

KEYED NOTES

- A. SIDEWALK CULVERTS SHALL BE BUILT PER COA
STD DWG NO. 2236 WITH ALL COVER BOLTS
TACK WELDED TO PLATES.

WORK WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. An excavation permit will be required before beginning any work within City R/W.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
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7. Work on arterial streets shall be performed on a 24-hour basis.

LEGEND

---10---	EXISTING CONTOURS
---10---	PROPOSED CONTOURS
TC 0.1	TOP OF CURB
FL 99.6	FLOW LINE
FF=5100.5	FINISH FLOOR ELEVATION
◆ 12	NEW SPOT ELEVATIONS
-----	BASIN BOUNDARY
X 0.34	AS-BUILT ELEVATION

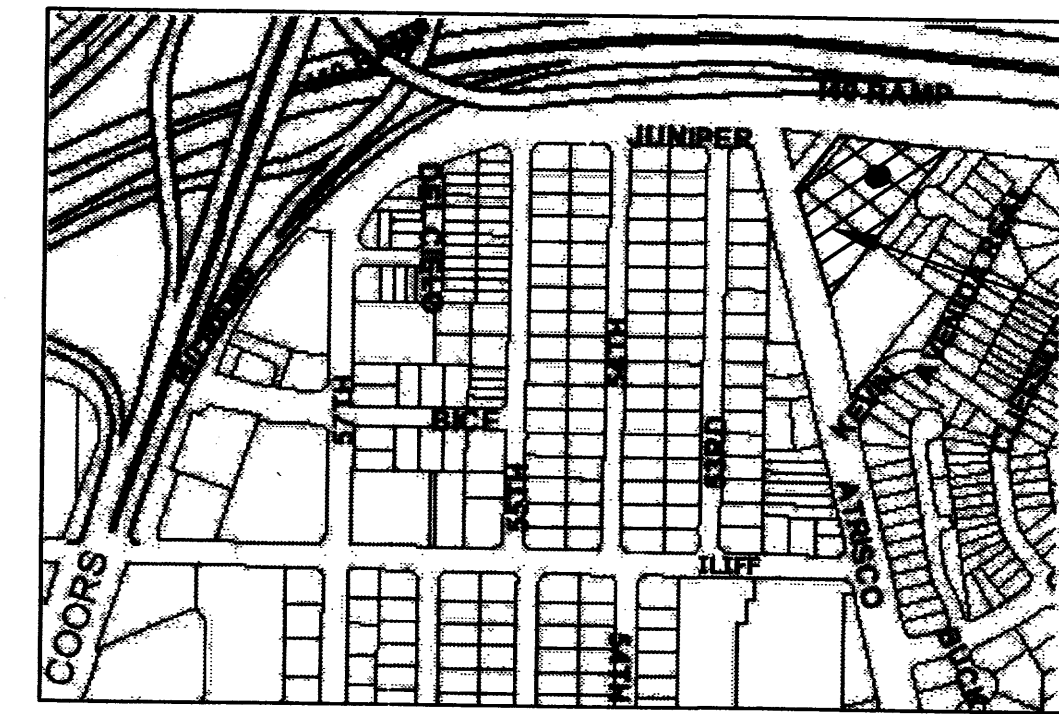
DRAINAGE CERTIFICATION

I, SCOTT M. MCGEE, NMPE 10519, OF THE FIRM SCOTT M. MCGEE P.E., LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/04/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY L. HARRIS, NMPS 11463, OF THE FIRM HARRIS SURVEYING, INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 10/22/13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

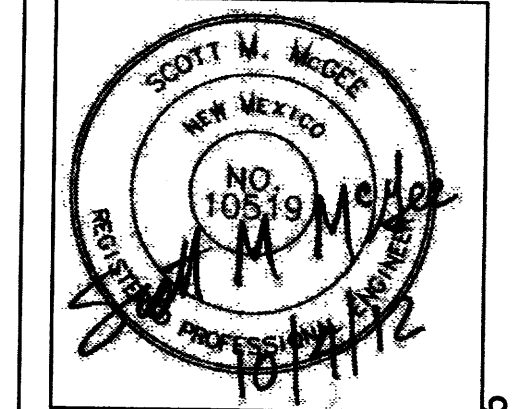
Scott M. McGee 10/23/13

SCOTT M. MCGEE NMPE 10519



VICINITY MAP H-11 NTS

"Let's make it Fun"



CORE Architecture, Inc.
5924 ANAHEIM AVE., NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-796-0894 F: 505-796-0896

LEGAL: The southerly portions of Lots 37-41, Palisades Addition

AREA: 1.58 acres (68,800 sf)

BENCHMARK: City of Albuquerque Station '2-H11' being a brass cap
ELEV= 5098.37 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated May 2012

FLOOD HAZARD: From FEMA Panel 327 (9/26/08), this site is identified as being within Zone 'X' which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing apartment complex was being renovated when the two westerly buildings burned. Two buildings and associated paved parking and landscaping remain after the two burned structures were demolished. Atrisco Drive abuts the site along the west and Interstate 40 runs along the north side of the site.

PROPOSED IMPROVEMENTS: The proposed improvements include two 10,400 sf 2-story buildings to replace the ones that were destroyed. The existing paved parking area is to be modified slightly to be more formalized. An existing landscaped courtyard area with mature trees will only be modified slightly. A depressed landscape area is proposed at the northeast end of the site which will receive developed runoff from both roof and parking areas. Once water ponds to 0.6' deep on the paving (to the high point shown), runoff will 'spill' west and be carried to Atrisco Drive. A second depressed landscape area is proposed at the south end of the site and will also drain via a sidewalk culvert to Atrisco.

DRAINAGE APPROACH: The proposed drainage plan will continue to follow historic flow paths, but new onsite depressed landscape areas provide additional detention storage volume. Runoff continues to discharge to Atrisco Drive NW.

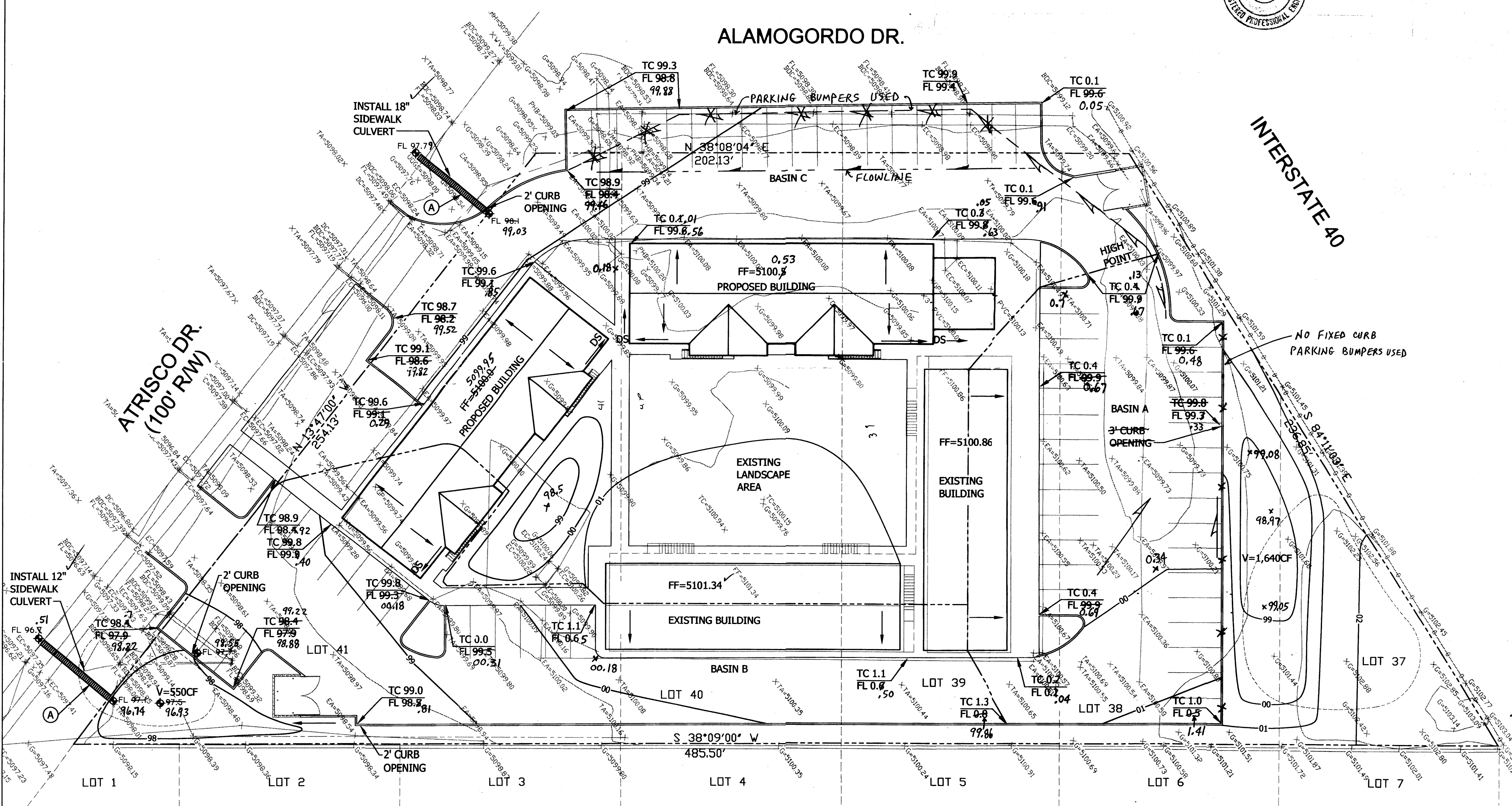
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Proposed land treatment: 14% B, 16% C, & 70% D
 $Q = [2.03(.14) + 2.87(.16) + 4.37(.70)](1.58) = 6.0$ CFS
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With the proposed landscape detention areas shown (Volume=2,190 CF), runoff is mitigated and the impact to downstream drainage facilities is minimized.

