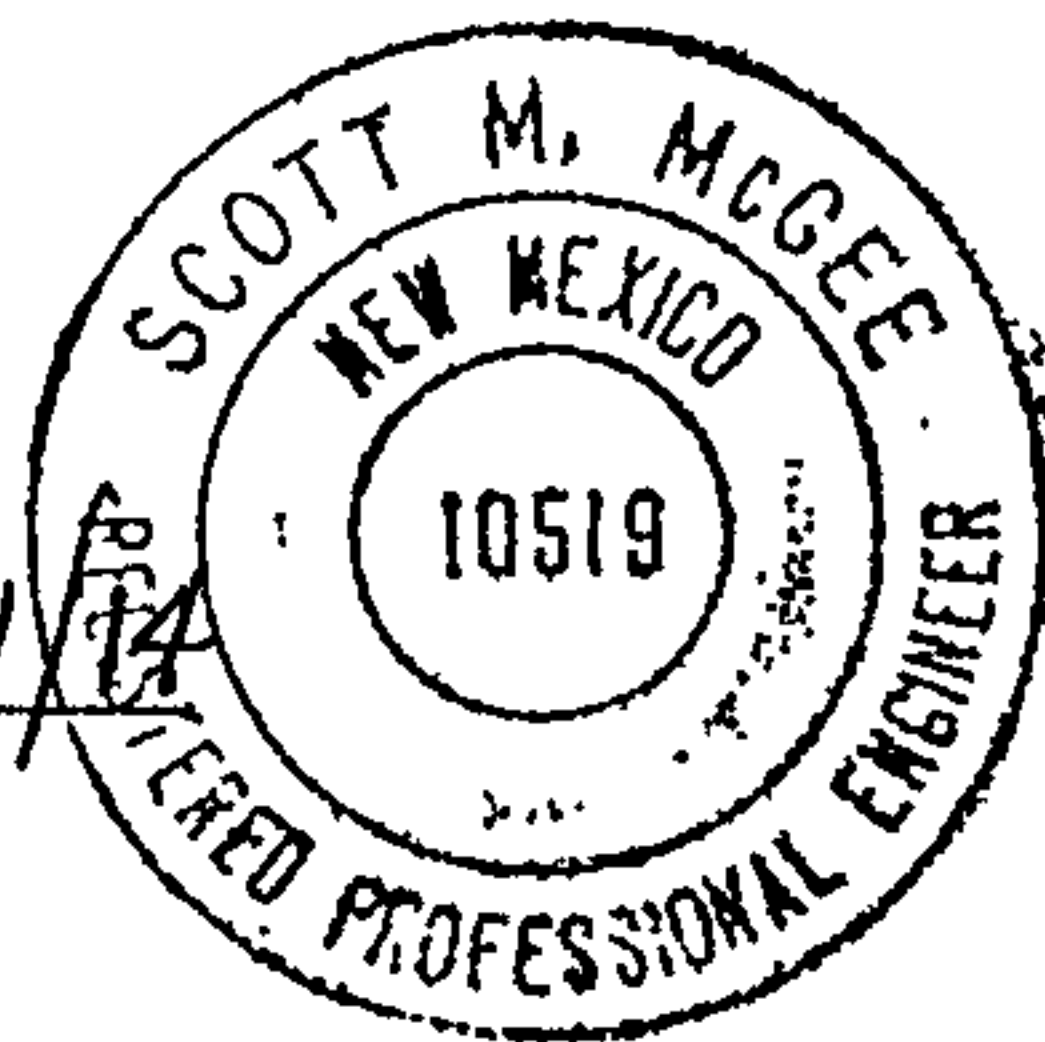
The playground north of the site was added during construction and was not part of the original grading design. The 18" depth of the playground material has considerable void space and will act to retain all rainwater that falls on it--effectively reducing runoff from this area.

The encroachment agreement issue has been addressed by the Owner. Action is being sought for R/W vacation and a subsequent consolidation plat action.

With these responses I request your approval of the Grading Certification for release of the Certificate of Occupancy.

Respectfully,

Scott M McGee 1/21/14
Scott McGee PE, LLC



Pc: Chuck Sheldon

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Atrisco Apartments ZONE MAP: H-11/D068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Southerly portion of lots 37-41, Palisades Addition
CITY ADDRESS: 1720 Atrisco Drive NW, ABQ, NM 87105

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: 1720 Atrisco Drive NW PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: Jeebs & Zuzu CONTACT: David Hickman
ADDRESS: 11030 Menaul Blvd, Ste. C PHONE: 797-1318
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY)

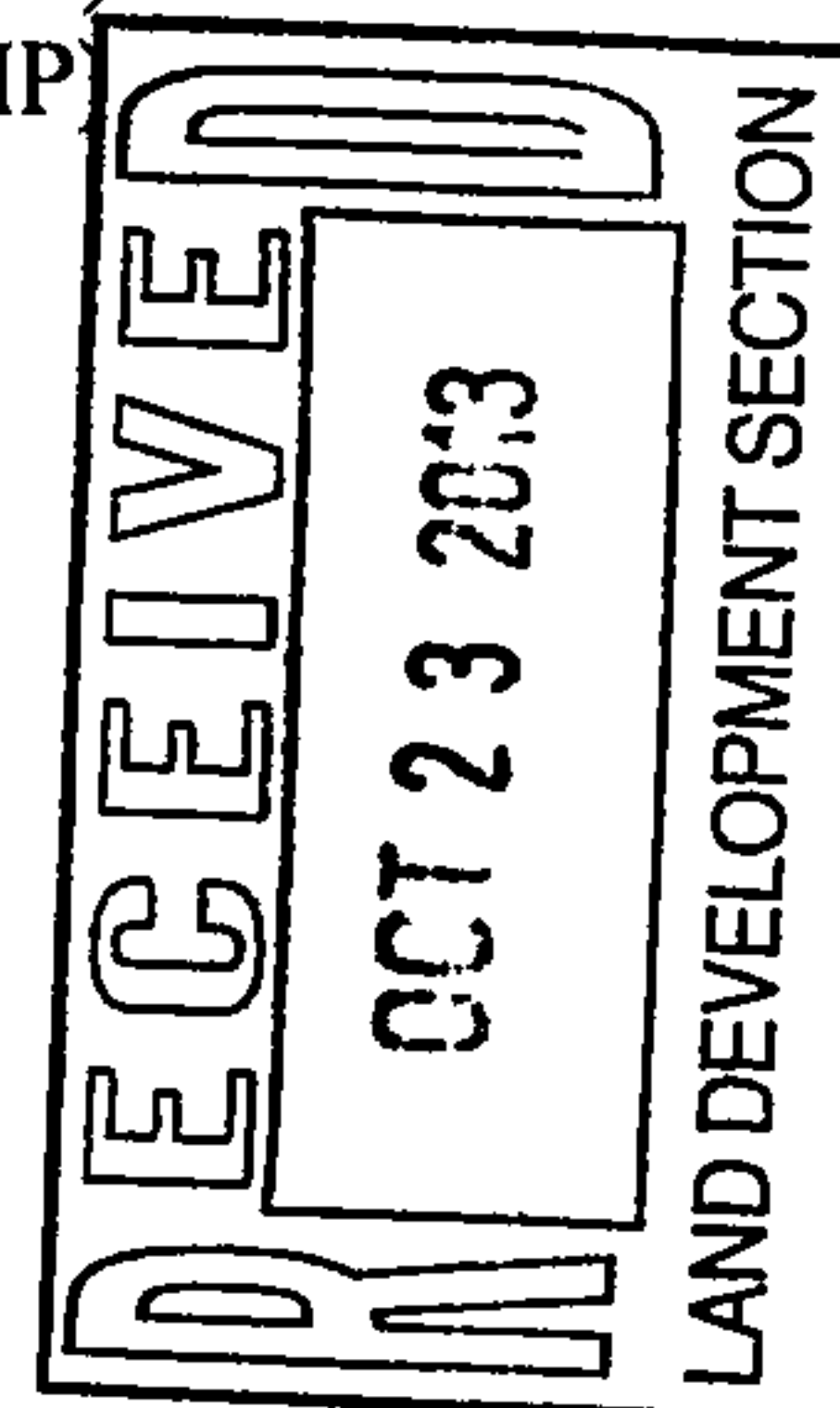
WAS A PRE-DESIGN CONFERENCE ATTENDED:

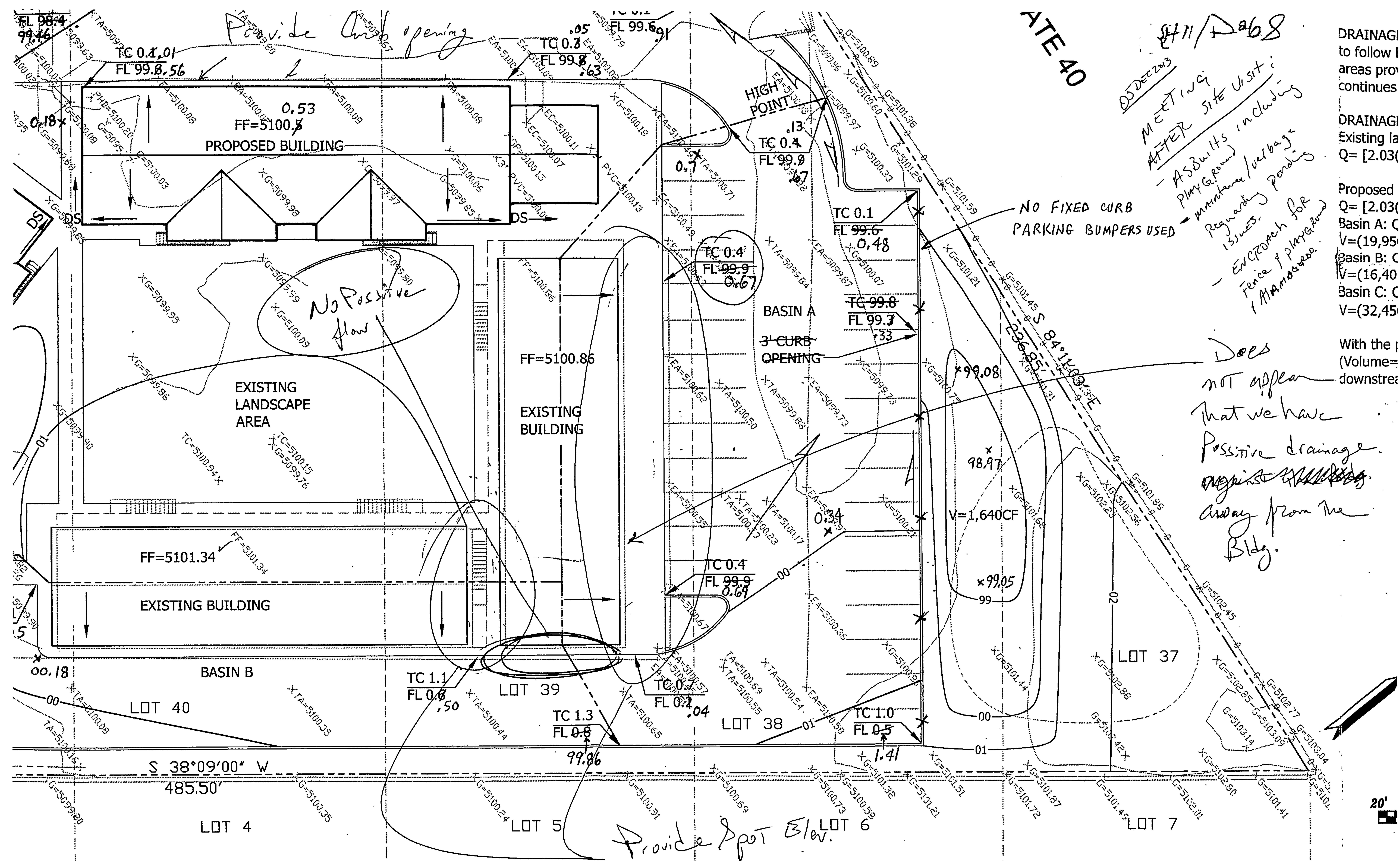
☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10/23/2013 BY: Scott McGee

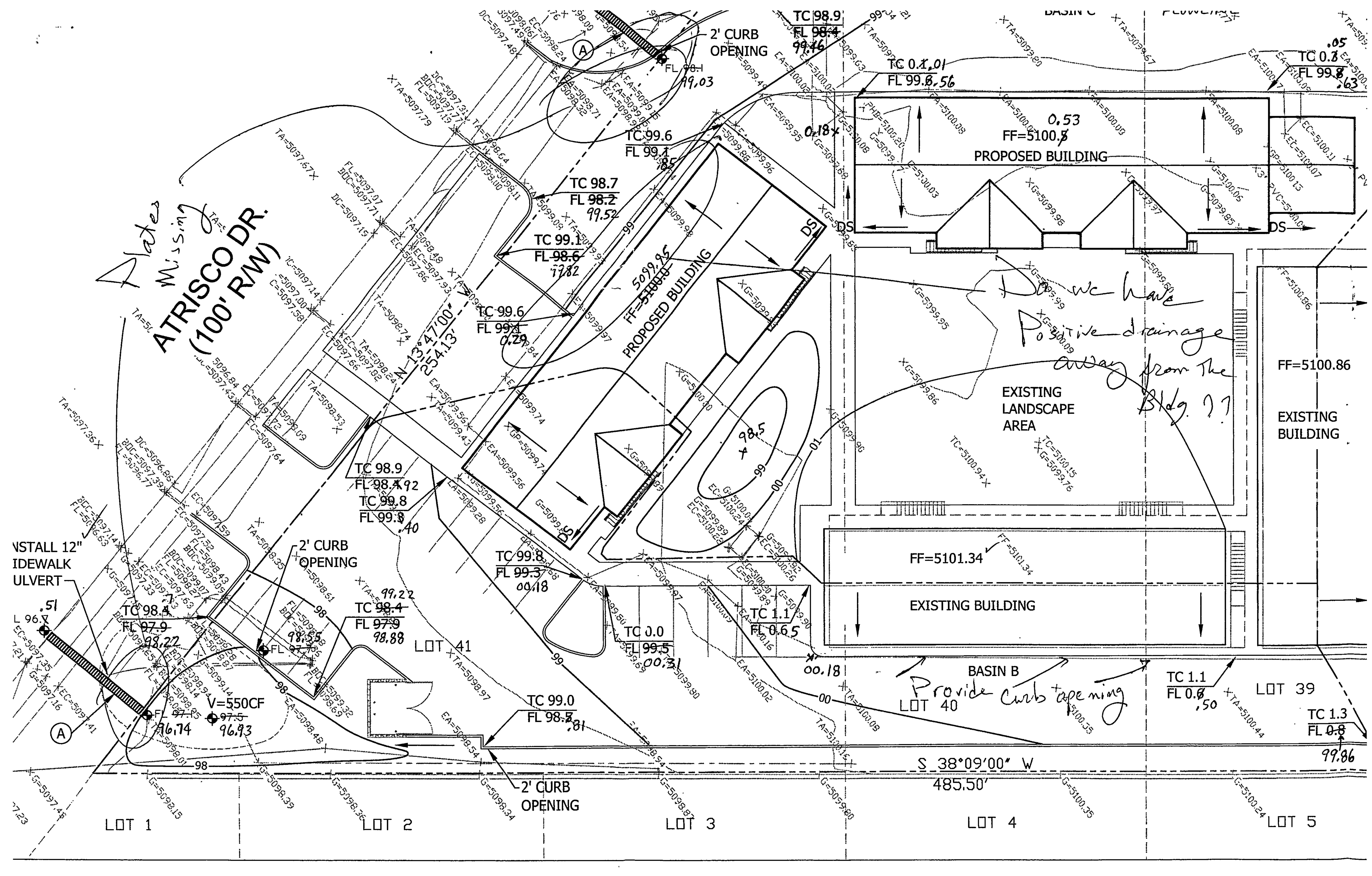
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





