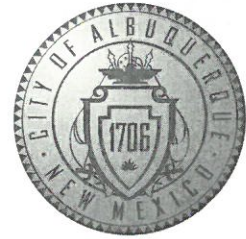


# CITY OF ALBUQUERQUE



March 14, 2017

Richard J. Berry, Mayor

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**RE:** GOOD 2 GO: Coors  
Grading and Drainage Plan  
Engineer's Stamp Date 11-18-2016 (File: H11D071)

Dear Mr. Means:

Based upon the information provided in your submittal received 11-21-2016, the above referenced Grading and Drainage Plan is approved for building permit, grading permit and paving permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

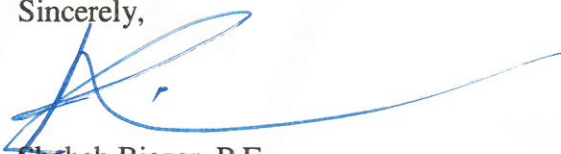
Albuquerque

If you have any questions, you can contact me at 924-3999.

New Mexico 87103

Sincerely,

www.cabq.gov

  
Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB

CONSTRUCTION NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION. (REVISED 12/06)
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON SATE SURFACE EVIDENCE AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 16AP190380). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY. AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THERETO. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION & SEDIMENT CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
- SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
- THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY
- CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
- CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING; THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDDED ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.

CALCULATIONS

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DRAINAGE PLAN

**I. INTRODUCTION AND EXECUTIVE SUMMARY**  
THIS PROJECT, LOCATED IN THE COORS AREA OF ALBUQUERQUE, REPRESENTS NEW CONSTRUCTION ON A DEVELOPED SITE THAT CONTAINS TWO EXISTING BUILDINGS, PAVEMENT, A CANOPY, AND LANDSCAPED AREAS SURROUNDING THE MAJORITY OF THE SITE. THE PROPOSED DEVELOPMENT IS COMPRISED OF NEW BUILDING CONSTRUCTION, PAVING IMPROVEMENTS, LANDSCAPING, AND UTILITY IMPROVEMENTS. THE DRAINAGE PLAN FOR THIS PROJECT WILL CONTINUE TO FOLLOW EXISTING DRAINAGE PATTERNS AND MATCH EXISTING DISCHARGE RATES OF FREE DISCHARGE INTO THE ADJACENT COORS BLVD NW AND ILIFF RD NW. THERE ARE NO OFF SITE FLOWS THAT DRAIN INTO THE SITE.

**II. PROJECT DESCRIPTION**  
AS SHOWN BY THE VICINITY MAP ON SHEET C1.1, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF COORS BLVD. NW AND ILIFF RD. NW. THE CURRENT LEGAL DESCRIPTION IS PARCELS A & B, COMPRISING A REPLAT OF PORTION OF TRACTS 259&260, UNIT 8, TOWN OF ATRISCO GRANT. AS SHOWN BY PANEL 327 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED APRIL 16, 2012, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

**III. BACKGROUND DOCUMENTS**  
THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE ALL INCLUSIVE, HOWEVER REPRESENTS A SUMMARY OF THE RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF THE PLAN PREPARATION.  
A. TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP (HMC), DATED 08/27/2016 (NMPS 15075). THIS SURVEY DOCUMENTS THE EXISTING CONDITIONS FOR THE SITE.

**IV. EXISTING CONDITIONS**  
THE EXISTING SITE CONSISTS OF A GAS STATION BUILDING, CANOPY AND SMALL TIRE REPAIR SHOP LOCATED WITHIN AN INFILL AREA. THE SITE ALSO CONTAINS EXISTING ASPHALT AND CONCRETE PAVING, CURB AND LANDSCAPING SURROUNDING THE EDGES OF THE SITE. THE SITE IS DIVIDED IN HALF BY THE EXISTING GAS STATION LOCATED IN THE MIDDLE OF THE SITE. THE AREA TO THE NORTH OF THE BUILDING DRAINS FROM SOUTH TO NORTH AND THE AREA TO THE SOUTH OF THE BUILDING DRAINS FROM NORTH TO SOUTHEAST. A PORTION OF BOTH HALVES OF THE SITE DRAINS TO EXISTING DEPRESSED LANDSCAPED AREAS BEFORE LEAVING THE SITE AND THE OTHER FREELY DISCHARGES OFF SITE THROUGH THE EXISTING DRIVE PAD ENTRANCES FROM ILIFF RD. NW AND COORS BLVD. NW. THE EXISTING TOTAL DISCHARGE THAT LEAVES THE SITE IS 2.8 CFS. THERE ARE NO OFFSITE FLOWS INTO THE SITE.