ALAMOGORDO DR.

INTERSTATE 40



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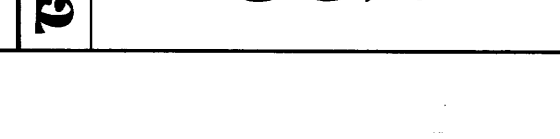
Grading & Drainage Plan

**ATRISCO APARTMENTS
NEW BUILDINGS**

sheet no:

1720 Atrisco Dr. NW
Albuquerque, NM 87105

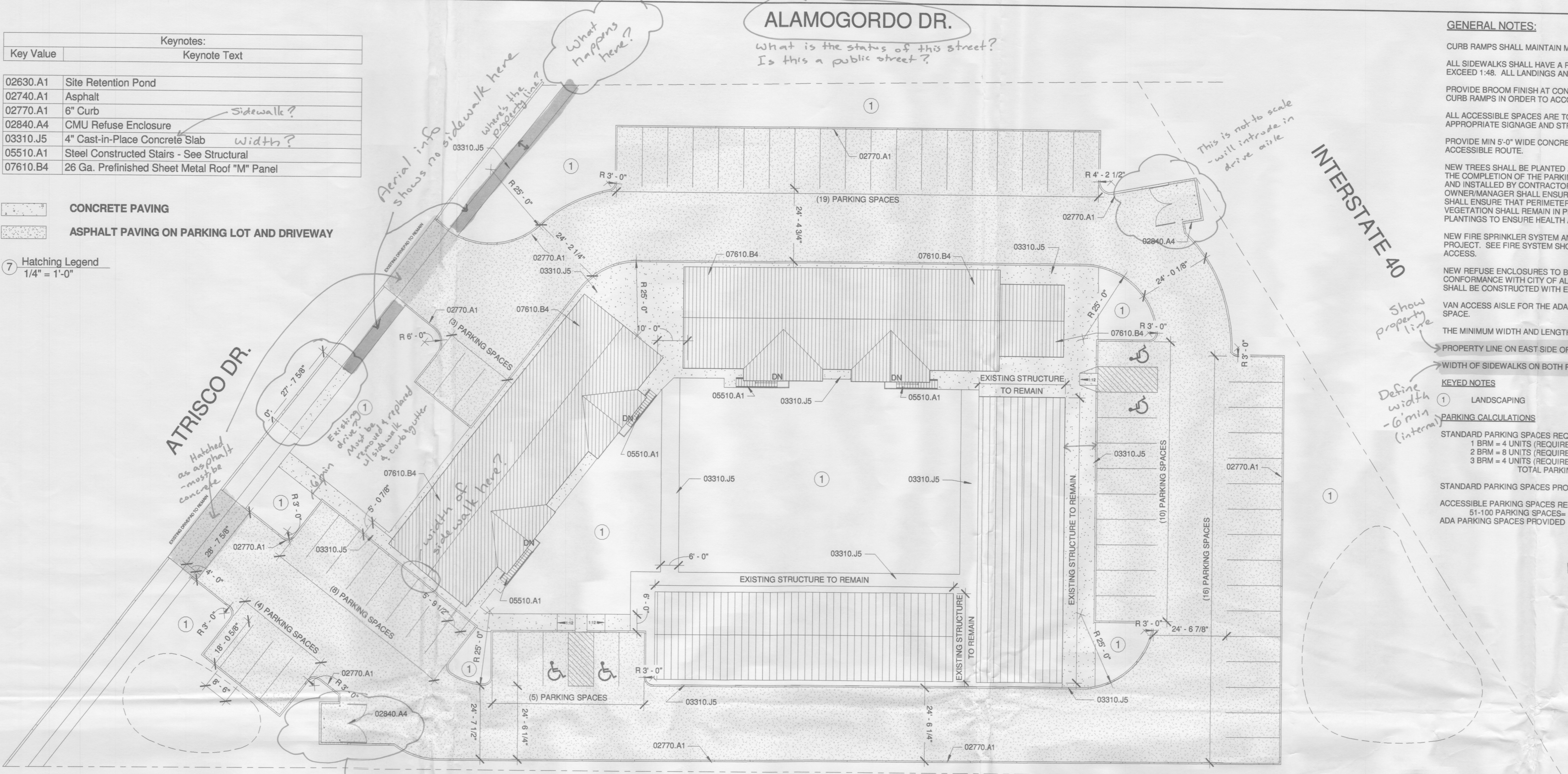
C7.0



Keynotes:	
Key Value	Keynote Text
02630.A1	Site Retention Pond
02740.A1	Asphalt
02770.A1	6" Curb
02840.A4	CMU Refuse Enclosure
03310.J5	4" Cast-in-Place Concrete Slab
05510.A1	Steel Constructed Stairs - See Structural
07610.B4	26 Ga. Prefinished Sheet Metal Roof "M" Panel

CONCRETE PAVING
ASPHALT PAVING ON PARKING LOT AND DRIVEWAY

Hatching Legend
1/4" = 1'-0"



GENERAL NOTES:

CURB RAMPS SHALL MAINTAIN MAXIMUM 1:12 SLOPE WITH 1:10 SLOPE AT SIDE FLARES.

ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF 1:20 MAX WITH CROSS SLOPE NOT TO EXCEED 1:48. ALL LANDINGS AND CURB RAMPS SHALL HAVE A CROSS SLOPE OF 1:48 MAX.

PROVIDE BROOM FINISH AT CONCRETE SIDEWALKS ALONG ACCESSIBLE ROUTE INCLUDING CURB RAMPS IN ORDER TO ACCOMPLISH SLIP RESISTANT FINISH.

ALL ACCESSIBLE SPACES ARE TO BE DESIGNATED AS "VAN ACCESSIBLE" WITH APPROPRIATE SIGNAGE AND STRIPING

PROVIDE MIN 5'-0" WIDE CONCRETE LANDING AT FRONT EDGE MAIL CENTER. CONNECT TO ACCESSIBLE ROUTE.

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NEW REFUSE ENCLOSURES TO BE CONSTRUCTED ON SITE AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH CITY OF ALBUQUERQUE SOLID WASTE REQUIREMENTS. ENCLOSURES SHALL BE CONSTRUCTED WITH ENCLOSURE GATES AS PER DETAIL.

VAN ACCESS AISLE FOR THE ADA ACCESSIBLE PARKING DOES NOT COUNT AS PARKING SPACE.

THE MINIMUM WIDTH AND LENGTH FOR ALL PARKING SPACES ARE 8'6" X 18'

PROPERTY LINE ON EAST SIDE OF LOT LIES ON INSIDE OF SIDEWALK ALONG ATRISCO DR.

WIDTH OF SIDEWALKS ON BOTH PROPOSED AND EXISTING PLANS ARE THE SAME.