Plates Missing
**ATRISCO DR.
(100' RW)**



INSTALL 12"
SIDEWALK
ULVERT

2' CURB
OPENING

2' CURB
OPENING

Provide curb opening

*Do we have
Positive drainage
away from the
Bldg. ??*

0.53
FF=5100.8
PROPOSED BUILDING

FF=5101.34
EXISTING BUILDING

FF=5100.86
EXISTING BUILDING

LOT 1

LOT 2

LOT 3

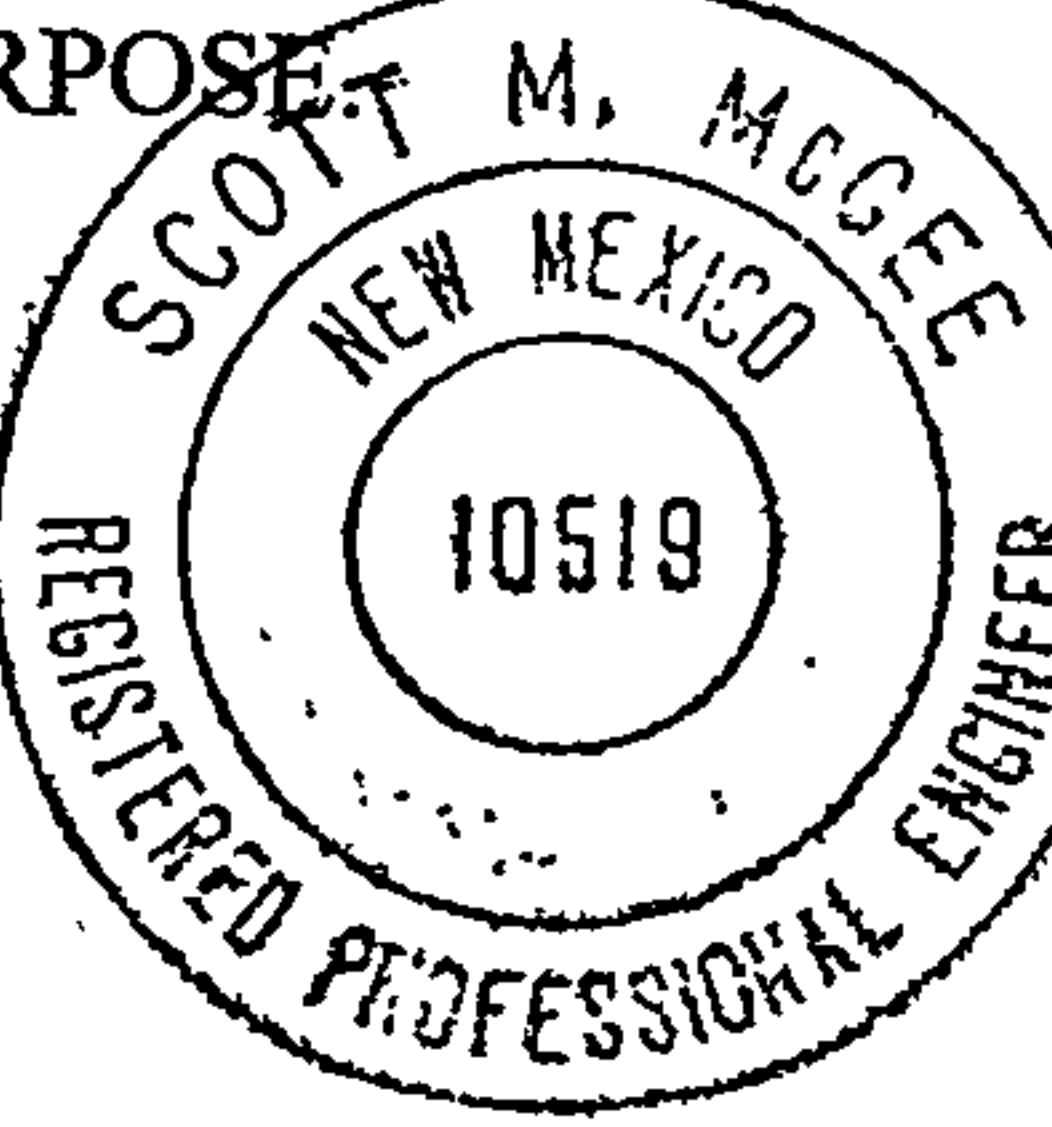
LOT 4

LOT 5

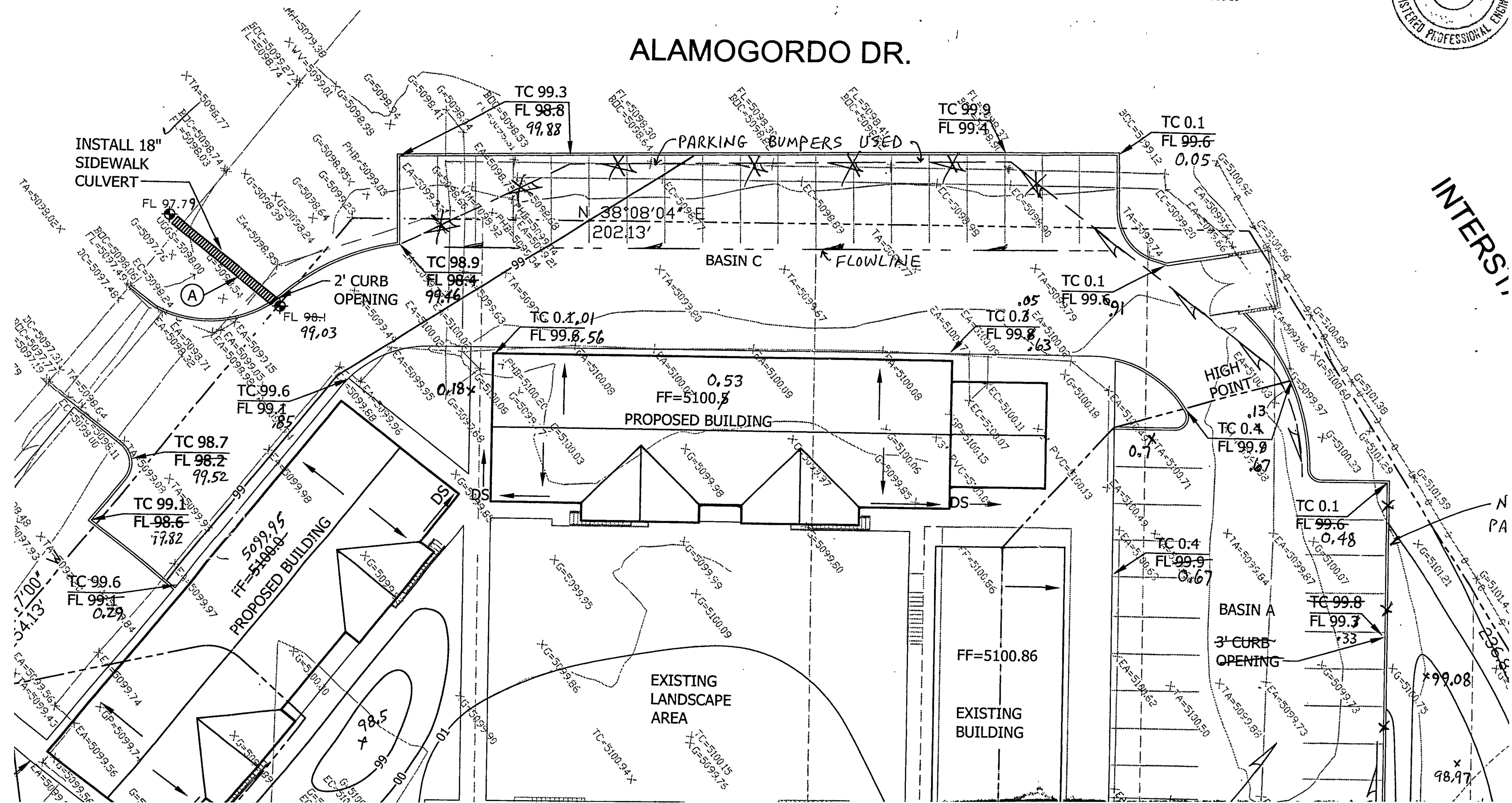
S 38°09'00" W
485.50'

Scott M McHale 10/23/13

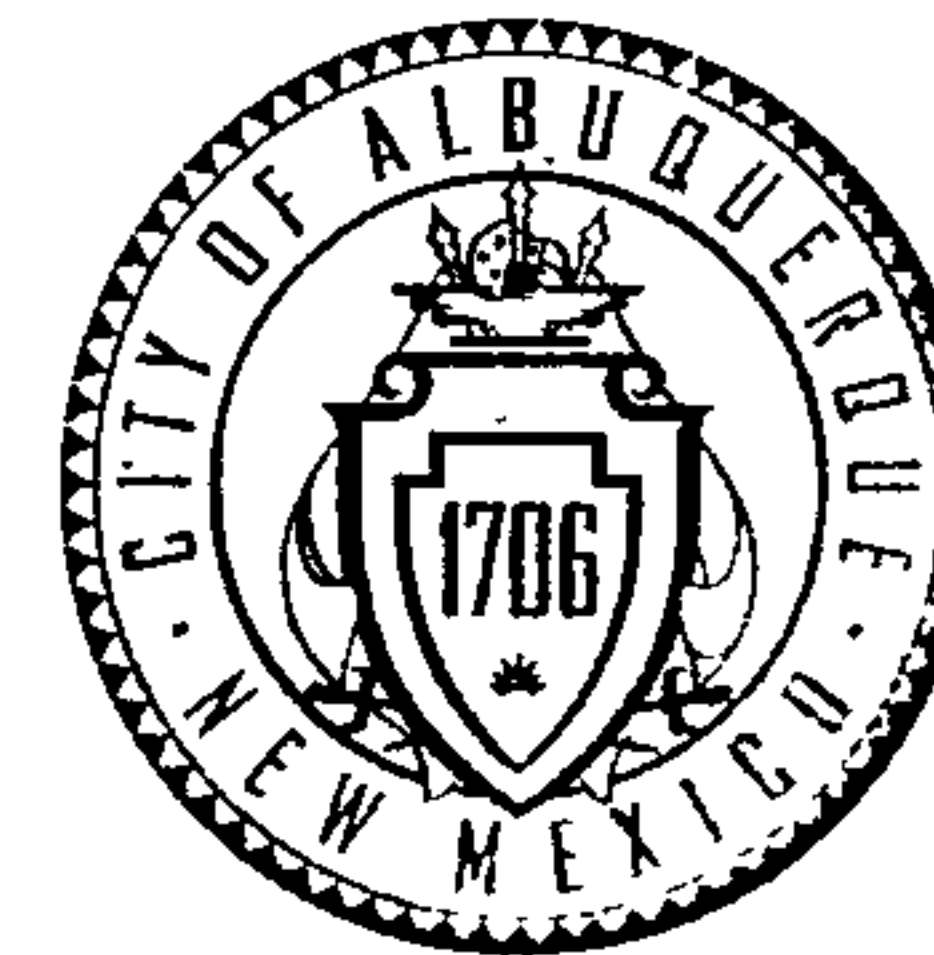
NMPE 10519



INTERSECT



CITY OF ALBUQUERQUE



December 9, 2013

J. David Hickman, R.A.
Core Ltd.
11030 Menaul Blvd NE Ste C
Albuquerque, NM 87112

Re: Atrisco Apartments, 1720 Atrisco Dr NW
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 12-14-12 (H11-D068)
Certification dated 12-05-13

