

KEYED NOTES

- A. SIDEWALK CULVERTS SHALL BE BUILT PER COA STD DWG NO. 2236 WITH ALL COVER BOLTS TACK WELDED TO PLATES.

WORK WITHIN CITY RIGHT-OF-WAY NOTICE to CONTRACTOR

1. An excavation permit will be required before beginning any work within City R/W.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the Owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

LEGEND

- 10--- EXISTING CONTOURS
---10--- PROPOSED CONTOURS
TC 0.1 TOP OF CURB
FL 99.6 FLOW LINE
FF=5100.5 FINISH FLOOR ELEVATION
12 NEW SPOT ELEVATIONS
--- BASIN BOUNDARY
X0.34 AS-BUILT ELEVATION

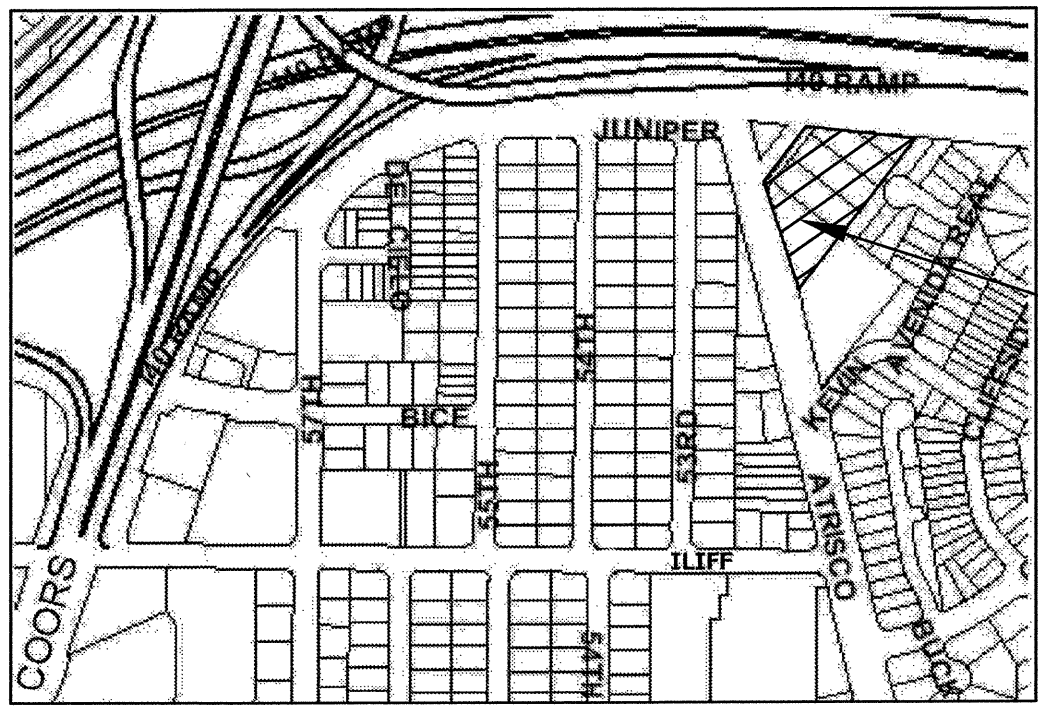
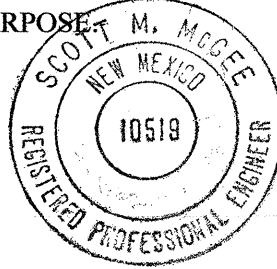
DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/04/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY L HARRIS, NMPS 11463, OF THE FIRM HARRIS SURVEYING, INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 10/22/13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 10/23/13

SCOTT M MCGEE NMPE 10519



VICINITY MAP H-11

NTS

LEGAL: The southerly portions of Lots 37-41, Palisades Addition

AREA: 1.58 acres (68,800 sf)

BENCHMARK: City of Albuquerque Station '2-H11' being a brass cap

ELEV= 5098.37 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated May 2012

FLOOD HAZARD: From FEMA Panel 327 (9/26/08), this site is identified as being within Zone 'X' which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing apartment complex was being renovated when the two westerly buildings burned. Two buildings and associated paved parking and landscaping remain after the two burned structures were demolished. Atrisco Drive abuts the site along the west and Interstate 40 runs along the north side of the site.