KEYED NOTES

1 LANDSCAPING

PARKING CALCULATIONS

STANDARD PARKING SPACES REQUIRED PER ZONING CODE 14-16-3-1

1 BRM = 4 UNITS (REQUIRES 1 SPACE PER UNIT) = 4 SPACES

2 BRM = 8 UNITS (REQUIRES 3 SPACE PER UNIT) = 24 SPACES

3 BRM = 4 UNITS (REQUIRES 4 SPACE PER UNIT) = 20 SPACES

TOTAL PARKING SPACES REQUIRED = 48 SPACES

STANDARD PARKING SPACES PROVIDED = 66 SPACES

ACCESSIBLE PARKING SPACES REQUIRED PER ZONING CODE 14-16-3-1

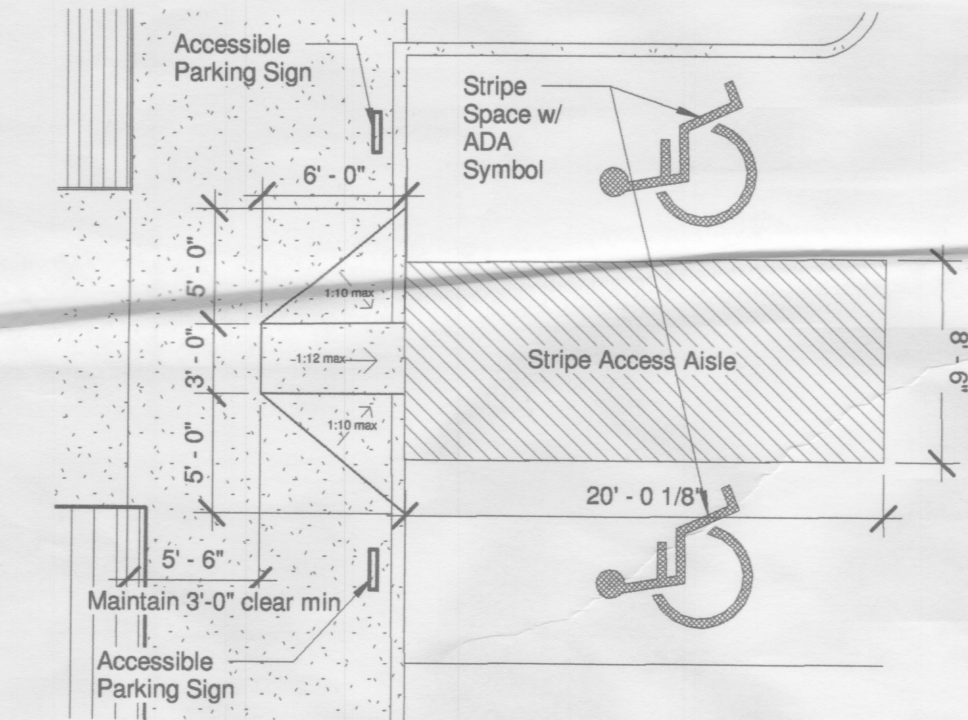
51-100 PARKING SPACES: 4 ADA SPACES

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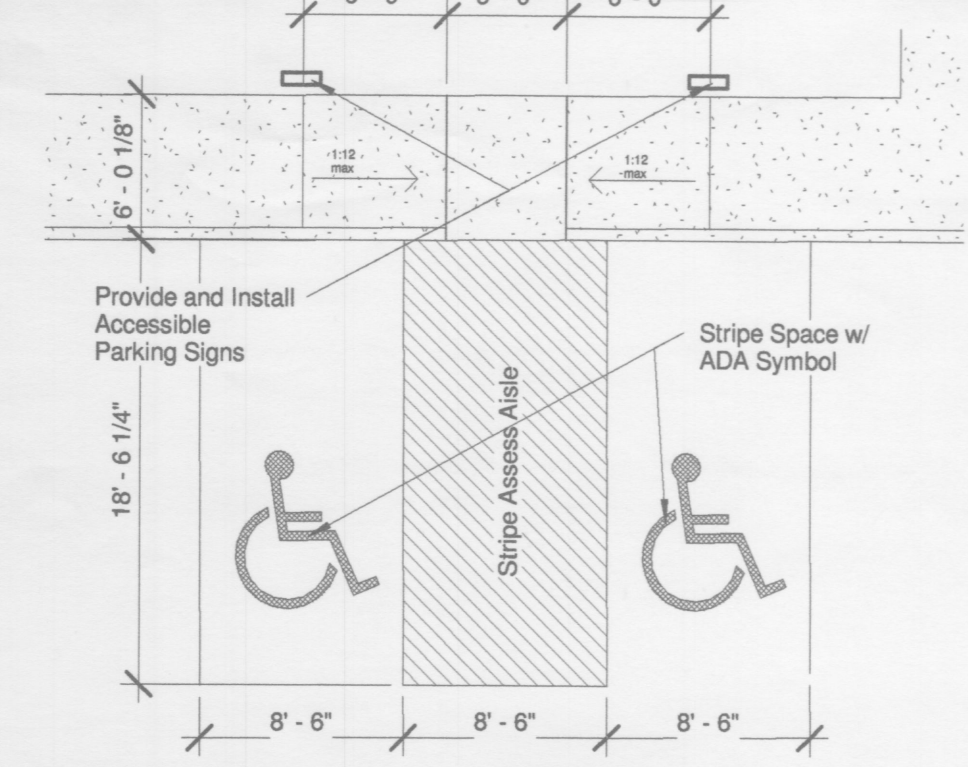
Please clearly show existing versus proposed conditions.

- show all lot lines
- show all driveways and sidewalk
- replat or cross access easements are required

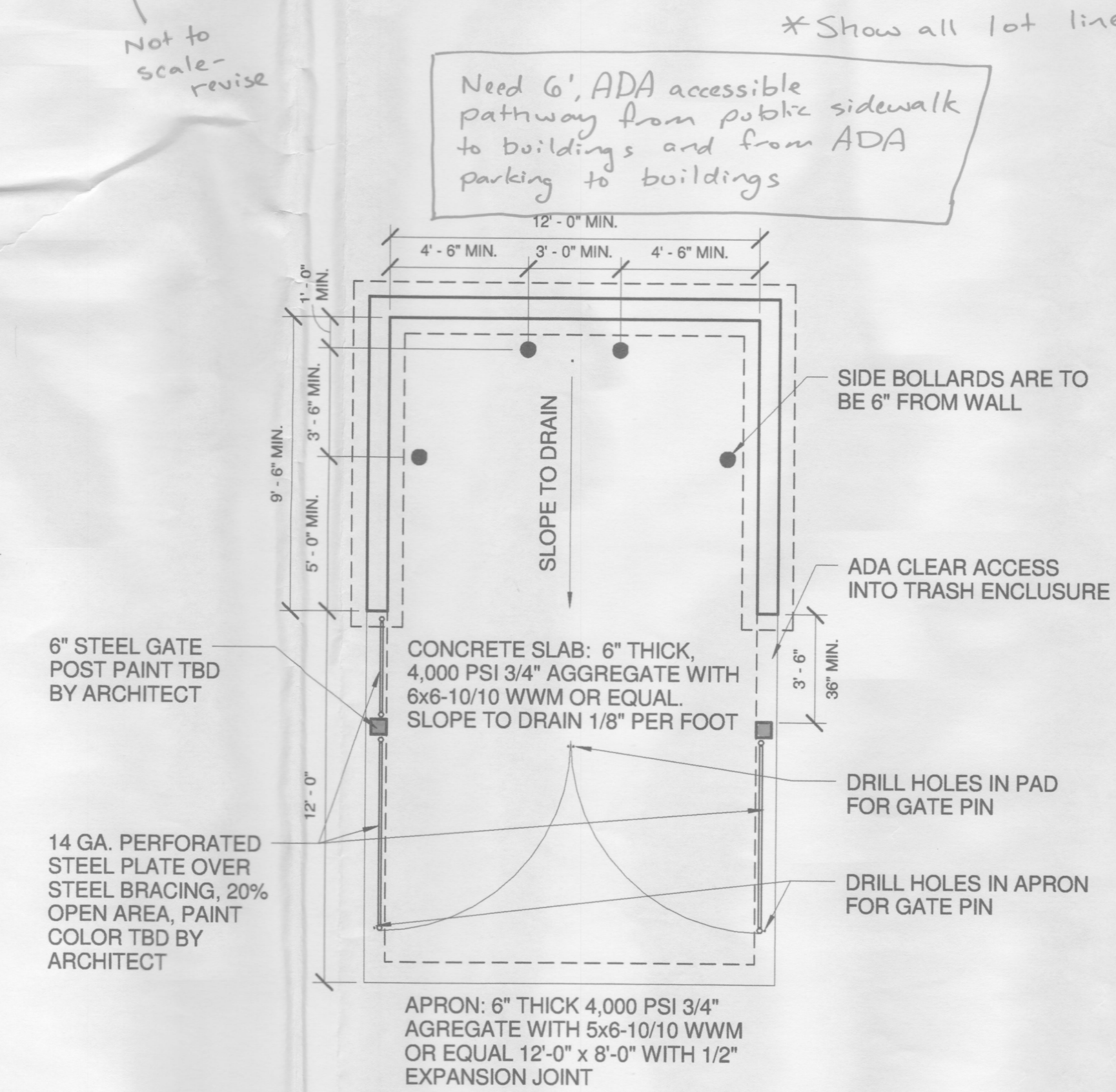
1 TCL - Traffic Circulation Layout Plan
1" = 20'-0"



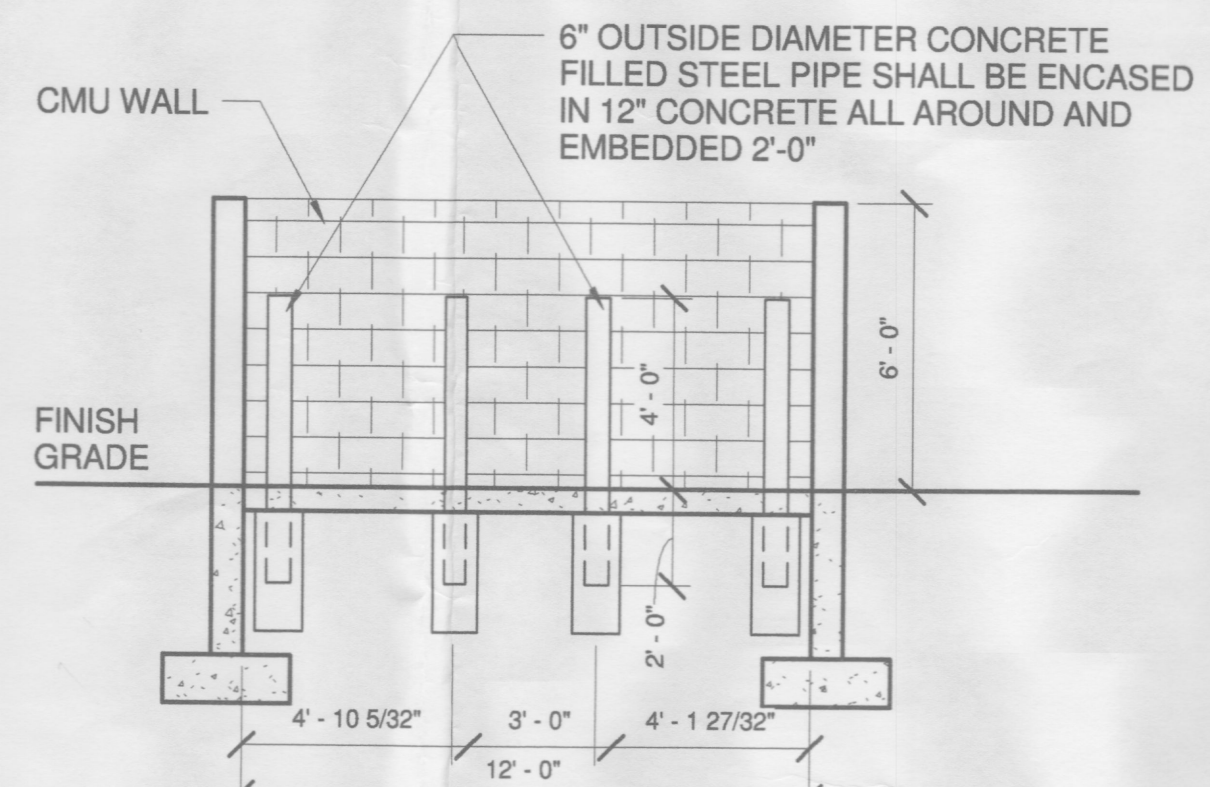
6 Detail-ADA Curb Ramp Duplicate
1/8" = 1'-0"