Dear Mr. Hickman,

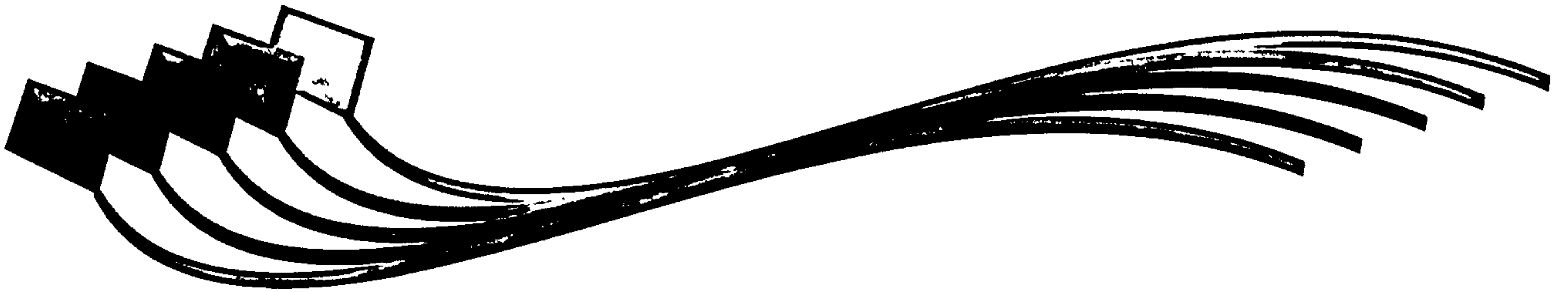
Based upon the information provided in your submittal received 12-05-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

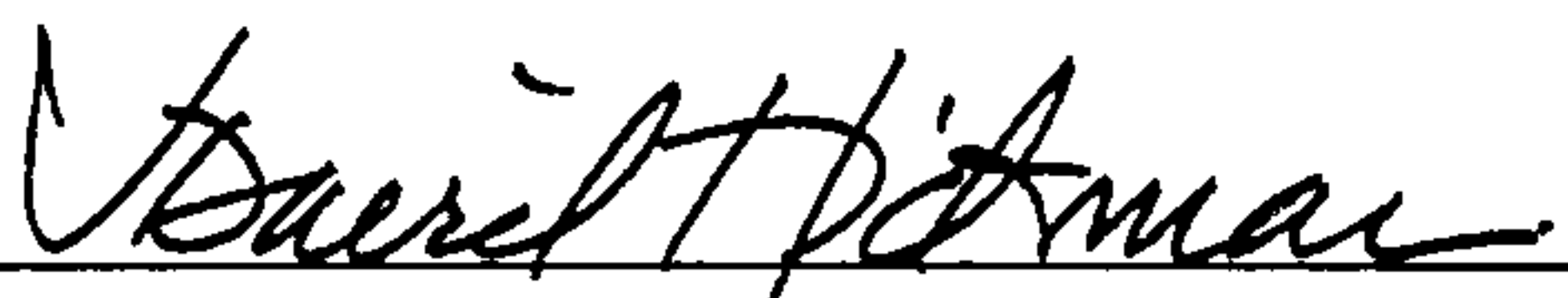
Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

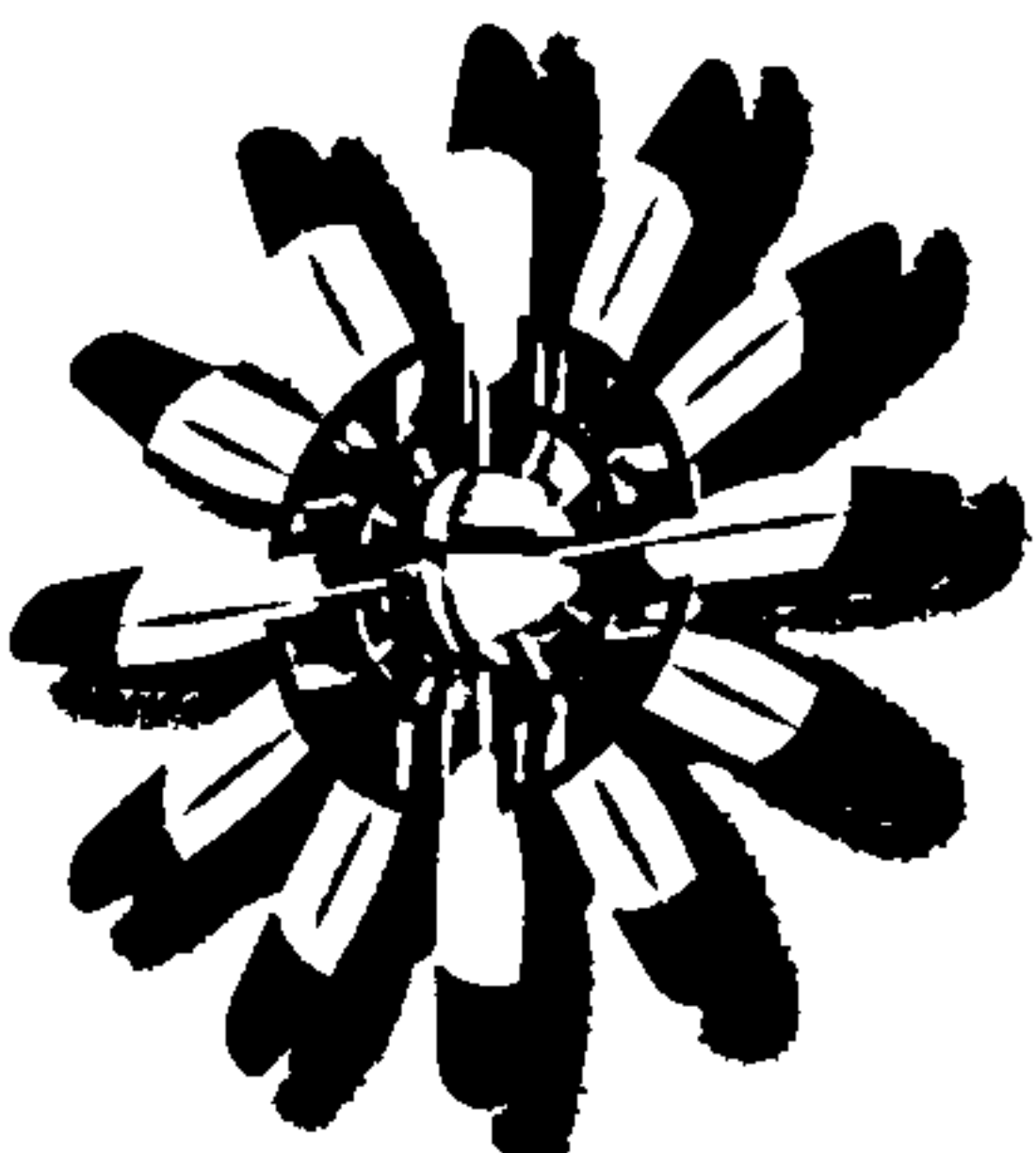
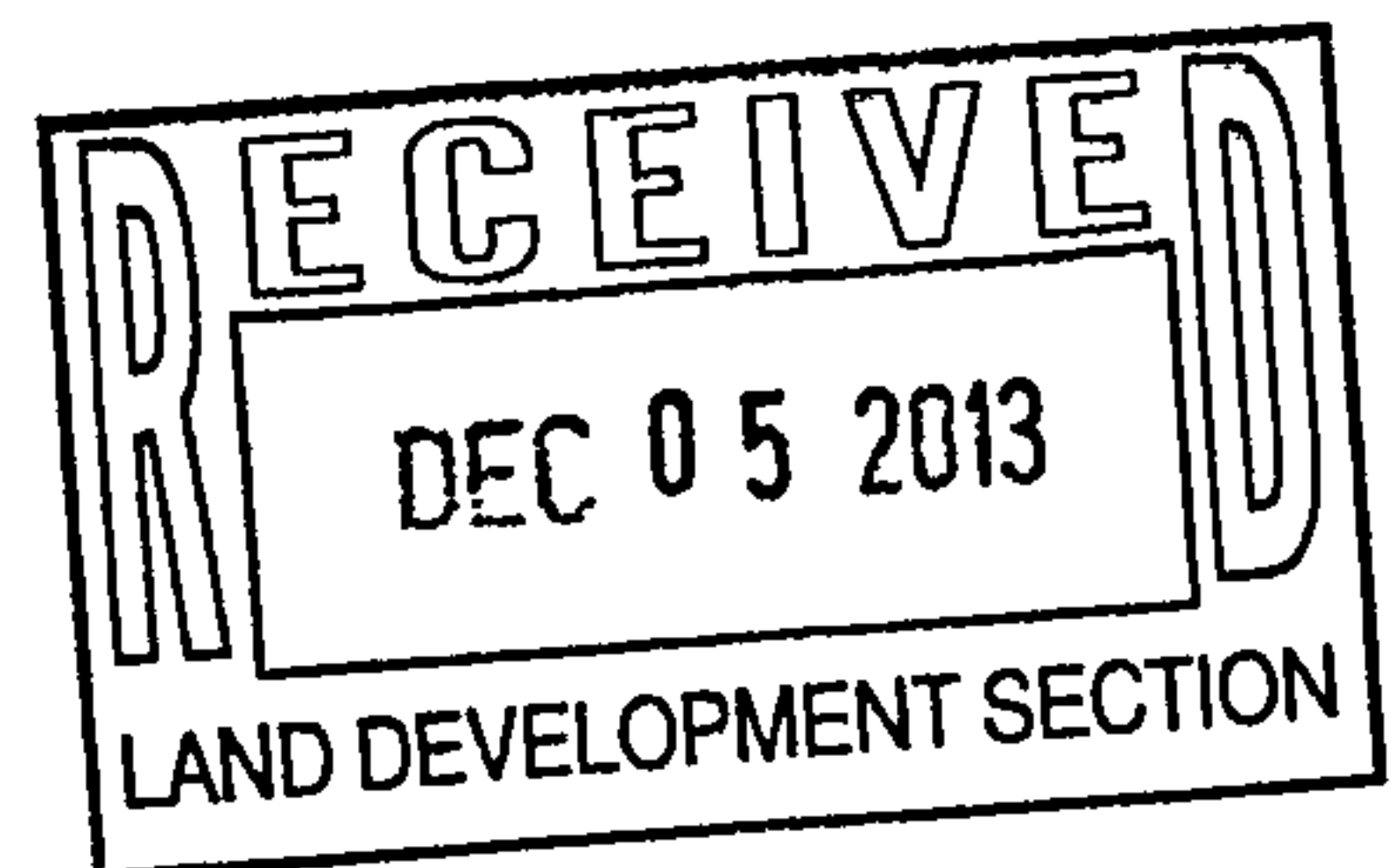
C: CO Clerk
File



I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM CORE, ARCHITECTURE, LLC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 12/14/12. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SCOTT MCGEE, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 4, 2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.


J. David Hickman, AIA
Architect

DECEMBER 5, 2013
Date:



"Let's Make It Fun"

11030 MENAUL NE, SUITE C ALBUQUERQUE, NM 87112 P(505) 796-0894

H-11 | D068

Atrisco Apartments
1720 Atrisco

QUITCLAIM DEED

THE CITY OF ALBUQUERQUE, a New Mexico municipal corporation ("Grantor"), quitclaims to T and C Management, LLC, a New Mexico Limited Liability Corporation, whose address is 1701 Moon Street NE, Albuquerque, NM 87112, the following described real property ("Property") in Bernalillo County, New Mexico:

That portion of vacated Alamogordo Drive, NW, adjoining the Northwest boundary of Lots 38, 39, 40, and 41, inclusive, in Block 8 of the Palisades Addition, as said subdivision is shown on the subdivision plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May, 23, 1945, vacated per City Commission Ordinance No. 61-1968 ("Ordinance"), dated May 13, 1968,

with the said vacated street portion remaining subject to a reserved "easement of ingress and egress for the purposes of installing, repairing, removing and otherwise servicing sewer, water and like utilities" as stated in the Ordinance.

GRANTOR:

The City of Albuquerque, a New Mexico
Municipal Corporation

By:


Robert J. Perry
Chief Administrative Officer

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

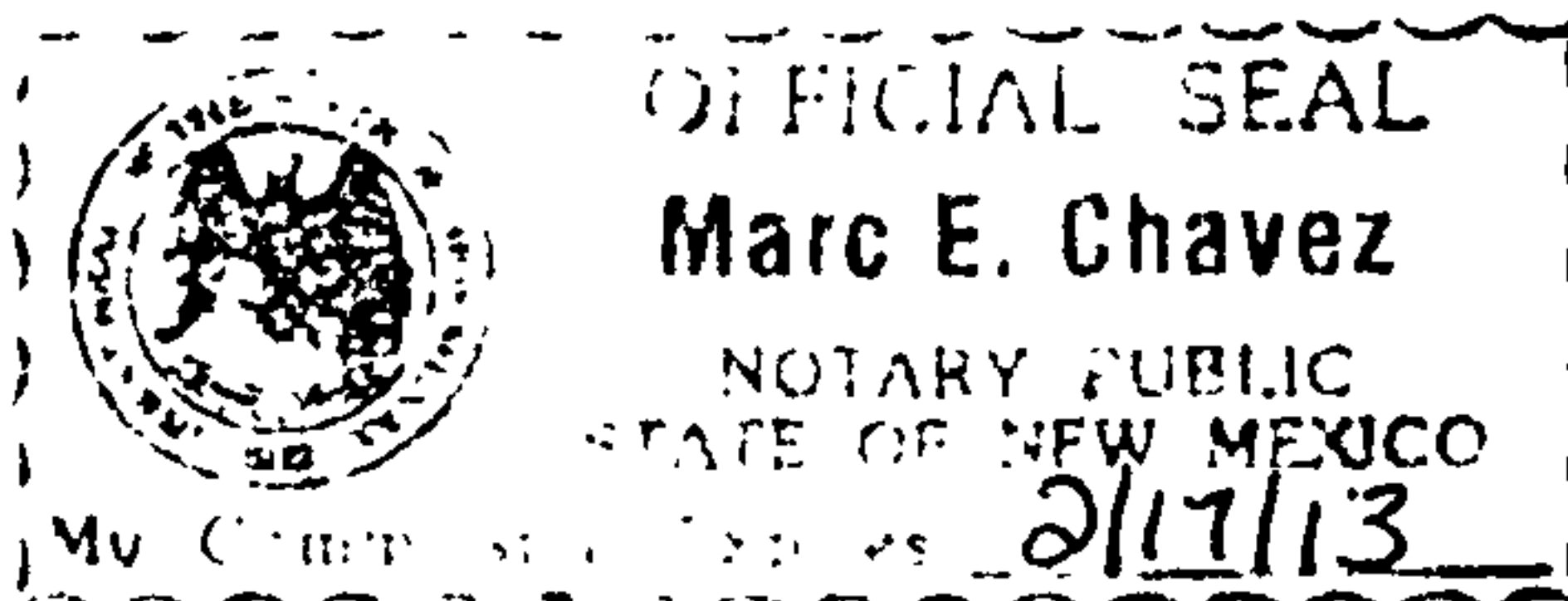
)
) ss.
)

This instrument was acknowledged before me on September 27th,
by Robert J. Perry, Chief Administrative Officer of the City of Albuquerque, a New Mexico
municipal corporation, on behalf of said corporation.