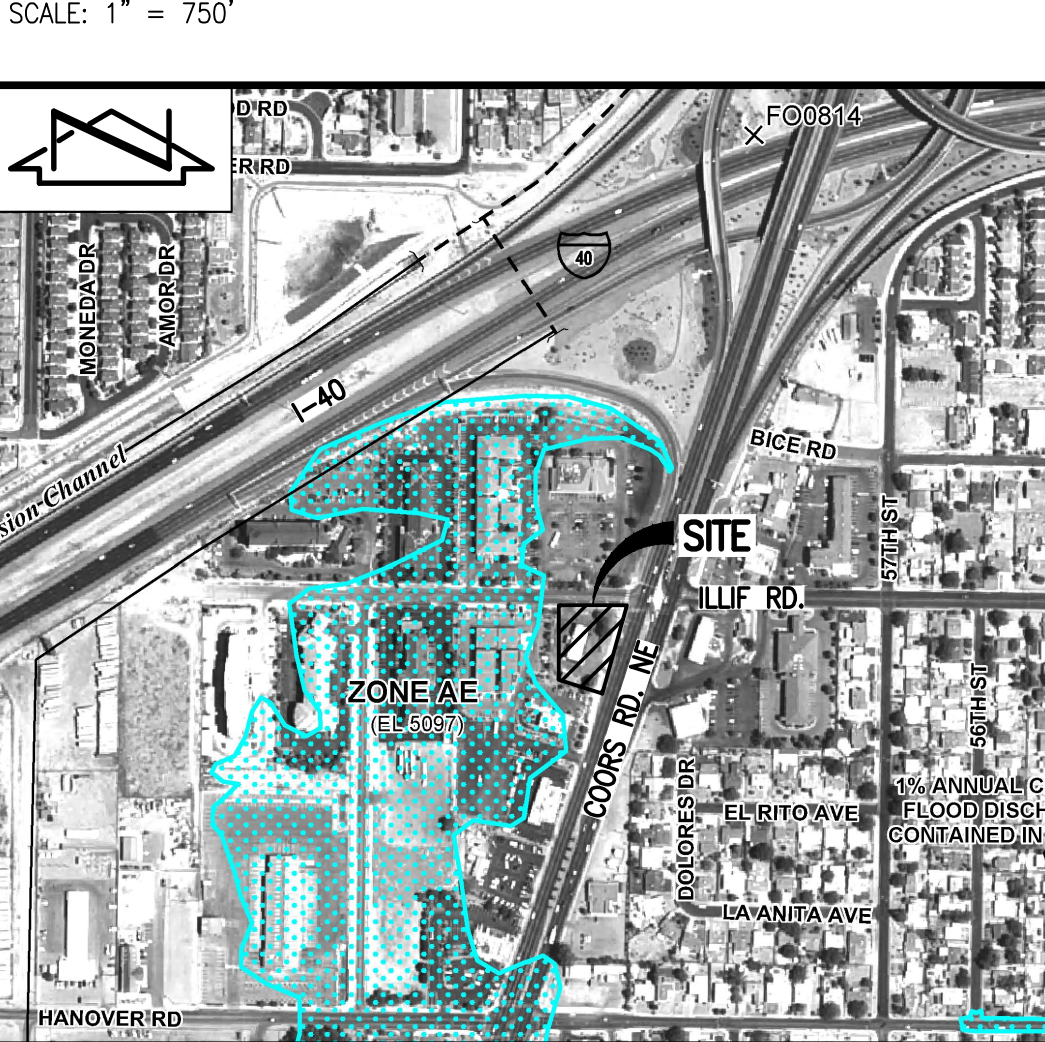
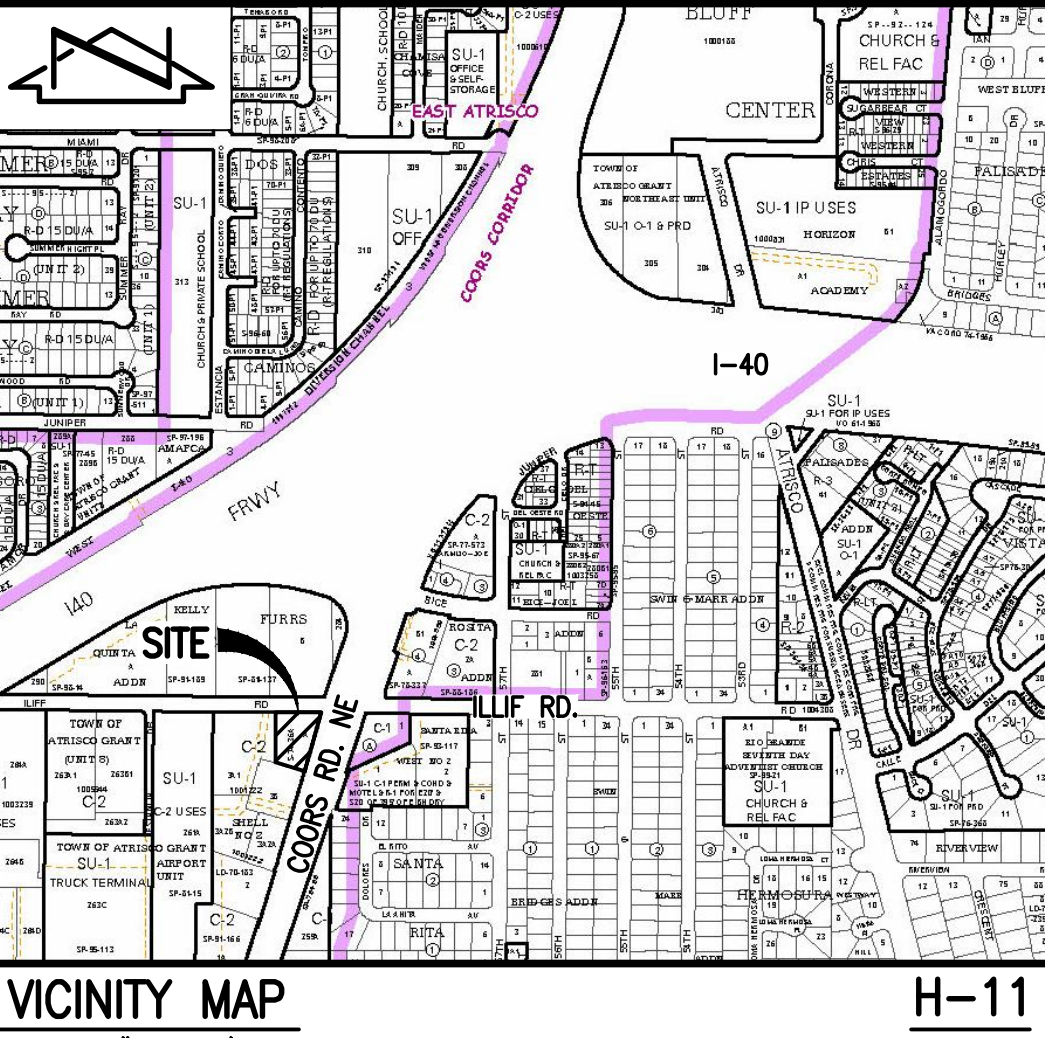
**V. DEVELOPED CONDITIONS**  
AS PART OF THE NEW DEVELOPMENT THE TWO EXISTING BUILDINGS WILL BE DEMOLISHED, A PORTION OF THE EXISTING CANOPY AND EXISTING PAVEMENT WILL REMAIN. THE NEW SITE WILL CONTAIN A NEW BUILDING, PAVEMENT, SIDEWALKS AND LANDSCAPED AREAS FOR WATER QUALITY RETENTION. THE SITE WILL CONTINUE TO SPLIT RUNOFF WITH A PORTION OF THE SITE DRAINING FROM SOUTH TO NORTH INTO ILIFF RD NW, AND THE OTHER PORTION DRAINING FROM NORTH TO SOUTHWEST INTO COORS BLVD NW. THE PROPOSED TOTAL DISCHARGE THAT LEAVES THE SITE WILL MATCH THE EXISTING DISCHARGE OF 2.8 CFS. AS IN THE EXISTING CONDITION, THERE WILL CONTINUE TO BE NO OFFSITE FLOWS IMPACTING THE PROJECT SITE.