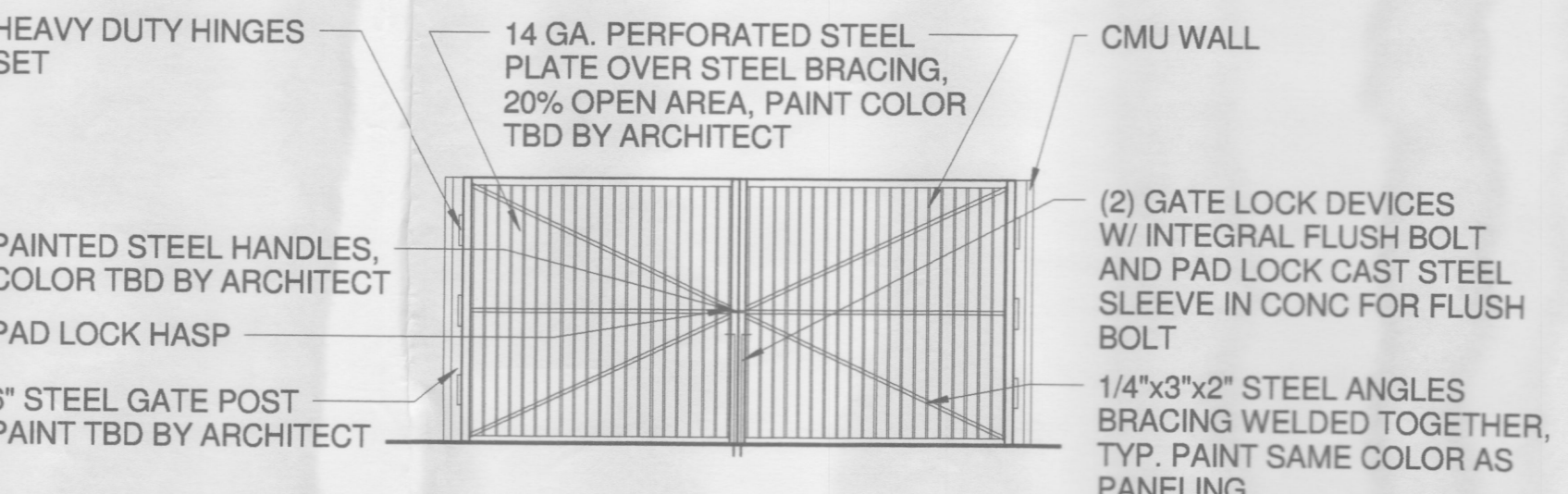
2 Detail-ADA Parking Spaces (Duplicate)
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3 Trash Enclosure Plan Detail (Duplicate)
1/4" = 1'-0"



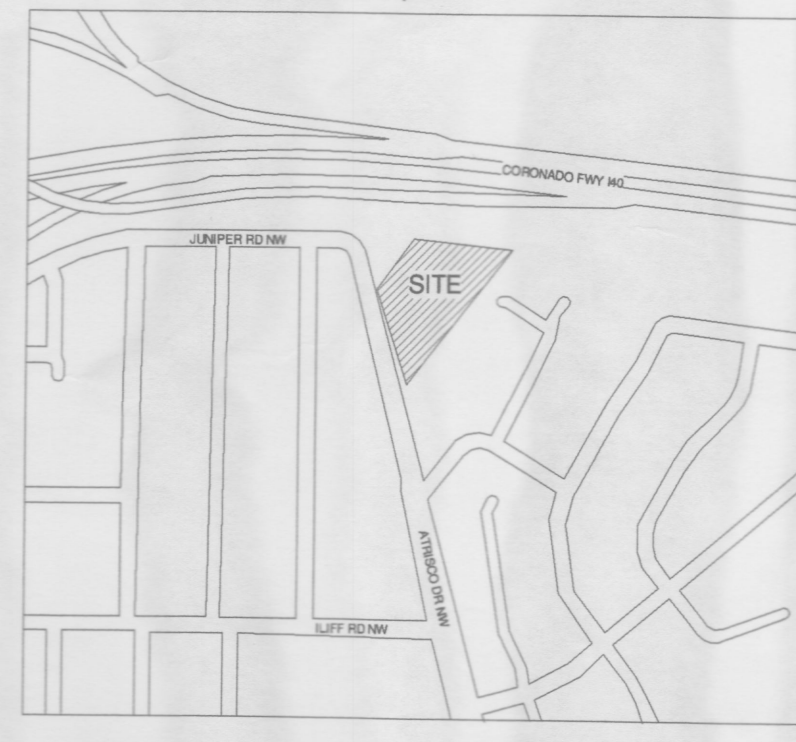
4 Trash Enclosure Section Detail (Duplicate)
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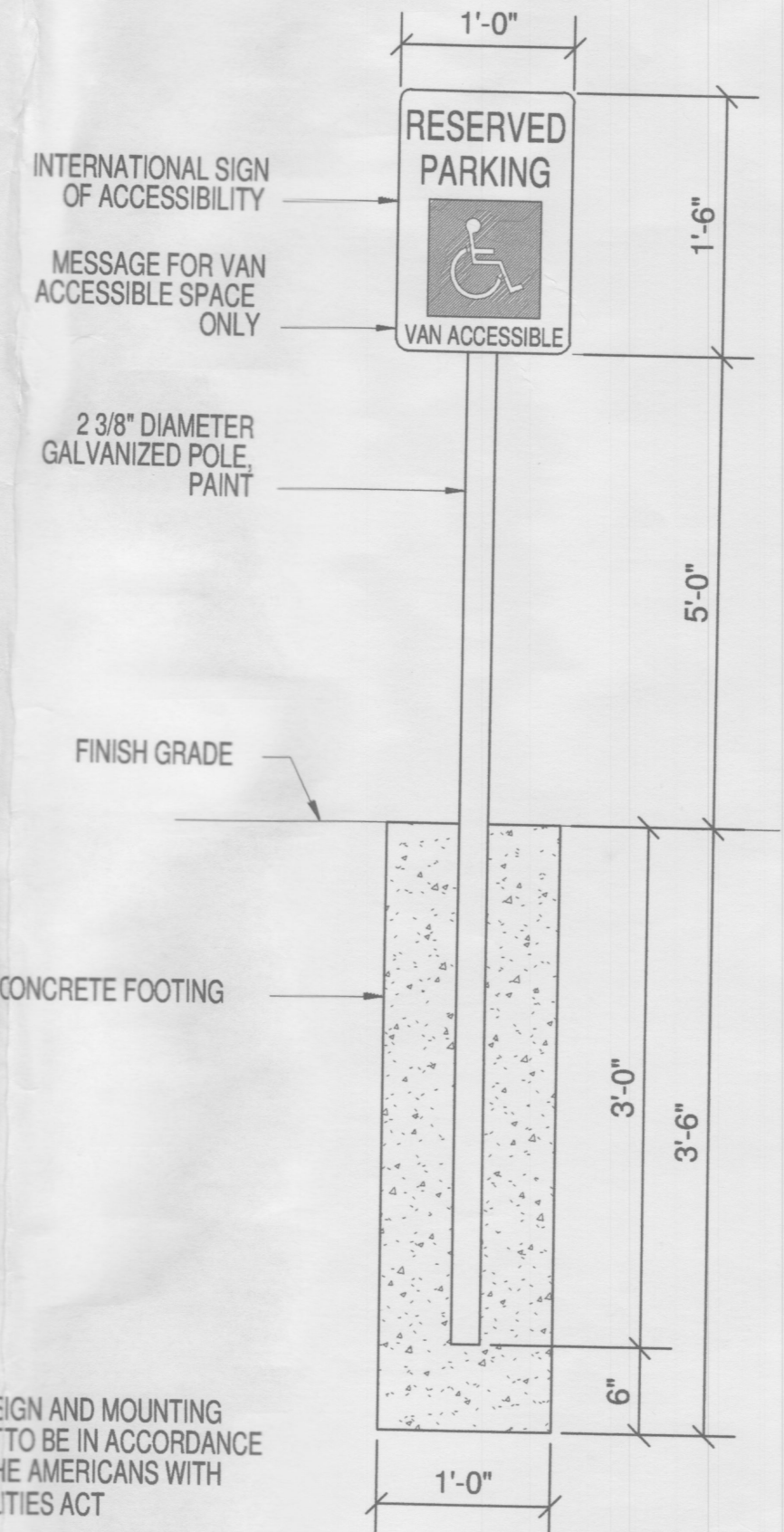
5 Trash Enclosure Elevation Detail (Duplicate)
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LEGAL DESCRIPTION

The Southerly Portions of Lots 37-41, Palisades Addition
Site Area = 1.58 Acres, (68,800 sq ft)