My Commission Expires:

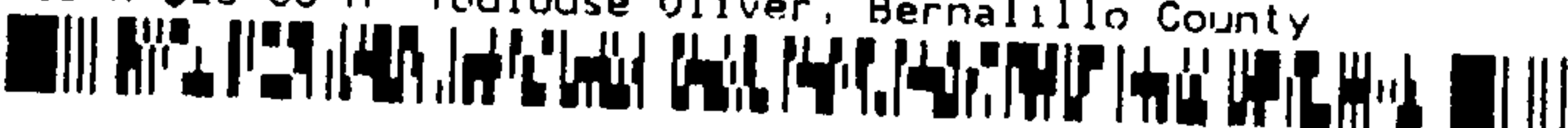

Notary Public

2/17/13

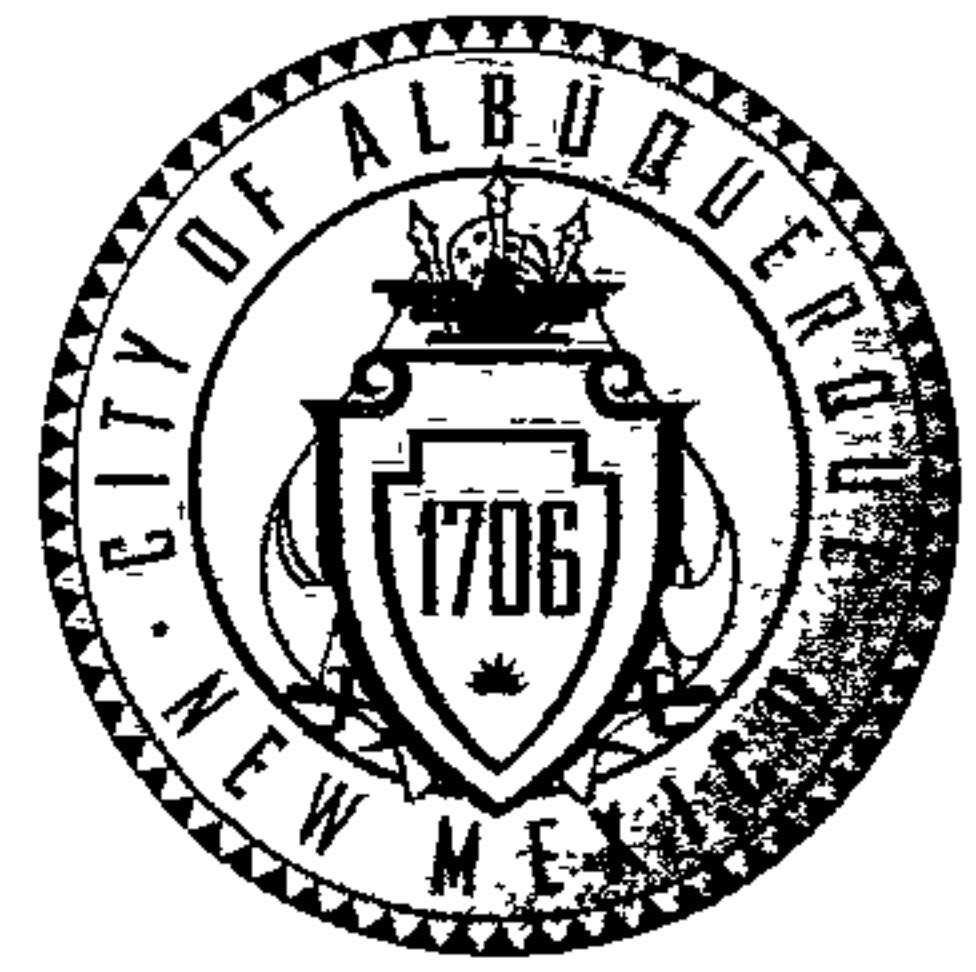


Doc# 2012103353

10/03/2012 11:48 AM Page 1 of 1
OCD R \$25.00 M Toulouse Oliver, Bernalillo County



CITY OF ALBUQUERQUE



December 7, 2012

J. David Hickman, R.A.
Core Ltd.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

**Re: Atrisco Apartments, 1720 Atrisco Dr NW, Traffic Circulation Layout
Architect's Stamp dated 11-27-12 (H11-D068)**

Dear Mr. Hickman,

Based upon the information provided in your submittal received 11-28-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

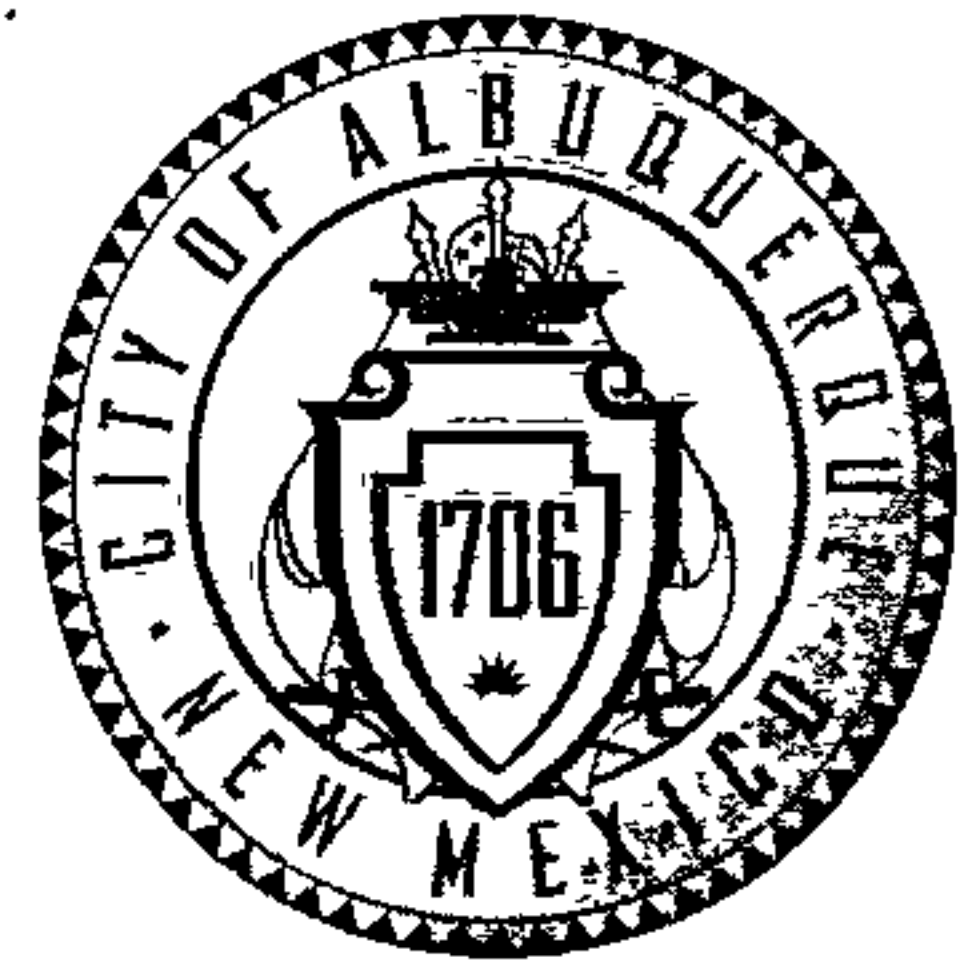
Albuquerque

NM 87103

www.cabq.gov

1. Clearly show existing versus proposed conditions. The current TCL submitted is unclear. For example: indicate limits and widths of existing sidewalk to remain, limits and widths of proposed sidewalks, existing drivepad to be removed and replaced with sidewalk/curb & gutter and existing asphalt and proposed asphalt. The hatching type indicating concrete and asphalt does not clarify between proposed and existing. For example, the existing drivepad and abutting sidewalks are hatched "asphalt." City of Albuquerque Standards require that these items be concrete.
2. Define the width of all sidewalk, existing and proposed.
3. Is the entire parking area going to be repaved?
4. Is there existing sidewalk along the full length of the Atrisco frontage? According to aerial view, there is no sidewalk to the north of existing drivepad. Please Clarify.
5. Provide build notes, referring to the appropriate City Of Albuquerque Standard Drawings (COA std. dwgs) for all proposed infrastructure in the City right of way (ROW) (curb cuts, sidewalk, etc.).
6. Per the *Development Process Manual*, Chapter 23, Section 6, Part B.17, "Any drivepads that are abandoned must be replaced with sidewalk, curb and gutter by the property owner." Please indicate drivepad to be removed and reference COA std. dwgs for proposed infrastructure to replace drivepad (for example: replace with Standard Curb & Gutter per COA dwg #2415A and 4' wide Sidewalk per COA dwg#2430).

CITY OF ALBUQUERQUE



7. Clarify existing conditions along Alamogordo Drive. The emails included with this submittal are unclear; is Alamogordo Drive being vacated?
8. Clearly show the property line along all frontages. The general note provided that references a property line along Atrisco Dr is unclear. Does the property line along Atrisco Dr. frontage lie along the inside edge of the COA ROW sidewalk? If the public sidewalk is currently located outside City of Albuquerque right of way, a public sidewalk easement will be required. Please clarify location of property line.
9. The trash enclosures are not drawn to scale in the TCL layout. The northern trash enclosure appears to reduce the drive aisle to approximately 19-20 feet when drawn to scale. Two-directional traffic requires a minimum 24-foot wide aisle width. Please provide a layout to scale and provide drive aisle widths.
10. Recent GIS information indicates that this site consists of 5 or 6 lots. Show all lot lines on the plan. Will this site be replatted? If not, cross access easements are required.

PO Box 1293

If you have any questions, you can contact me at 924-3991.

Sincerely,

Albuquerque

NM 87103

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: File



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Atrisco Apartments ZONE MAP: H-11/D068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Southerly portion of lots 37-41, Palisades Addition
CITY ADDRESS: 1720 Atrisco Drive NW, ABQ, NM 87105

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: 1720 Atrisco Drive NW PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: CORE Architecture LLC. *email: ubaldo@jebsandzuzu.com* CONTACT: David Hickman
ADDRESS: 11030 Menaul Blvd, Ste. C PHONE: 797-1318
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

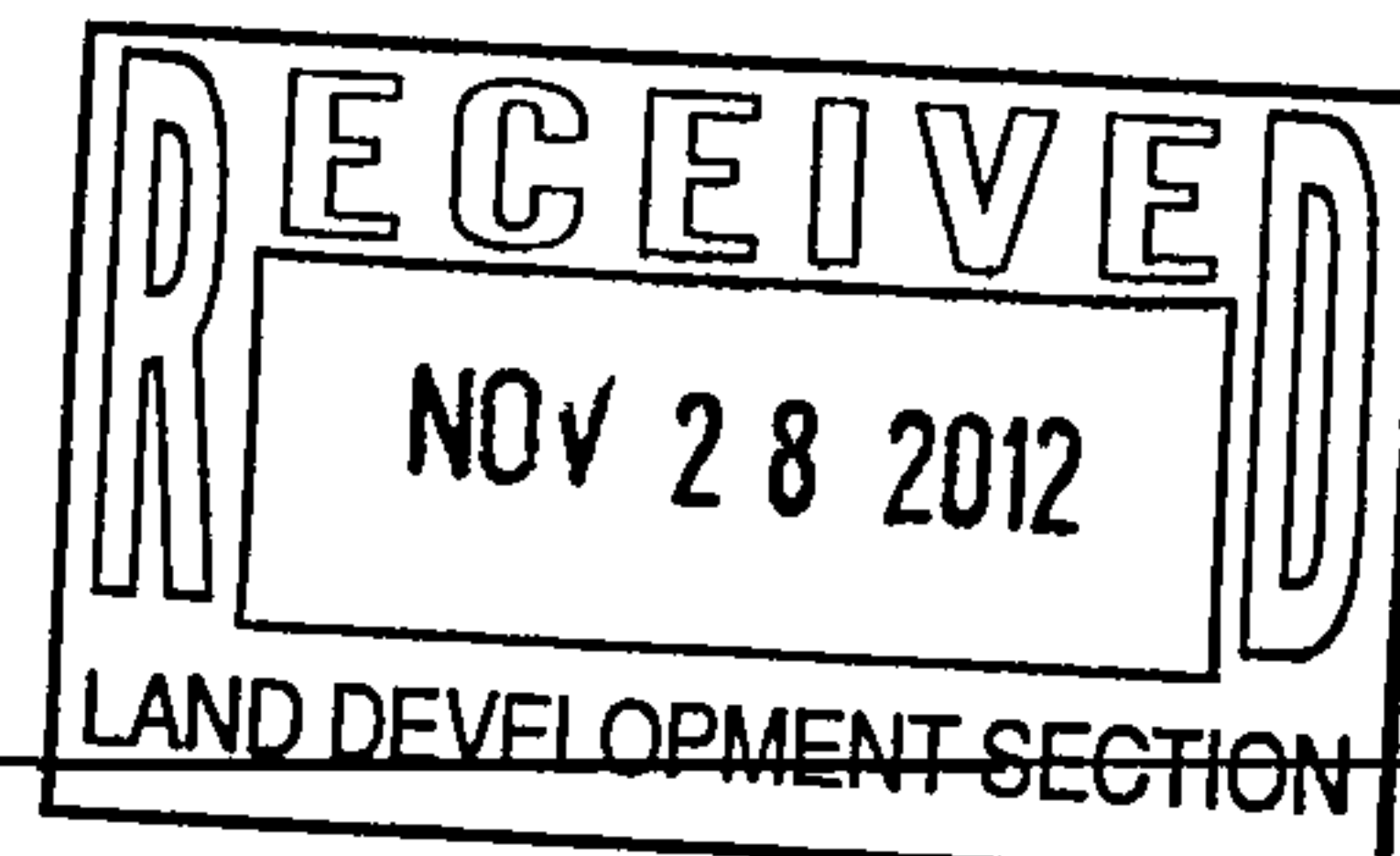
TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 11/28/2012 BY: Ubaldo Muñoz