PROPOSED IMPROVEMENTS: The proposed improvements include two 10,400 sf 2-story buildings to replace the ones that were destroyed. The existing paved parking area is to be modified slightly to be more formalized. An existing landscaped courtyard area with mature trees will only be modified slightly. A depressed landscape area is proposed at the northeast end of the site which will receive developed runoff from both roof and parking areas. Once water ponds to 0.6' deep on the paving (to the high point shown), runoff will 'spill' west and be carried to Atrisco Drive. A second depressed landscape area is proposed at the south end of the site and will also drain via a sidewalk culvert to Atrisco.

DRAINAGE APPROACH: The proposed drainage plan will continue to follow historic flow paths, but new onsite depressed landscape areas provide additional detention storage volume. Runoff continues to discharge to Atrisco Drive NW.

DRAINAGE CALCULATIONS: Based on precipitation Zone: 1
Existing land treatment: 13% B, 19% C, & 68% D
 $Q = [2.03(.13) + 2.87(.19) + 4.37(.68)](1.58) = 6.0$ CFS

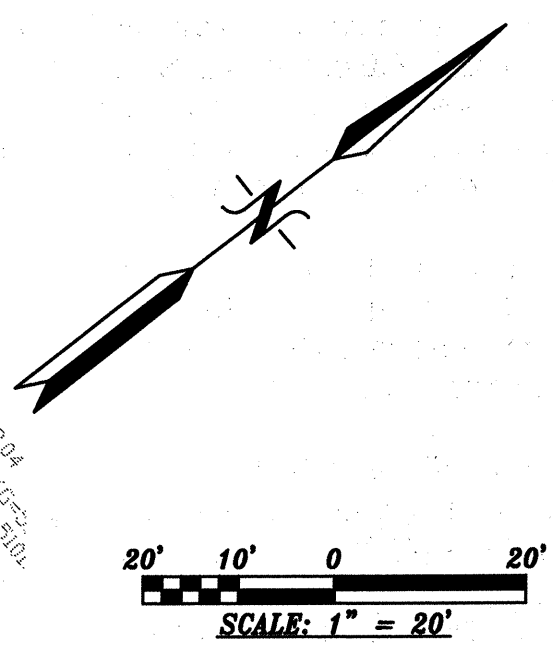
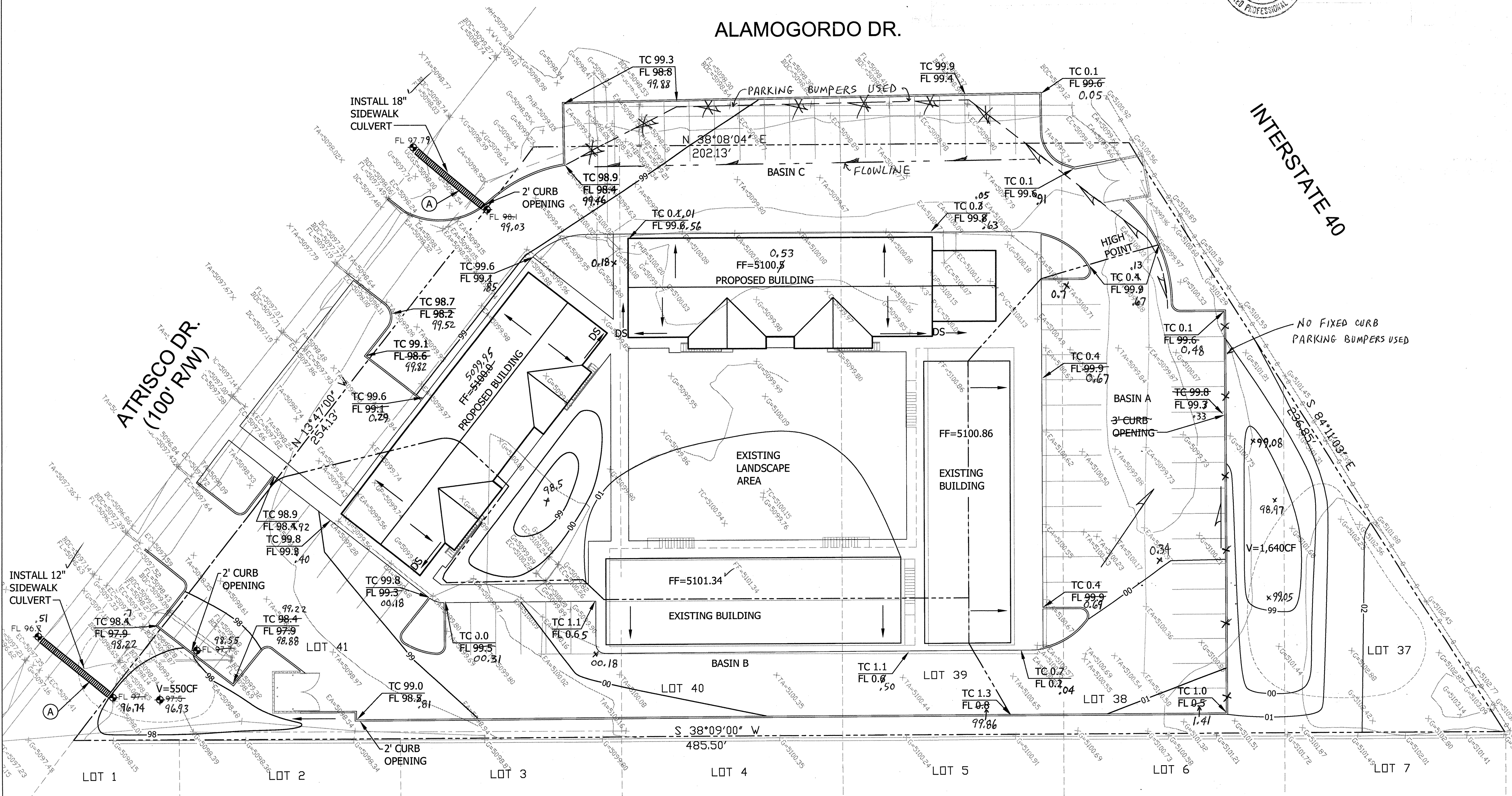
Proposed land treatment: 14% B, 16% C, & 70% D
 $Q = [2.03(.14) + 2.87(.16) + 4.37(.70)](1.58) = 6.0$ CFS
Basin A: $Q = (0.46)(3.8 \text{ CFS/AC}) = 1.75$ CFS
 $V = (19,950)(0.136) = 2,712$ CF
Basin B: $Q = (0.38)(3.8 \text{ CFS/AC}) = 1.45$ CFS
 $V = (16,400)(0.136) = 2,230$ CF
Basin C: $Q = (0.74)(3.8 \text{ CFS/AC}) = 2.8$ CFS
 $V = (32,450)(0.136) = 4,413$ CF

With the proposed landscape detention areas shown (Volume=2,190 CF), runoff is mitigated and the impact to downstream drainage facilities is minimized.

ALAMOGORDO DR.

INTERSTATE 40

ATRISCO DR.
(100' R/W)



www.core-ltd.com

Grading & Drainage Plan

ATRISCO APARTMENTS
NEW BUILDINGS

job no: 2012-104
drawn: CB
checked: SMM
date: June 28, 2012

1720 Atrisco Dr. NW
Albuquerque, NM 87105

sheet no: C1.0

"Let's make it Fun"

CORE Architecture, llc

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