8 Vicinity Map
1" = 80'-0"



4 HANDICAP PARKING SIGN
SCALE: 1" = 1'-0"

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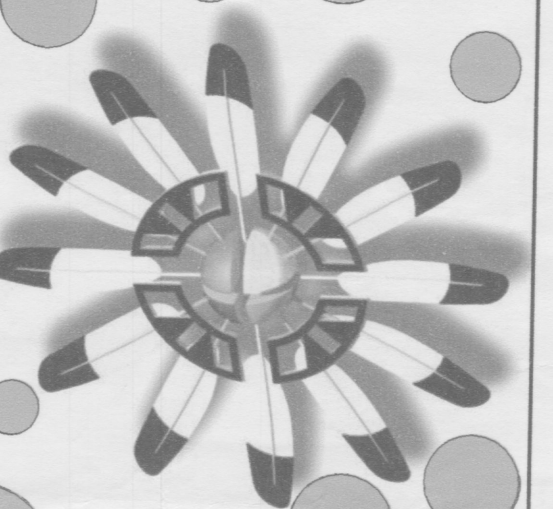
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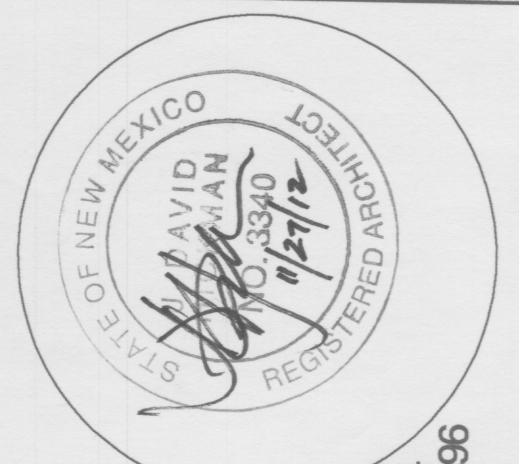
sheet no:
TCL

"Let's make it Fun"

CORE
Architecture, llc



job no: 2012-104
drawn: CORE
checked: JDH
date: November 27, 2012



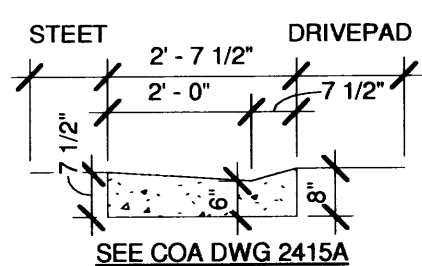
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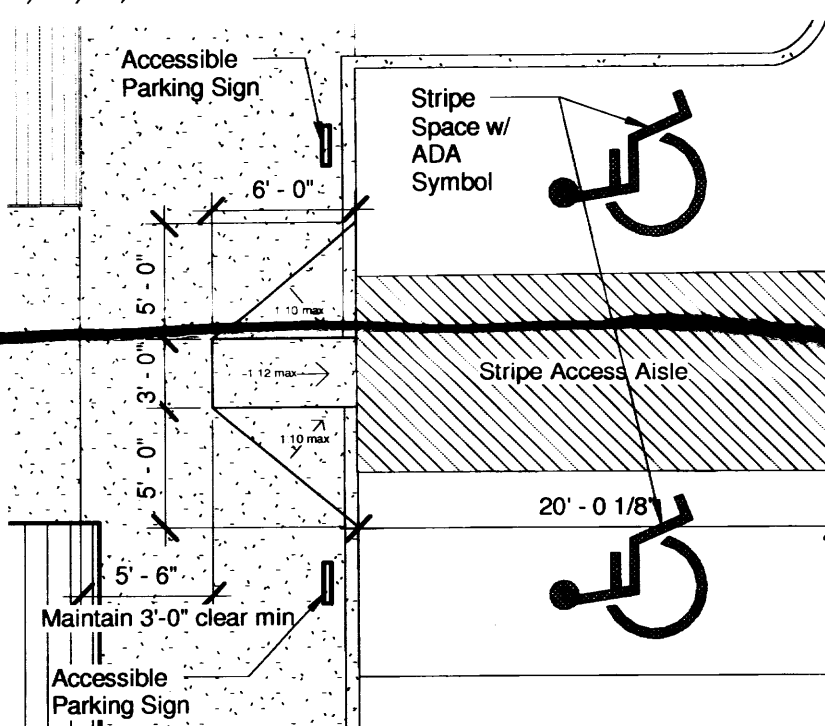
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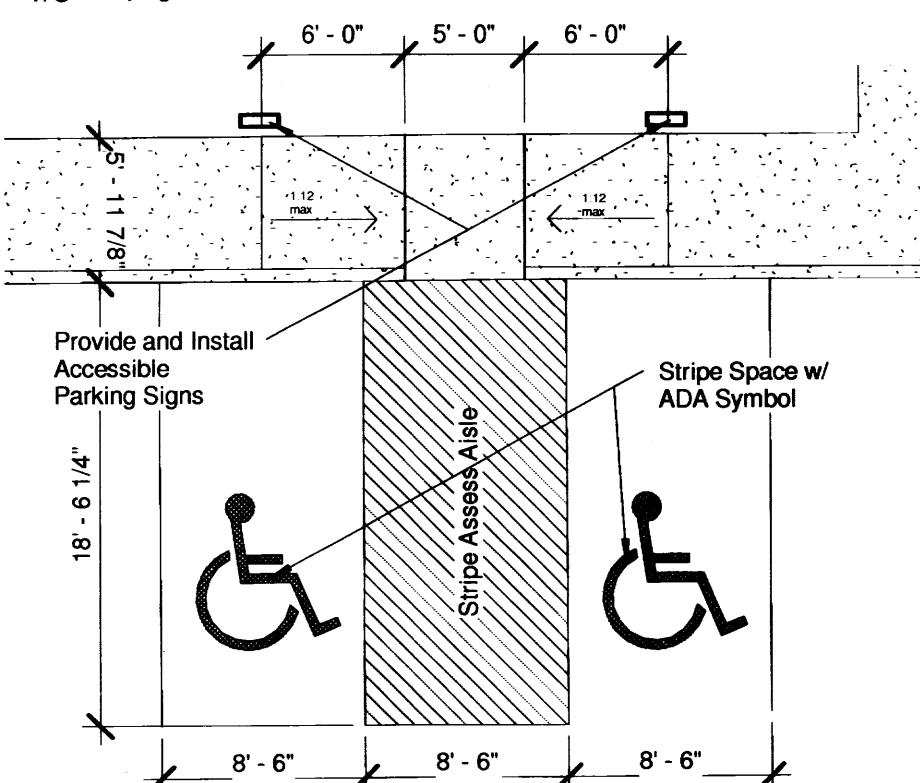


GUTTER AT DRIVEPAD
3/8" = 1'-0"

TCL - Traffic Circulation Layout Plan
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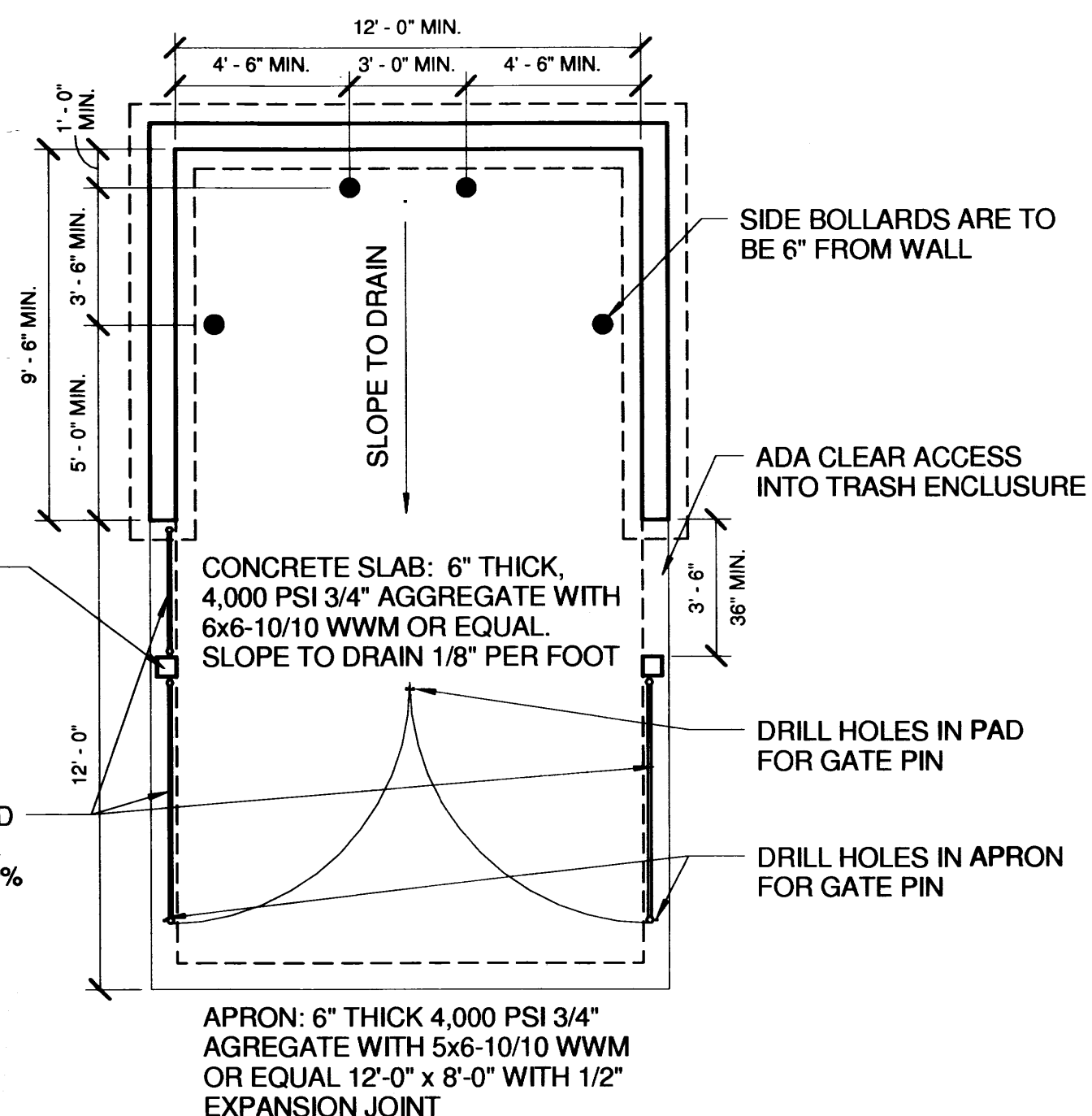