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

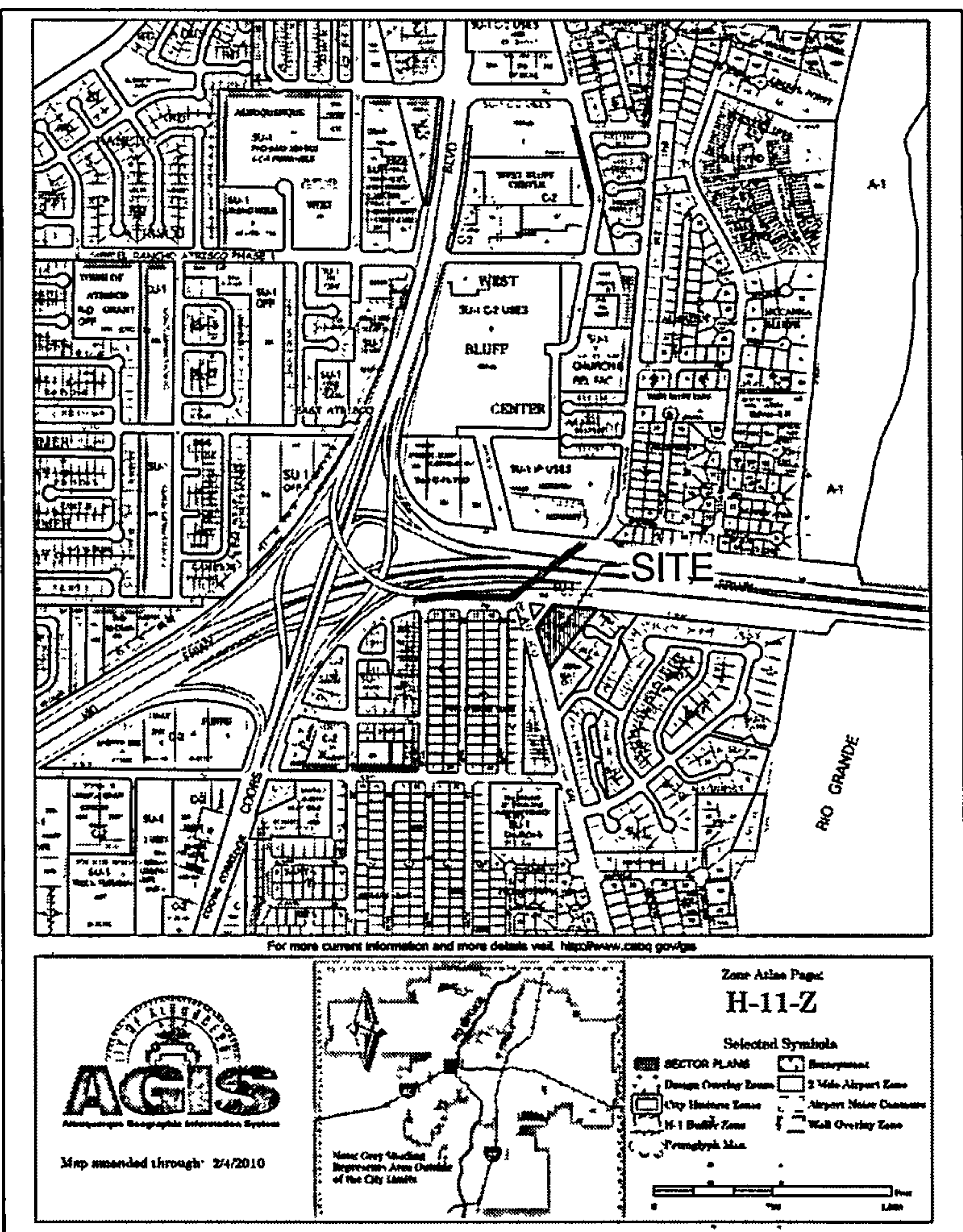
ATRISCO APARTMENTS

2 Bedroom Building and 1&3 Bedroom Building
Albuquerque, New Mexico

DRAWING INDEX

CVR	COVER SHEET
	CIVIL - SITE
C1.0	Grading & Drainage Plan
A0.0	Architectural Site Plan
	STRUCTURAL
S1.0	Foundation Floor Plans
S1.1	Framing Floor Plans - 2 Bedroom Building
S1.2	Framing Floor Plans - 1&3 Bedroom Building
	ARCHITECTURAL
A1.0	2 Bedroom Noted Floor Plans
A1.1	2 Bedroom Dimensioned Floor Plans
A1.2	1&3 Bedroom Noted Floor Plans
A1.3	1&3 Bedroom Dimensioned Floor Plans
A2.0	2 Bedroom Building Elevations
A2.1	1&3 Bedroom Building Elevations
A3.0	2 Bedroom Building Sections
A3.1	1&3 Bedroom Building Sections
A3.2	Building Wall Sections
A4.0	ADA Sheet
A4.1	Enlarged Floor Plans
A4.2	Enlarged Floor Plans
A4.3	Enlarged Interior Elevations
A5.0	Door Schedule
A5.1	Window and Finish Schedules and Details
A6.0	Building Roof Plan
	PLUMBING PLAN
P1.0	Plumbing Floor Plans - 2 Bedroom Building
P1.1	Plumbing Floor Plans - 1&3 Bedroom Building
P1.2	Plumbing Waste Plans - 2 Bedroom Building
P1.3	Plumbing Waste Plans - 1&3 Bedroom Building
	MECHANICAL
M1.0	Typical Mechanical Floor Plans and Schedule
M1.1	Typical Mechanical Floor Plan and Schedule
	ELECTRICAL
E1.0	Electrical & Power Plan - 2 Bedroom Building
E1.1	Electrical & Power Plan - 1&3 Bedroom Building

ZONE ATLAS H-11-Z



SCOPE OF WORK:

THIS PROJECT CONSISTS OF THE REPLACEMENT CONSTRUCTION OF TWO RESIDENTIAL APARTMENTS BUILDINGS WHICH WERE DEMOLISHED DUE TO FIRE.

NEW WORK SHALL ENTAIL THE RECONSTRUCTION OF THE BUILDINGS TO INCLUDE NEW FOUNDATIONS, THE COMPLETION OF THE PARKING LOT WHICH LACKED DEMARCATION AND ACCESSIBLE PARKING SPACES, THE INSTALLATION OF SITE PERIMETER TREES AS BASED ON THE NEED FOR A REVISED PARKING LOT, AND THE CONSTRUCTION OF NEW TRASH ENCLOSURES AS NONE EXISTED PRIOR TO THE FIRE.

THE EXISTING LANDSCAPING WHICH REMAINS SHALL BE FORTIFIED AND MAINTAINED. THE EXISTING TWO BUILDINGS NOT DAMAGED BY FIRE SHALL REMAIN AND ARE BEING REPAIRED AND RENOVATED UNDER SEPERATE PERMIT.

DESIGN CRITERIA

A. ZONING DESIGN CRITERIA

- LEGAL DESCRIPTION.....
The Southerly Portions of Lots 37-41, Palisades Addition
Site Area = 1.58 Acres, (68,800 sq ft)

- ZONING CLASSIFICATION..... R-2
- PERMITTED AND ACTUAL USE..... APARTMENTS

B. ARCHITECTURAL DESIGN CRITERIA

- OCCUPANCY GROUP..... R-2
- CONSTRUCTION TYPE..... VB

3	FLOOR AREAS:	
	UNIT AREA:	
	1 BEDROOM UNIT (4 UNITS).....	536 SF
	2 BEDROOM UNIT (7 UNITS + 1 ADA UNIT).....	745 SF
	3 BEDROOM UNIT (3 UNITS + 1 ADA UNIT).....	936 SF
	TOTAL NUMBER OF UNITS.....	16

	BUILDING AREA	
	1&3 BEDROOM BUILDING FIRST LEVEL FLOOR.....	3,040 SF
	1&3 BEDROOM BUILDING SECOND LEVEL FLOOR.....	3,040 SF
	TOTAL 1&3 BEDROOM BUILDING FLOOR AREA.....	6,080 SF

	2 BEDROOM BUILDING FIRST LEVEL FLOOR.....	3,040 SF
	2 BEDROOM BUILDING SECOND LEVEL FLOOR.....	3,040 SF
	TOTAL 2 BEDROOM BUILDING FLOOR AREA.....	6,080 SF

	LOUNDRY AND MAINTENANCE OFFICE.....	432 SF
	TOTAL BUILDING LIVABLE AREA.....	12,592 SF

- OCCUPANT LOADING OF NEW BUILDING
Total building livable area / 200 Gross Sq. Ft. of Floor area per Occupant = Occupant Loading
12,592/200 gross = 62.96 Occupant Load

- BUILDING LOADS:
ROOF LIVE LOAD..... 20 PSF
FLOOR LIVE LOAD..... 40 PSF
WIND / EXPOSURE..... 90MPH / B

MATERIAL:
LUMBER SPF NO.2 UNLESS OTHERWISE NOTED
CONCRETE 3,000 PSI
STRUCTURAL STEEL A36

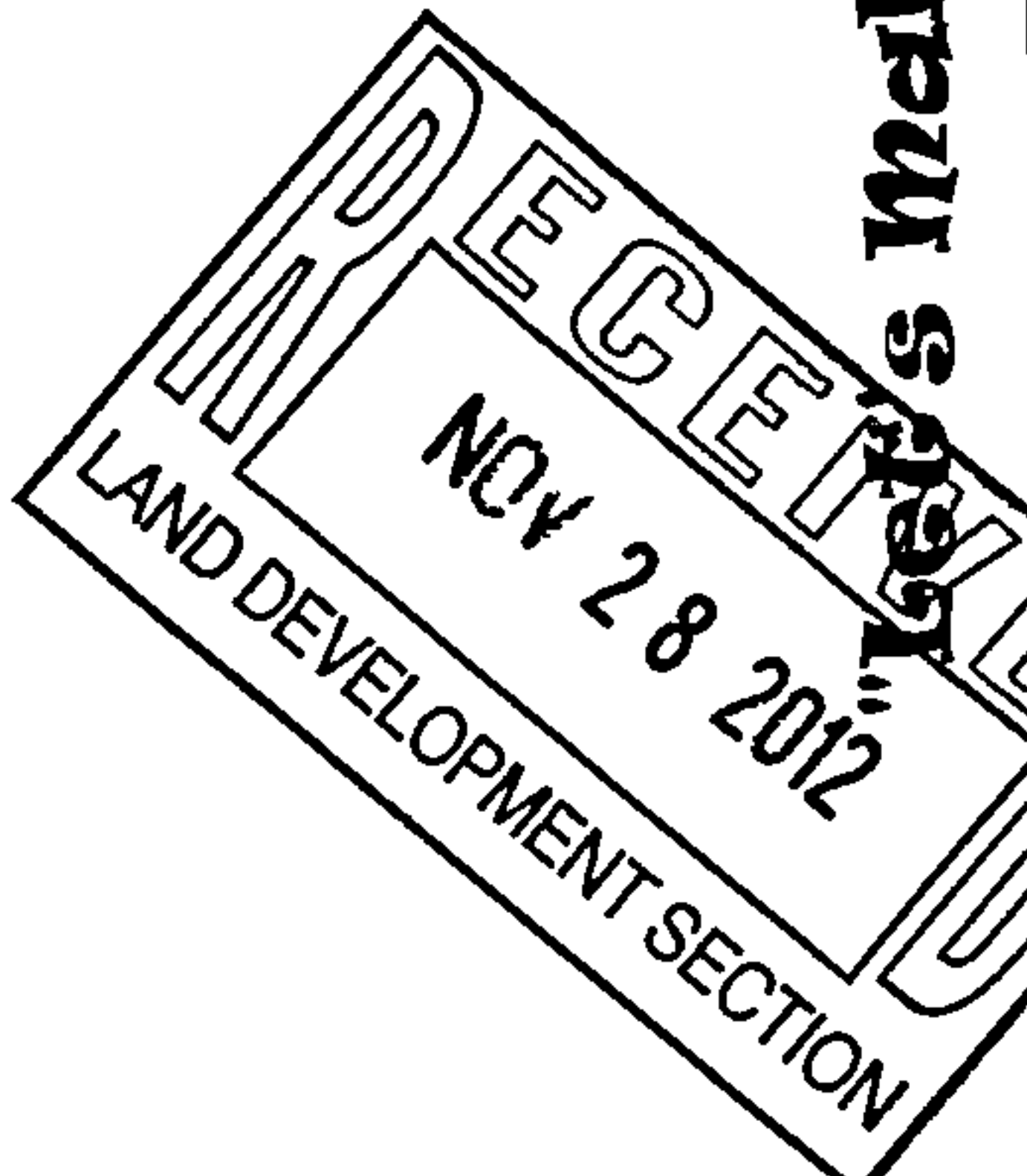
GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH 2009 IBC, 2009 UPC, 2009 UMC, 2009 IECC, AND 2011 NEC REQUIREMENTS. IN ADDITION, CONSTRUCTION SHALL CONFORM LOCAL PERMITTING REQUIREMENTS.

- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES

- UNITS TO BE SPRINKLED WITH NEW FIRE SAFETY SYSTEM SEE PLANS FOR DETAILS. WHOLE SYSTEM TO BE MONITORED BY PROPERTY MANAGEMENT OR MAINTNANCE CREW.