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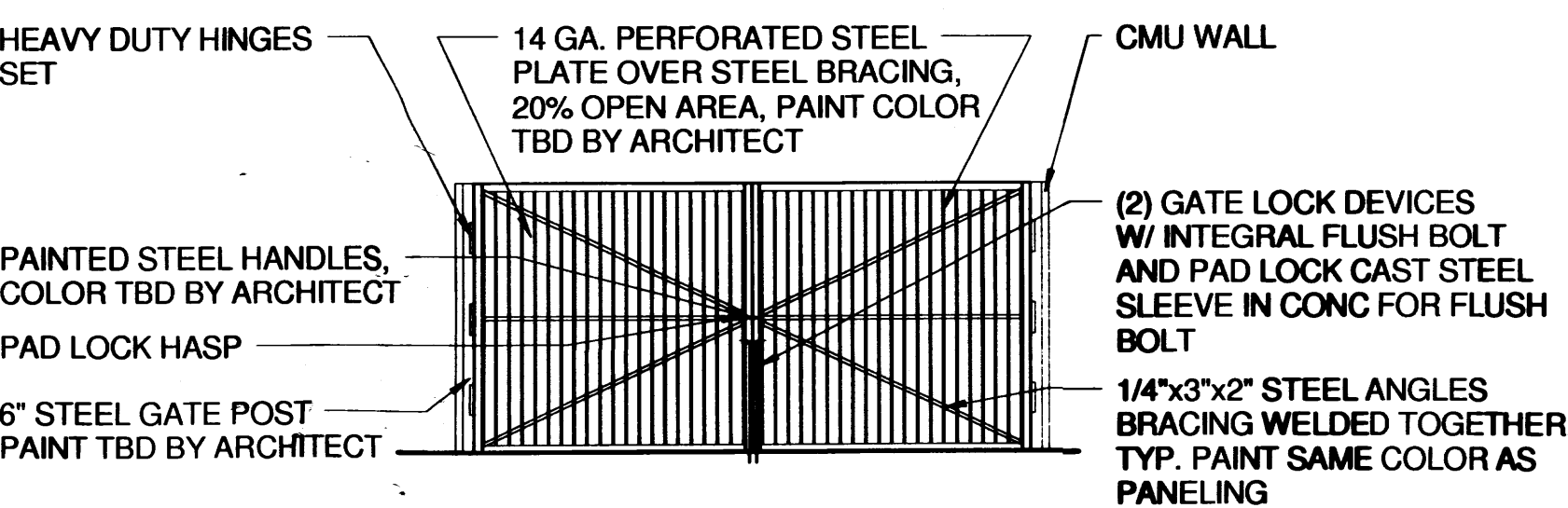


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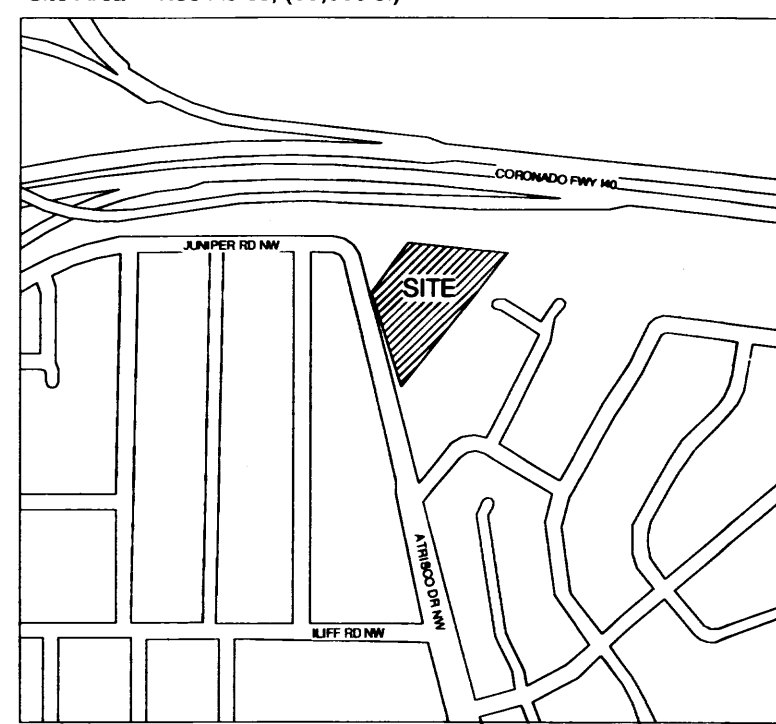
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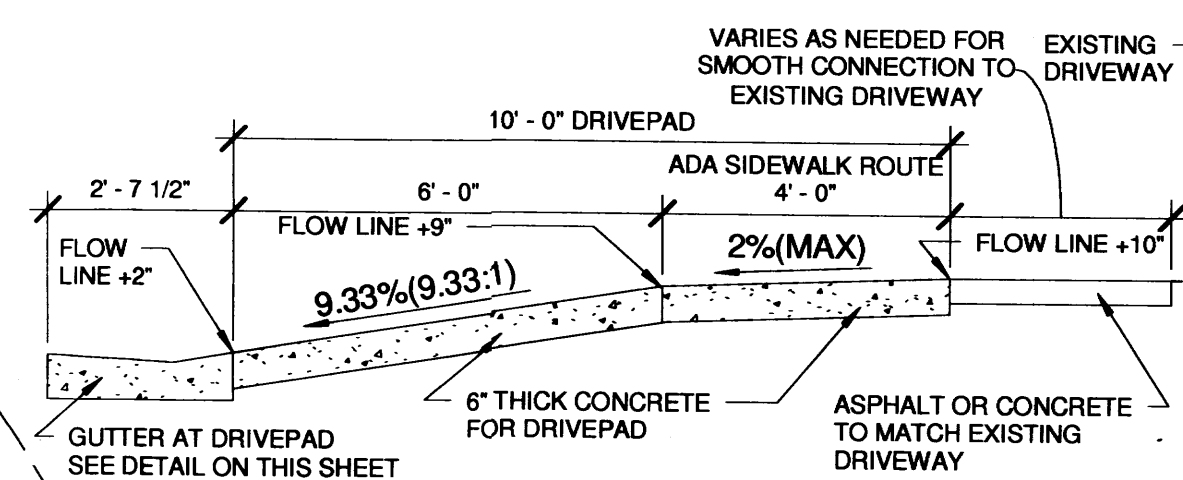
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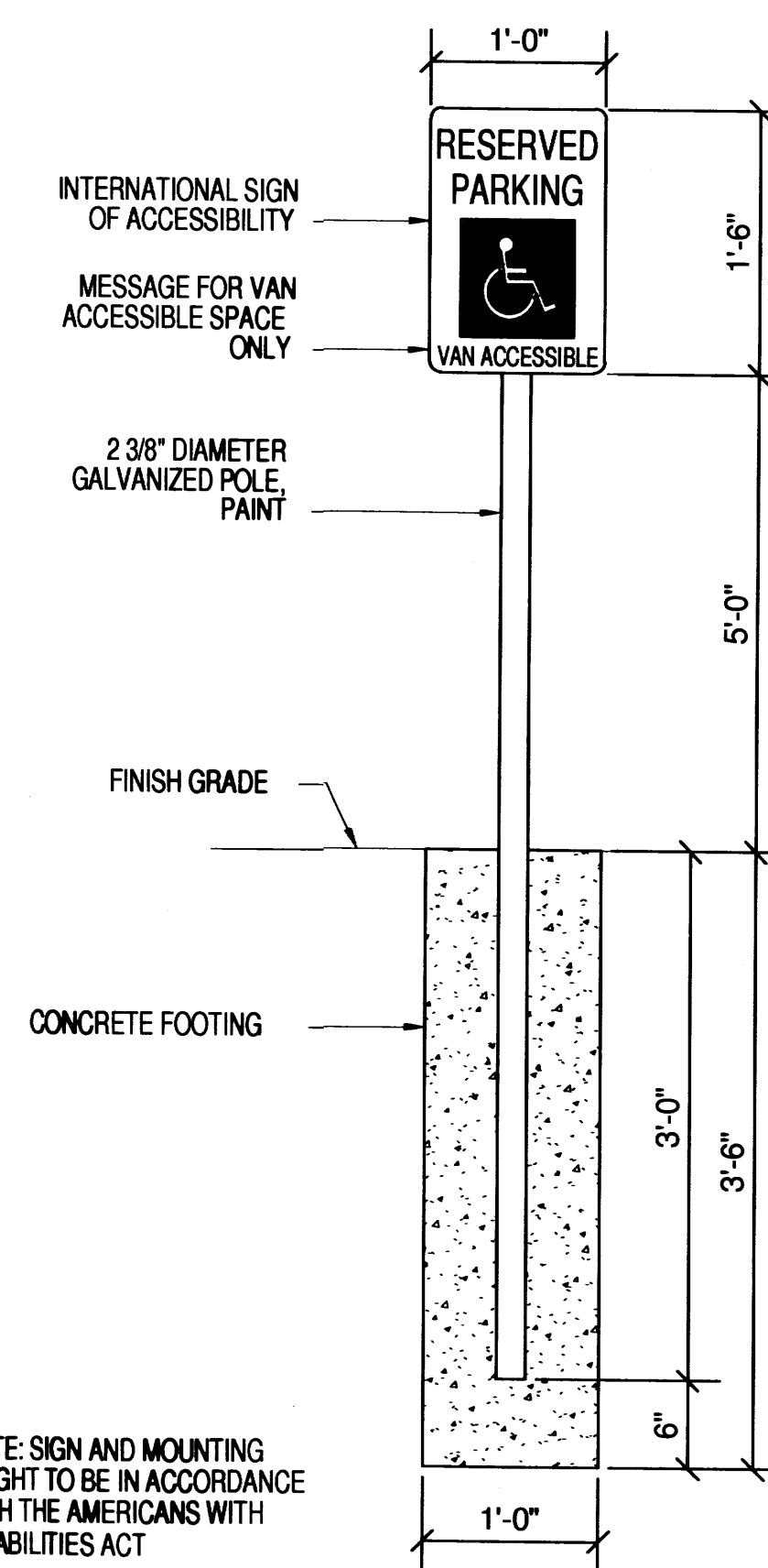
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ADA PARKING SPACES PROVIDED