- ORIGINAL BUILDINGS BURN DATE: JANUARY 26, 2012



Let's make it Fun"

CORE Design
Custom Homes llc

5924 ANAHEIM AVE., NE. SUITE A
ALBUQUERQUE, NM 87113
P. 505-796-0894
F. 505-796-0896

Job no: 2012-104
drawn: CORE
checked: JDH
date: November 27, 2012

www.funhomedesign.com

ATRISCO APARTMENTS

NEW BUILDINGS

1720 Atrisco Dr. NW

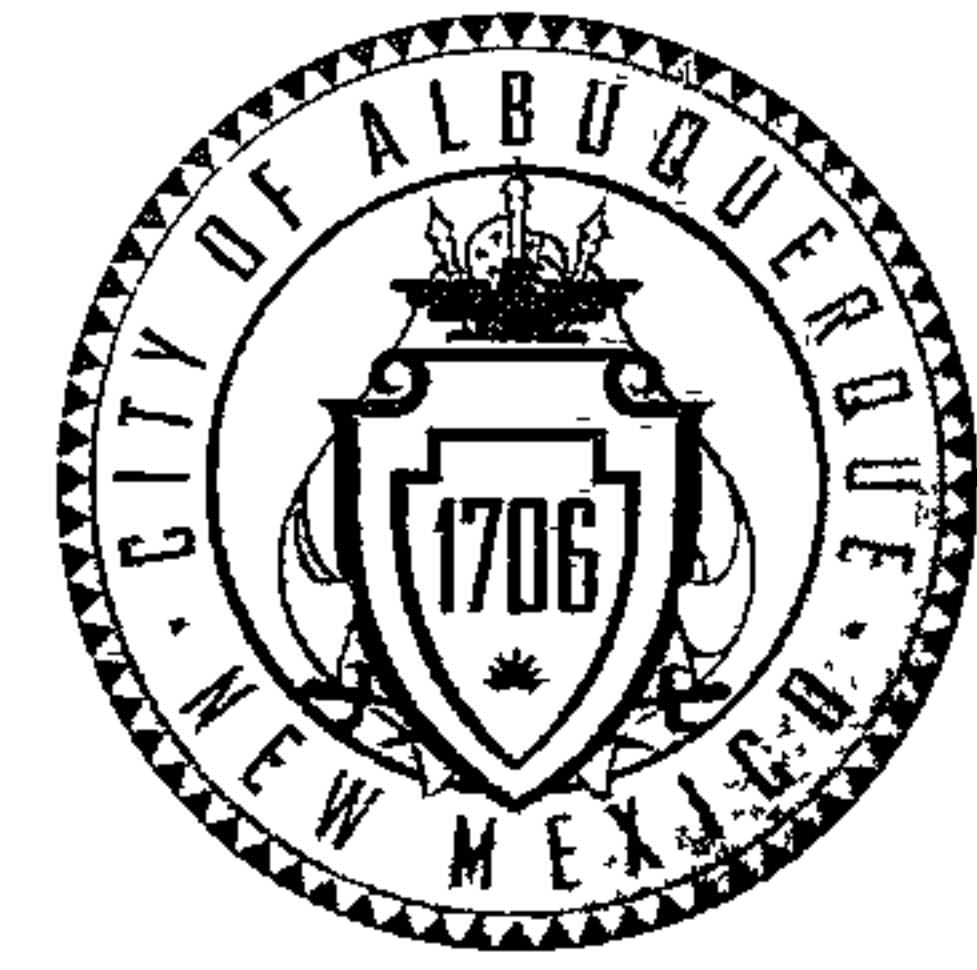
Albuquerque, NM 87105

Cover Sheet

sheet no:

CVR

CITY OF ALBUQUERQUE



December 14, 2012

J. David Hickman, R.A.
Core Ltd.
11030 Menaul Blvd NE Ste C
Albuquerque, NM 87112

Re: Atrisco Apartments, 1720 Atrisco Dr NW, Traffic Circulation Layout
Architect's Stamp dated 12-14-12 (H11-D068)

Dear Mr. Hickman,

The TCL submittal received 12-14-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following item must be completed:

- The final plat must be completed. Provide a recorded copy of the plat.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

12/5/13 - Need stamped
certification, red-lined
approved TCL
12/9/13 - Approved for
Final CO

Metro, Kristal D.

From: Montoya, Monica T.
Sent: Wednesday, December 12, 2012 4:01 PM
To: Metro, Kristal D.
Cc: Bargas, Valerie J.; Dunning, Karen L.; 'Chuck Sheldon'
Subject: replat 1720 Atrisco Dr.

Hello Kristal,

The City commits to immediately starting the replat of 1720 Atrisco lots 37,38,39,40 and 41. This should be completed by the time the Certificate of Occupancy is issued. Also, the City will submit an application for the vacation of Alamogordo Dr.

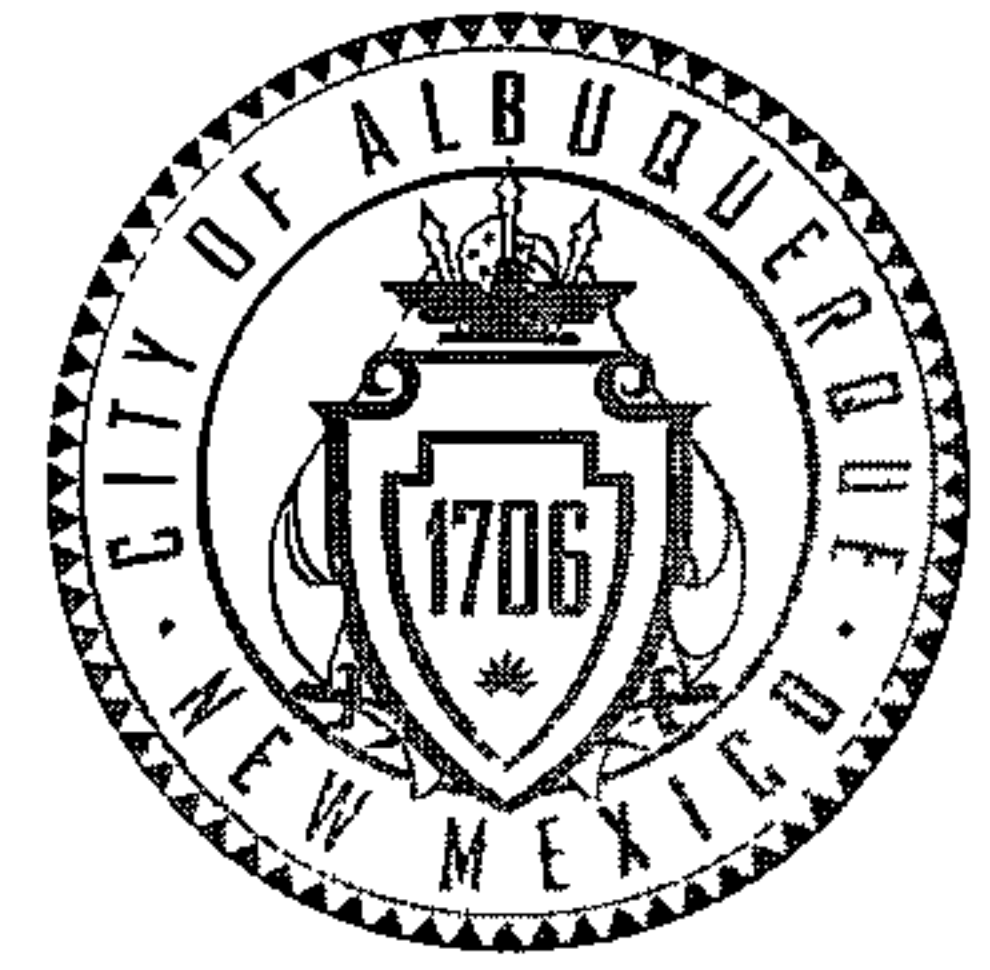
Thank you for all off your help today, it is very much appreciated.

Monica Montoya | Manager | Neighborhood Stabilization | City of Albuquerque
Office of Neighborhood Revitalization | Department of Family & Community Services
700 4th Street, SW, Albuquerque, NM 87102 | Office: 767-5838 | Email: mtmontoya@cabq.gov



12/14/2012

CITY OF ALBUQUERQUE



October 24, 2012

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Atrisco Apartments, 1720 Atrisco Drive NW,
Grading and Drainage Plan
Engineer's Stamp Date 10/4/2012 (H11/D068)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 10/4/12, the above referenced plan is approved for Building Permit and SO-19 Permit. Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit. The permit is available online at <http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf>

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a permanent Certificate of Occupancy, the storm drain work (individualize) in the City ROW must be inspected and accepted. Please contact Martin Pacheco, 235-8016, to schedule an inspection. Also, prior to CO a cross lot drainage easement must be provided.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

RER/SB
C: e-mail
Antoinette Baldonado, Excavation and Barricading
Martin Pacheco, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Atrisco Apartments ZONE MAP: H-11/D068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Southerly portion of lots 37-41, Palisades Addition
CITY ADDRESS: 1720 Atrisco Drive NW, ABQ, NM 87105

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: 1720 Atrisco Drive NW PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: Jeebs & Zuzu CONTACT: David Hickman
ADDRESS: 11030 Menaul Blvd, Ste. C PHONE: 797-1318
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
XX GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
XX BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
XX OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

X YES

____ NO

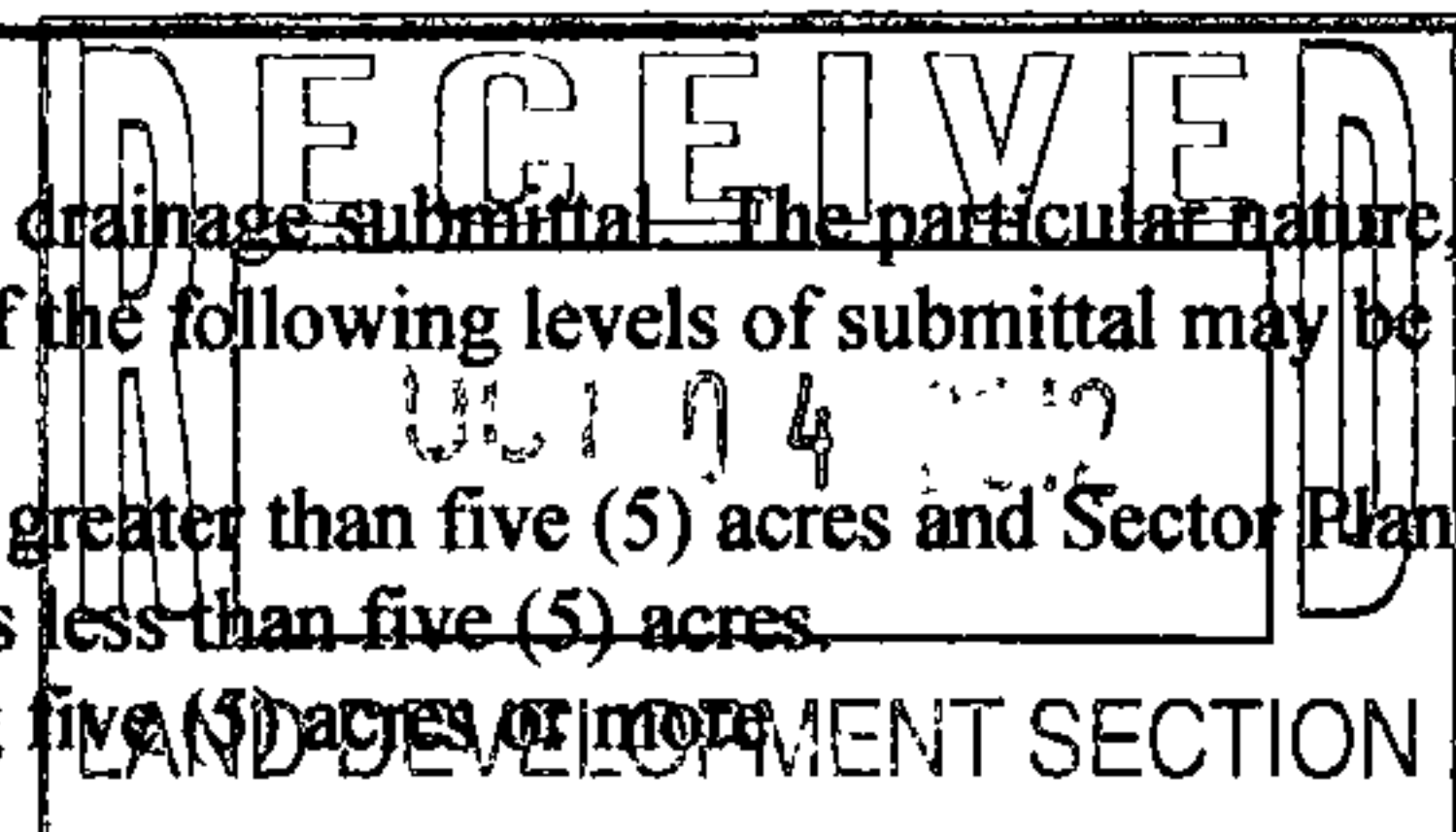
____ COPY PROVIDED

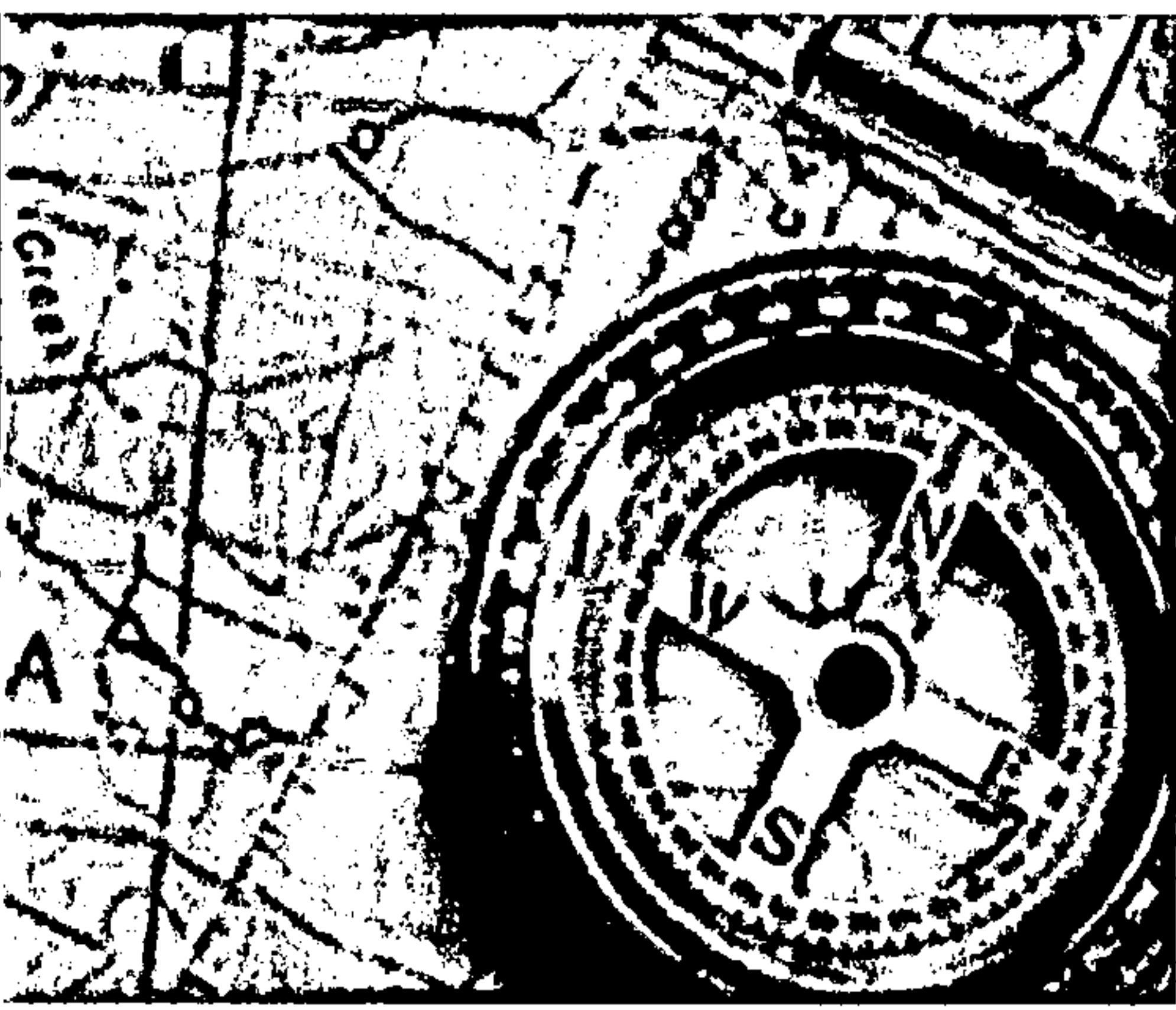
RESUBMITTAL

DATE SUBMITTED: 4 10/5/2012 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





SCOTT M MCGEE PE, LLC
CIVIL ENGINEER

FROM PROJECT INCEPTION TO
CONSTRUCTION COMPLETION

October 4, 2012

Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
Albuquerque, NM 87103

RE: ATRISCO APARTMENTS (H11/ D068)

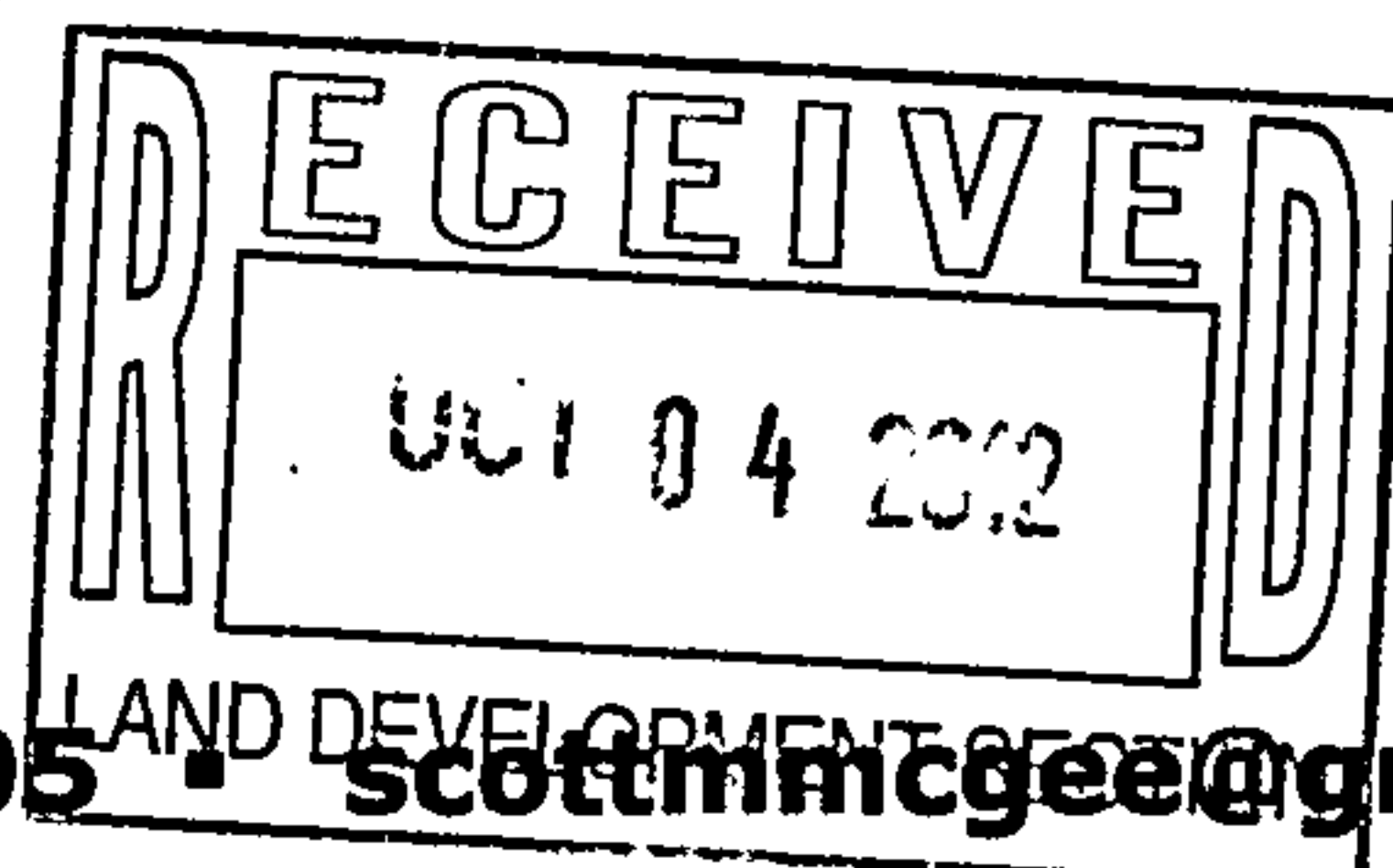
Dear Mr. Biazar,

I am submitting a revised Grading plan for the proposed apartment building project. Thank you for your review comments of August 15, which have been addressed as follows:

- < Drainage basins have been identified with flow rates and volumes provided.
- < Pond volumes have been noted.
- < The high point has been labeled and flow arrows corrected.
- < Landscape areas have been indicated depressed where possible.
- < Sidewalk culvert capacity for 18" by 6" height based on Manning's equation is:
 $Q = (1.49 / 0.015)(0.75)(0.448)(0.10) = 3.3 \text{ CFS}$
Sidewalk culvert capacity for 12" by 6" height based on Manning's equation is:
 $Q = (1.49 / 0.015)(0.50)(0.397)(0.10) = 2.0 \text{ CFS}$
- < The curb, gutter, and sidewalk along Atrisco Drive are all existing and additional linework has been deleted to clarify.
- < The easterly proposed sidewalk culvert has been revised.
- < The City STD DWG NO. has been referenced for the proposed sidewalk culverts.
- < The City is in the process of issuing a deed for the east 1/2 of Alamogordo Drive.

I can be reached either by phone or e-mail if needed to answer questions.
Thank you.

Scott M McGee PE



J. David Hickman, R.A.
Core Ltd.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Dear Mr. Hickman,

PO Box 1293

Albuquerque

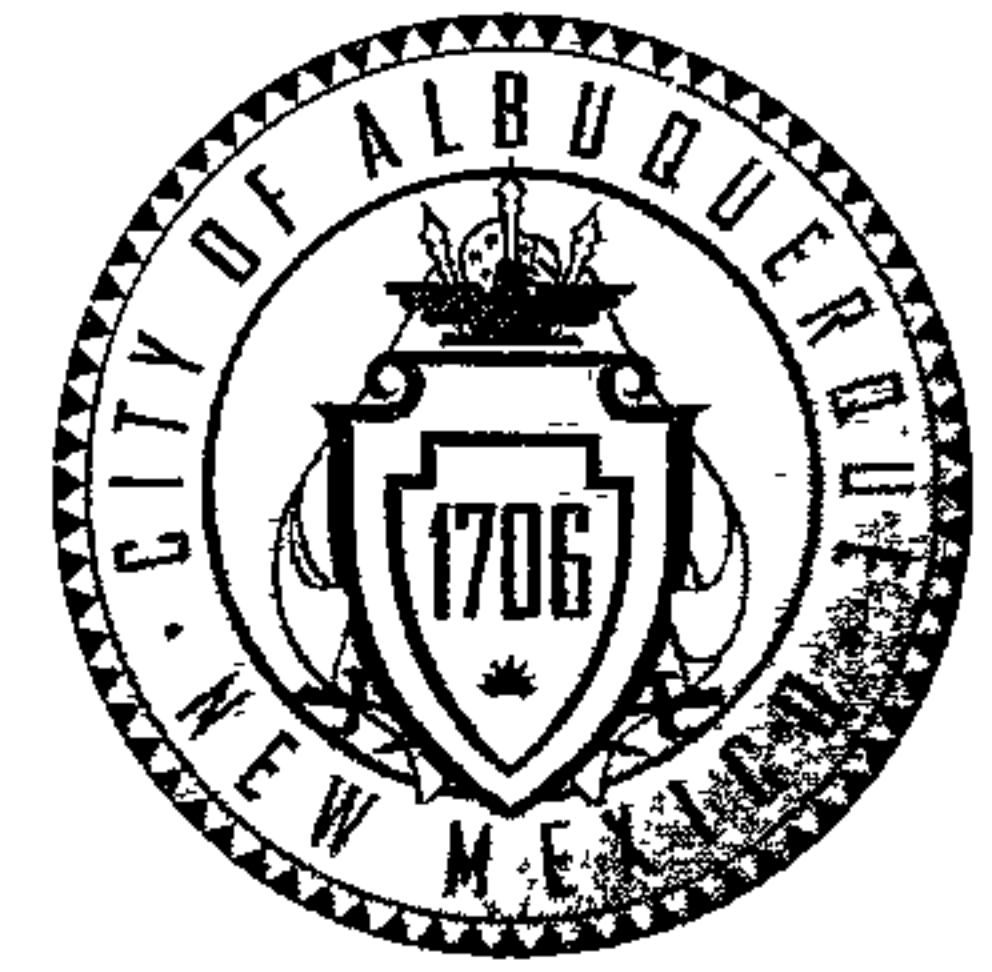
NM 87103

www.cabq.gov

1. Clearly show existing versus proposed conditions. For example: indicate existing sidewalk to remain, existing drivepads to remain, existing drivepad to be removed and replaced with sidewalk/curb & gutter, existing asphalt and proposed asphalt.
2. Include a vicinity map and the legal description on the TCL.
3. Provide a build note, referring to the appropriate City Of Albuquerque Standard Drawings for all proposed infrastructure in the City right of way (curb cuts, sidewalk, etc.).
4. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
5. Please list the width and length for all parking spaces. Min. 8'-6" x 18'
6. Define width of all sidewalks, proposed and existing.
7. List the width of the proposed curb cuts.
8. The TCL includes two ADA ramp details (numbers 2 and 6) but they are not referenced on TCL site plan. Please clarify the proposed locations.
9. The ADA handicap parking spaces must be clearly identified on the TCL.
10. The striped access aisle for the ADA accessible parking does not count as a parking stall. Please amend the notes and parking calculations accordingly.
11. There is a discrepancy between the number of parking spaces provided on the TCL layout and the proposed parking listed in the general notes.
12. List the width of the existing drivepad.
13. Per the *Development Process Manual*, Chapter 23, Section 6, Part B.17, "Any drivepads that are abandoned must be replaced with sidewalk, curb and gutter by the property owner."

and gutter by the prop
 close; not close

CITY OF ALBUQUERQUE



Not Addressed

14. Clarify existing conditions along Alamogordo Drive. The emails included with this submittal are unclear; is Alamogordo Drive being vacated?

15. Clearly show the property line along all frontages.

16. The trash enclosures are not drawn to scale in the TCL layout. The northern trash enclosure appears to reduce the drive aisle to approximately 19-20 feet when drawn to scale. Two-directional traffic requires a minimum 24-foot wide aisle width. Please provide a layout to scale and provide drive aisle widths.