4 ADA SPACES



DRIVE PAD SECTION DETAIL
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NOTE: SIGN AND MOUNTING HEIGHT TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT

HANDICAP PARKING SIGN
SCALE: 1" = 1'-0"

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Traffic Circulation Layout Plan

ATRISCO APARTMENTS

NEW BUILDINGS

1720 Atrisco Dr. NW

Albuquerque, NM 87105

sheet no:

101

job no:

2012-104

drawn:

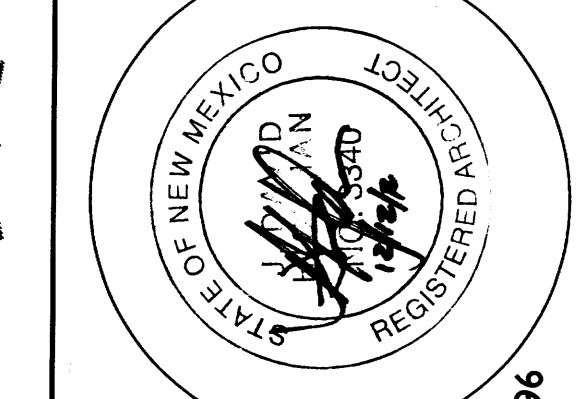
CORE

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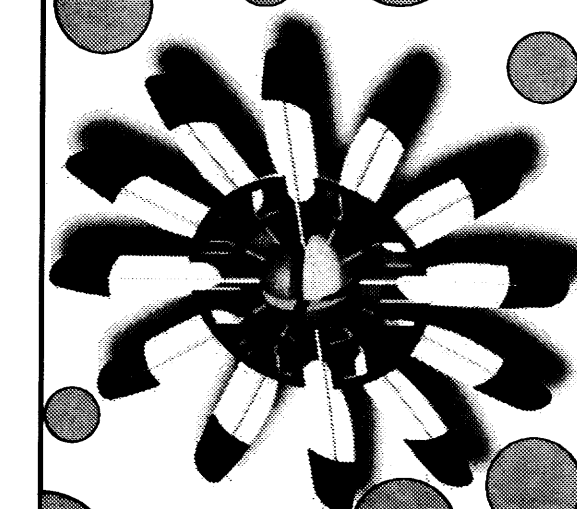
JDH

date:

October 22, 2012



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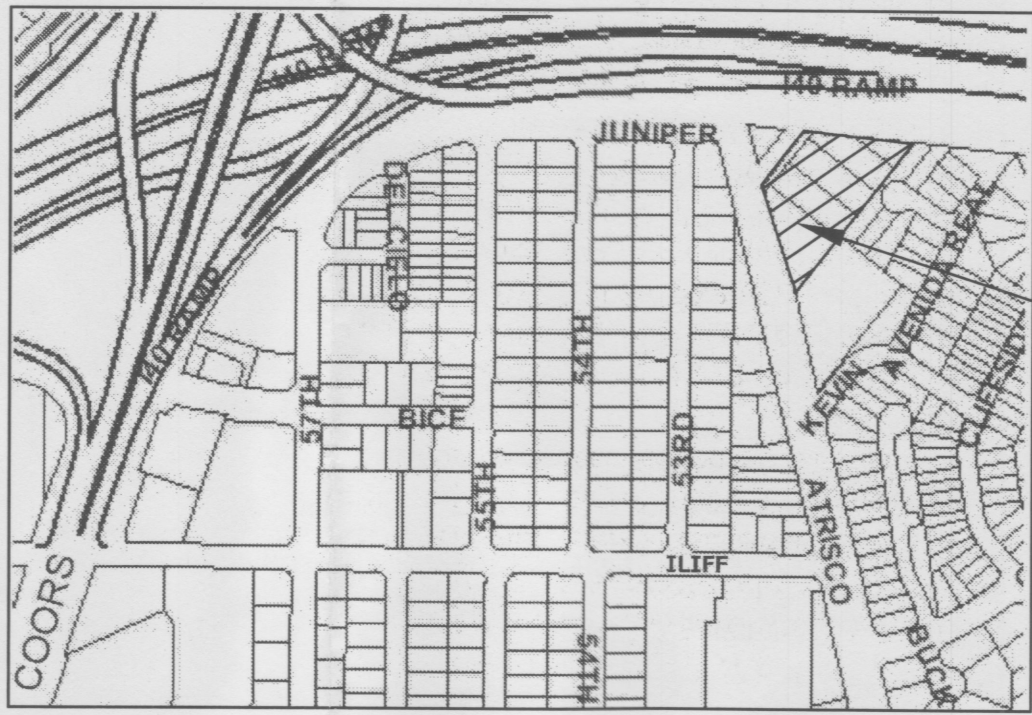
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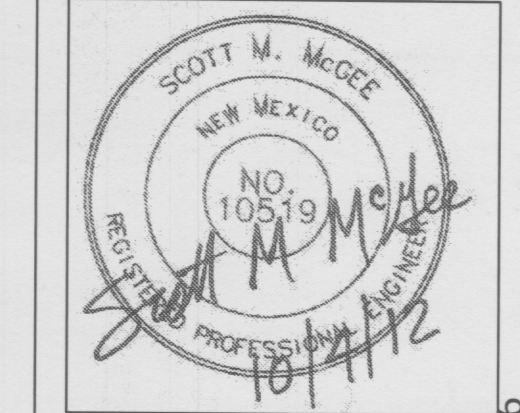
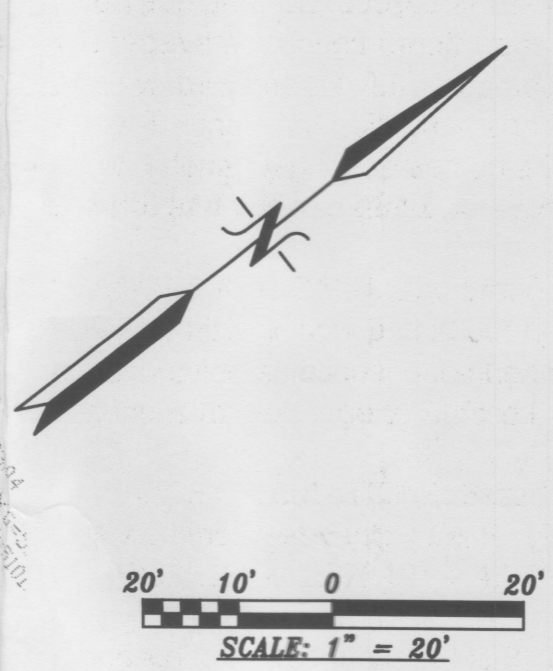
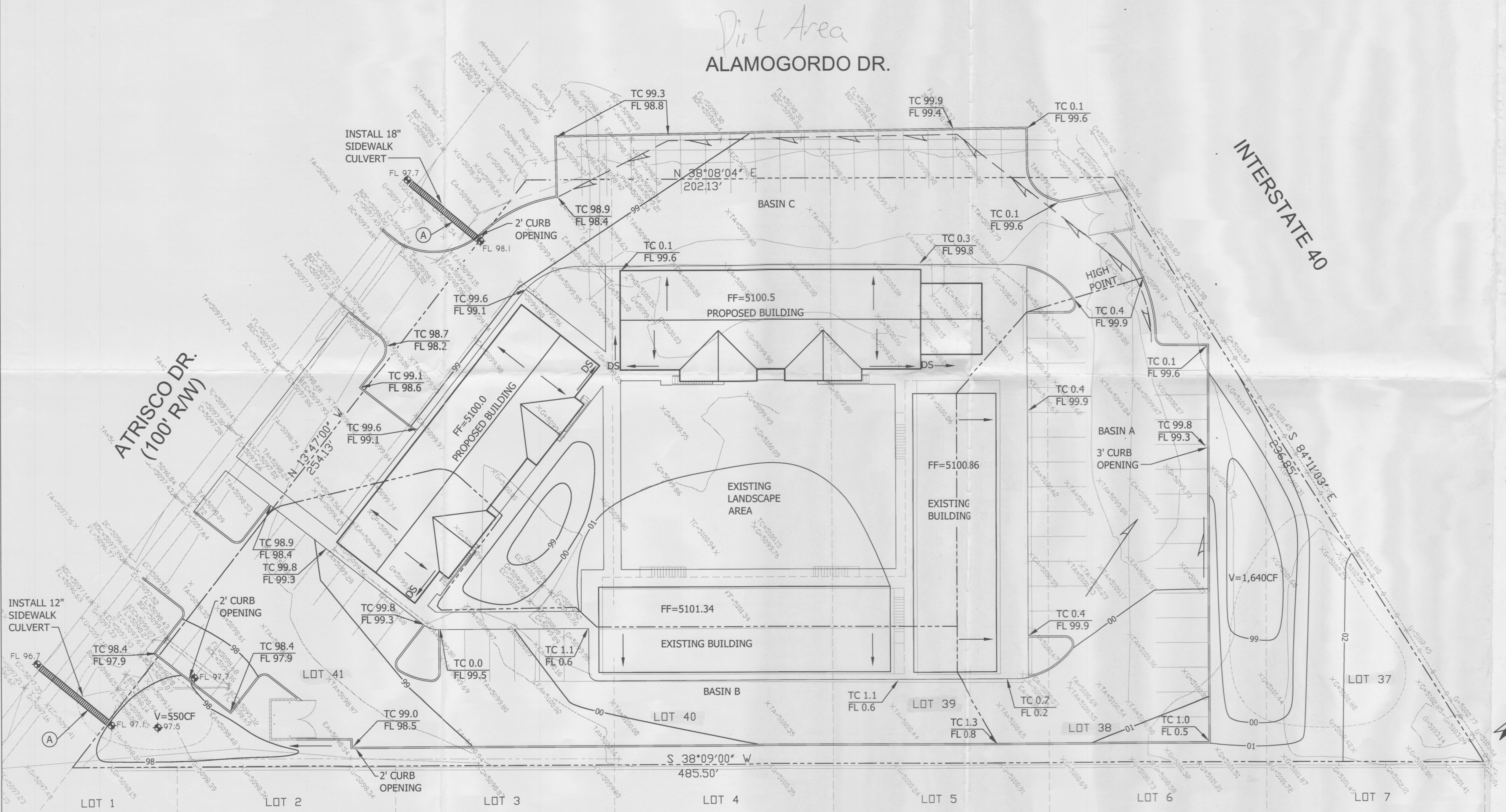
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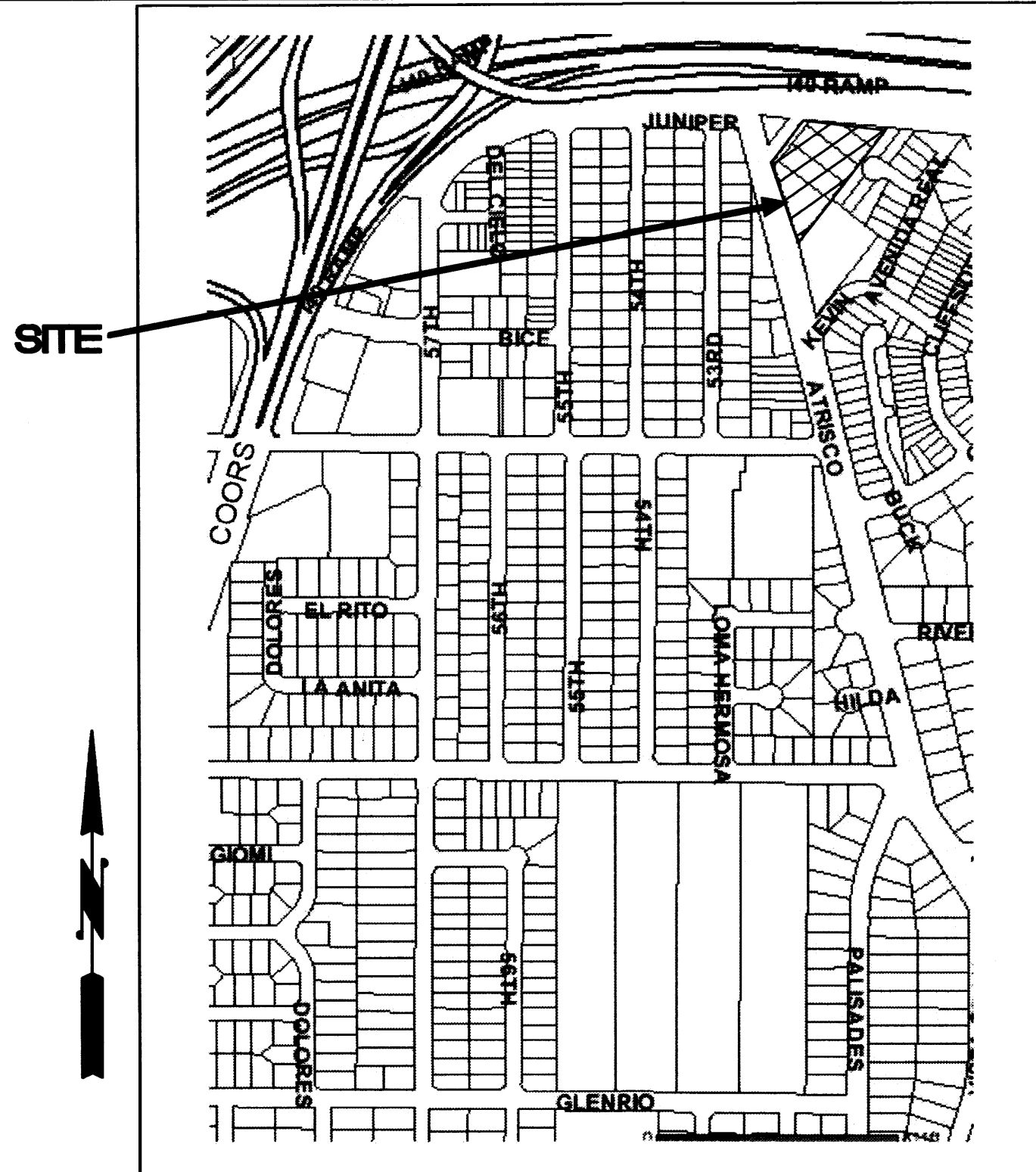
sheet no: 01.0
RECEIVED
1042012
LAND DEVELOPMENT SECTION

www.core-llc.com

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2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the Owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.



VICINITY MAP H-11 NTS

LEGAL: The southerly portions of Lots 37-41, Palisades Addition

AREA: 1.58 acres (68,800 sf)

BENCHMARK: City of Albuquerque Station "2-H11" being a brass cap
ELEV= 5098.37 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated May 2012

FLOOD HAZARD: From FEMA Panel 327 (9/26/08), this site is identified as being within Zone "X" which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing apartment complex was being renovated when two buildings burned. Two buildings and associated paved parking and landscaping remain after the two burned structures were demolished. Atrisco Drive abuts the site along the west and Interstate 40 runs along the north side of the site.

PROPOSED IMPROVEMENTS: The proposed improvements include two 10,400 sf 2-story buildings to replace the ones that were demolished. The existing paved parking area is to be modified slightly to be more formalized. An existing landscaped courtyard area with mature trees will only be modified slightly. A depressed landscape area is proposed at the east side of the site which will receive developed runoff from both roof and parking areas. After water ponds 0.6' deep on the paving, runoff will "spill" to the northwest where it will be carried west to Atrisco. A second depressed landscape area is proposed at the south end of the site and will also drain via a sidewalk culvert to Atrisco.

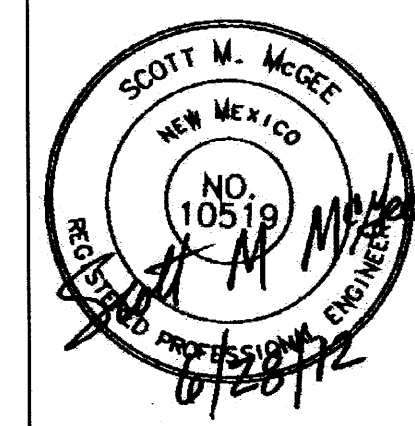
DRAINAGE APPROACH: The proposed drainage plan will continue to follow historic flow paths, but new onsite depressed landscape areas provide additional detention storage volume. Runoff continues to discharge to Atrisco Drive NW.

DRAINAGE CALCULATIONS: Based on precipitation Zone 1
Existing land treatment: 13% B, 19% C, & 68% D
 $Q = (2.03(.13) + 2.87(.19) + 4.37(.68))(1.58) = 6.0 \text{ CFS}$

Proposed land treatment: 14% B, 16% C, & 70% D
 $Q = (2.03(.14) + 2.87(.16) + 4.37(.70))(1.58) = 6.0 \text{ CFS}$

With the proposed landscape detention volume shown, runoff is limited to the historic rate and the impact to downstream drainage facilities is minimized.

"Let's make it Fun"



CORE
Architecture, llc

5924 ANAHEIM AVE., SUITE A
ALBUQUERQUE, NM 87113

P:
505-796-0894
505-796-0896

job no: 2012-104

drawn: CB

checked: SMM

date: June 28, 2012

**ATRISCO APARTMENTS
NEW BUILDINGS**

1720 Atrisco Dr. NW
Albuquerque, NM 87105

sheet
no:

C1.0

www.core-llc.com

Grading & Drainage Plan

20' 10' 0 20'
SCALE: 1" = 20'