Not Addressed

17. Recent GIS information indicates that this site consists of 5 lots. Show all lot lines on the plan. Will this site be replatted? If not, cross access easements are required.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

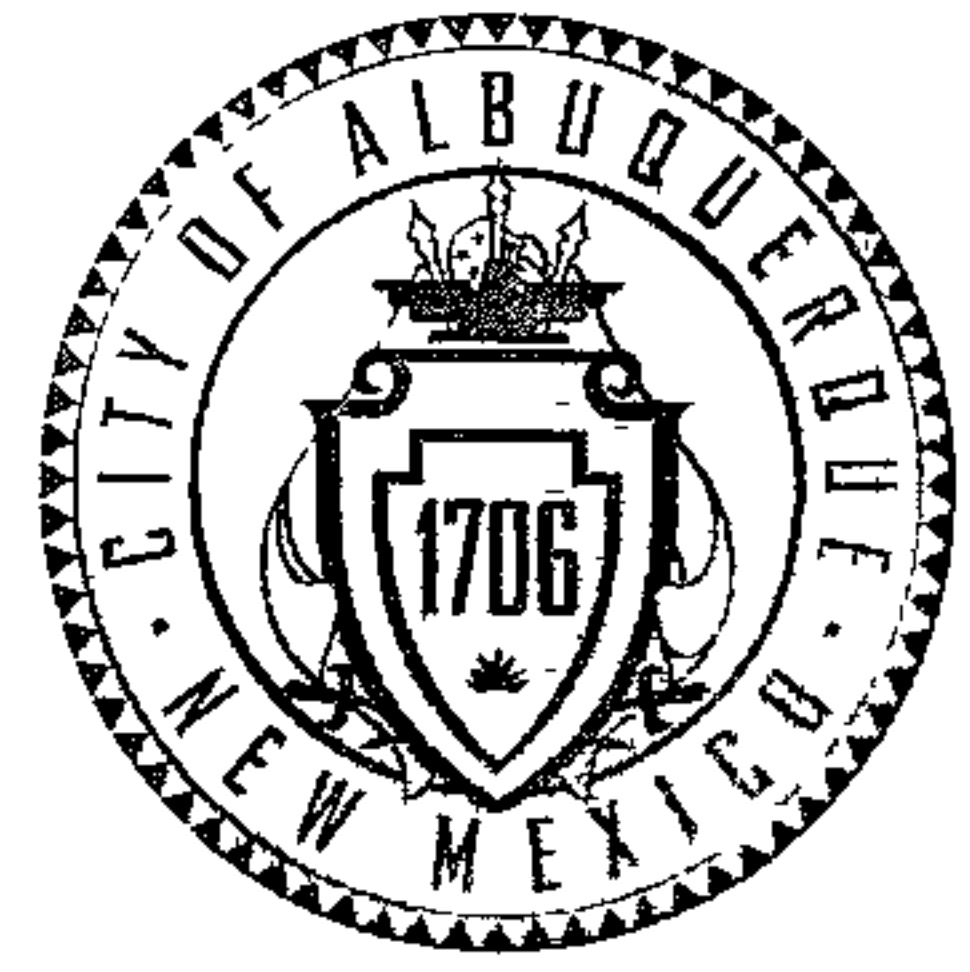
Albuquerque

C: File

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 22, 2012

J. David Hickman, R.A.
Core Ltd.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

**Re: Atrisco Apartments, 1720 Atrisco Dr NW, Traffic Circulation Layout
Architect's Stamp dated 06-26-12 (H11-D068)**

Dear Mr. Hickman,

Based upon the information provided in your submittal received 07-11-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. A north arrow must be shown on the plan.
2. Please show a vicinity map.
3. Provide the legal description on the plan.
4. Clearly show existing versus proposed conditions.
5. Recent GIS information indicates that this site consists of 5 lots. Show all lot lines on the plan. Will this site be replatted? If not, cross access easements are required.
6. The entire lot must be shown on the plan.
7. Define the width of all sidewalk, both proposed and existing.
8. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
9. The end of aisle islands appear to provide insufficient length for the adjacent parking stalls. Please refer to Figure 23.7.2, *End of Aisle Islands*, from the *Development Process Manual* for reference.
10. Please list the width and length for all parking spaces.
11. Per the *Development Process Manual*, Chapter 23, Section 6, Part B.17, "Any driveways that are abandoned must be replaced with sidewalk, curb and gutter by the property owner."
12. Show all ramps and provide details.
13. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
14. Please note that the van access aisle for the ADA accessible parking does not count as a parking stall.
15. Two-directional traffic requires a minimum 24-foot wide aisle width.
16. Sidewalk must be built along the entire roadway frontage.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



17. Clarify existing conditions along Alamogordo Drive.
18. Keyed note 02770.A1 and 03310.J5 appear to conflict.
19. Clearly show the property line along all frontage.
20. Provide a legend, defining all legends and hatching.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: Atrisco Apartments ZONE MAP: H-11/DCE
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Southerly portion of lots 37-41, Palisades Addition
CITY ADDRESS: 1720 Atrisco Drive NW, ABQ, NM 87105

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: 1720 Atrisco Drive NW PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: CORE Architecture LLC. CONTACT: David Hickman
ADDRESS: 11030 Menaul Blvd, Ste. C PHONE: 797-1318
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
XX ____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
XX ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

X YES

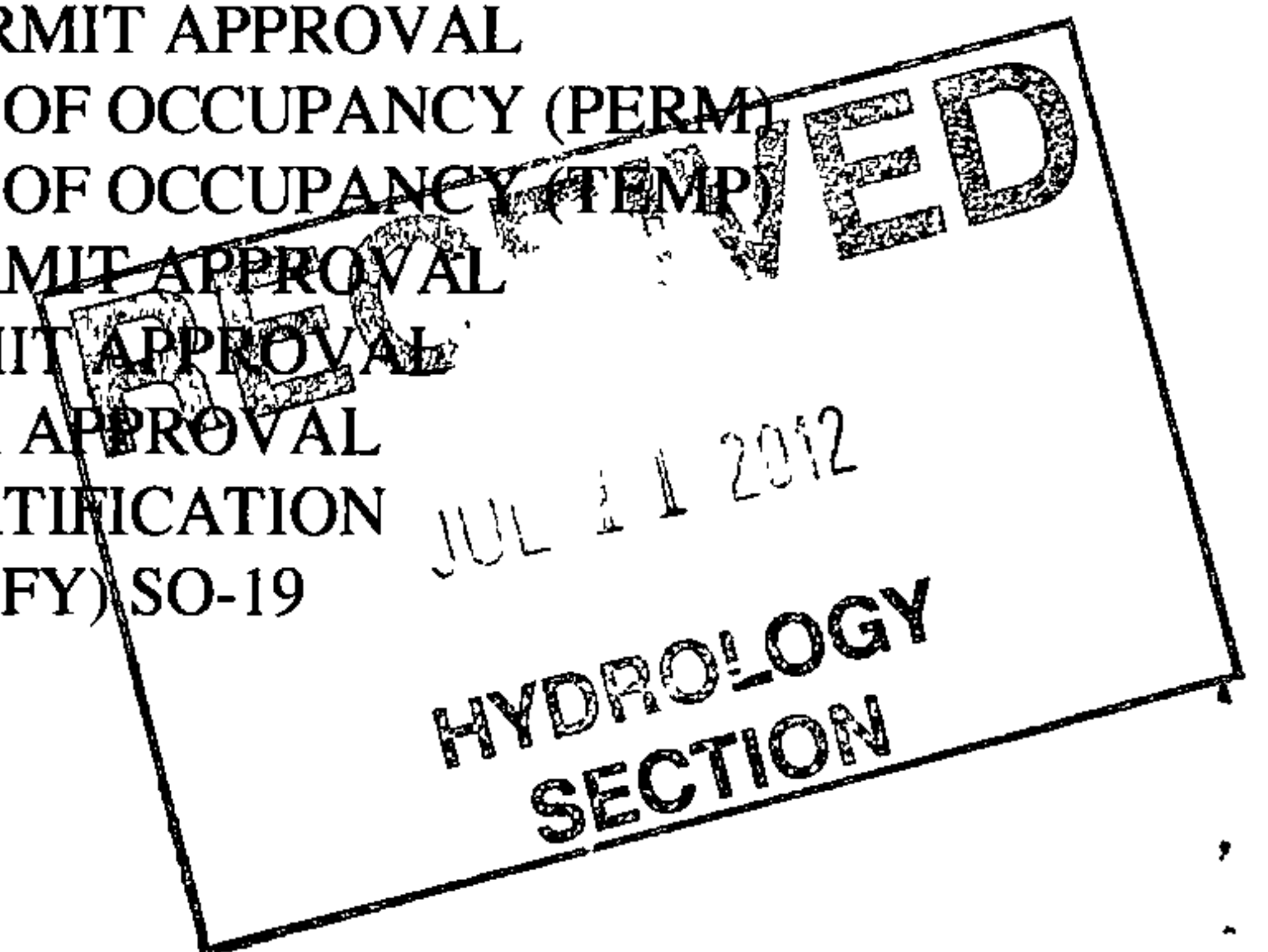
____ NO

____ COPY PROVIDED

DATE SUBMITTED: 6/29/2012 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





CITY OF ALBUQUERQUE



August 15, 2012

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Atrisco Apartments, 1720 Atrisco Drive NW,
Grading and Drainage Plan
Engineer's Stamp Date 6/28/2012 (H11/D068)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 07-11-2012, the above referenced plan can not be approved for Building Permit and SO-19 Permit until the following comments have been addressed:

- Show the amount runoff draining to the northerly pond.
- Provide pond volume calculations for all the ponds.
- Clearly show the high point on site. Some of the flow arrows directions may have to be changed.
- Depressed all landscaping areas where possible.
- Provide sidewalk culvert capacity calculations.
- Is the curb and gutter along Atrisco Dr. exiting? Please show the full extends of the curb and gutter.
- Extend the easterly sidewalk culvert to the face of the curb.
- Call out the City of Albuquerque Standard Drawing number for the sidewalk culvert. Also include a note that the bolts be tack welded at the plates.
- Encroachment Agreement with City of Albuquerque will be required for the westerly parking area outside of the property line. Please contact Jane Rael at 924-3992 in regards to the Encroachment Agreement.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: Atrisco Apartments ZONE MAP: H-11/D 068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Southerly portion of lots 37-41, Palisades Addition
CITY ADDRESS: 1720 Atrisco Drive NW, ABQ, NM 87105

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: 1720 Atrisco Drive NW PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: CORE Architecture LLC. CONTACT: David Hickman
ADDRESS: 11030 Menaul Blvd, Ste. C PHONE: 797-1318
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
XX ____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY)

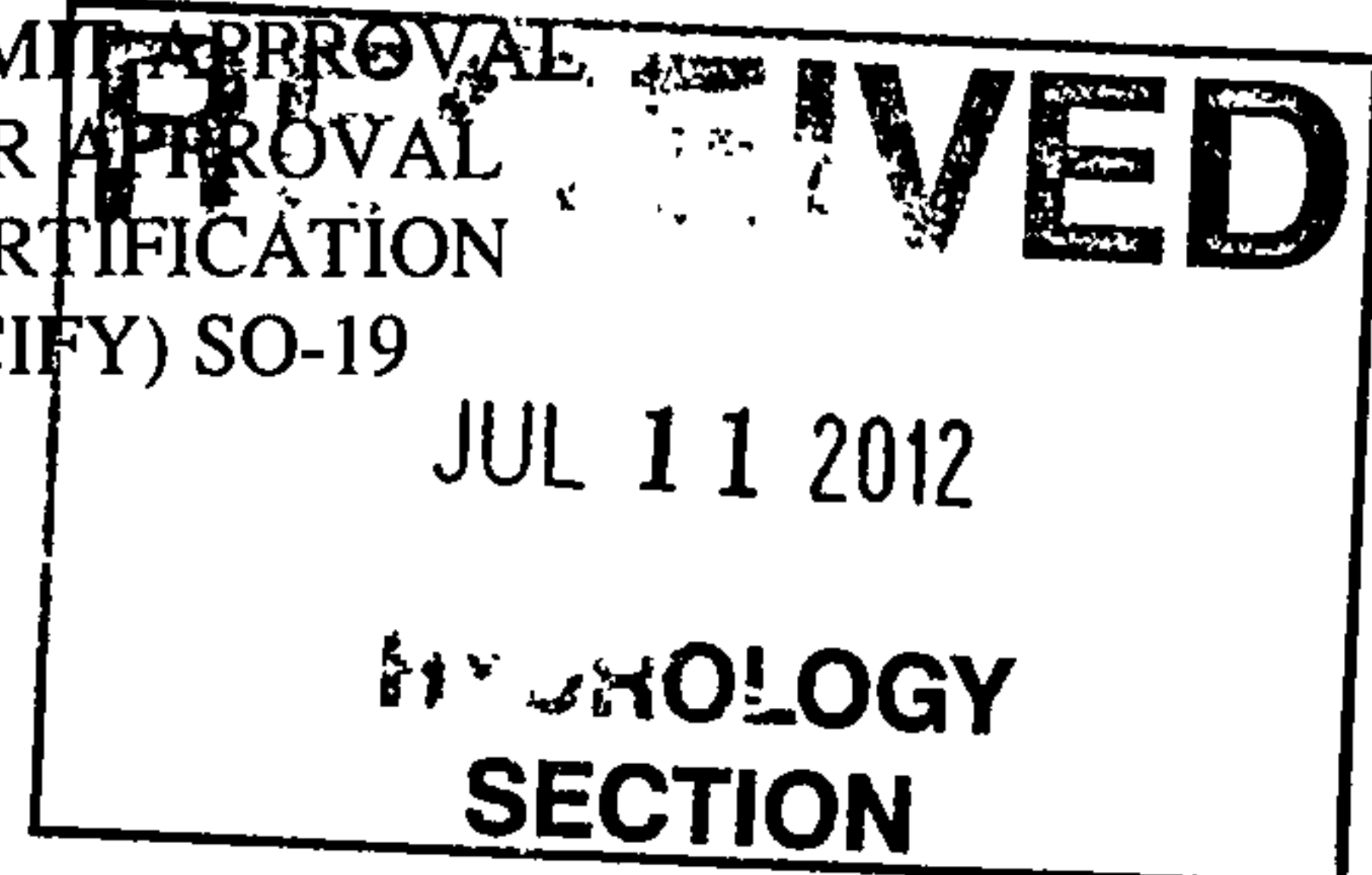
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
XX ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
XX ____ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ X ____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 6/29/2012 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: 5-31-12
CONFERENCE RECAP

ZONE ATLAS PAGE NO: ~~1111~~ / 1068
DRAINAGE FILE: Hu / 1068 - 2
ZONING: R-2?
DRB: NA
SUBJECT: replace two bldgs that burned down
STREET ADDRESS (IF KNOWN): 1720 Arisco Dr NW
SUBDIVISION NAME: _____

APPROVAL REQUESTED: Bldg permit

ATTENDANCE: Scott McGee, Dave Hickman, Curtis Cherne

FINDINGS:

Side to drain to Arisco Dr. at historic
flow rates.

Provide water harvesting in landscape areas
where feasible.

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Curtis A. Cherne
NAME (PRINT): Curtis A. Cherne

SIGNED: Scott McGee
NAME (PRINT): SCOTT MCGEE

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.