THE PROPOSED LANDSCAPED WATER HARVESTING AREAS WITHIN AND AT THE PERIMETER OF THE DEVELOPED SITE WILL CAPTURE AND TREAT THE FIRST FLUSH RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS TO THE MAXIMUM EXTENT PRACTICABLE. THE FIRST FLUSH RETENTION REQUIREMENT FOR THIS SITE IS EQUAL TO 660 CF. THE RETENTION PROVIDED ONSITE WILL EQUAL 755 CF WHICH IS GREATER THAN WHAT IS REQUIRED. THESE VOLUMES OF RETENTION WERE CALCULATED BY THE AVERAGE END AREA METHOD.

**VI. GRADING PLAN**  
THE GRADING PLAN ON SHEET C1.1 SHOWS 1) THE EXISTING GRADES INDICATED BY THE CONTOURS AT 1 FOOT INTERVALS AND SPOT ELEVATIONS FROM THE TOPOGRAPHIC SURVEY REFERENCED ABOVE BY THIS OFFICE; 2) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY; 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS; 4) PROPOSED GRADES INDICATED BY CONTOURS AT 1 FOOT INTERVALS AND SPOT ELEVATIONS; AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.

**VII. CALCULATIONS**  
THE CALCULATIONS CONTAINED HEREON ANALYZE THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT, THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISIONS OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993 AND REVISED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE CALCULATIONS, THERE WILL BE A DECREASE IN THE 100-YEAR PEAK DISCHARGE AND VOLUME OF RUNOFF ATTRIBUTABLE TO THIS PROJECT DUE TO PONDING.

**VIII. CONCLUSIONS**  
THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED FROM THE EVALUATIONS CONTAINED HEREIN:  
1. THE PROPOSED IMPROVEMENTS REPRESENT NEW CONSTRUCTION TO AN EXISTING DEVELOPED SITE.  
2. THE PROPOSED IMPROVEMENTS WILL NOT SIGNIFICANTLY ALTER THE EXISTING DRAINAGE PATTERNS ON SITE.  
3. THE PROPOSED IMPROVEMENTS WILL RESULT IN A VERY MINOR INCREASE IN THE DEVELOPED RUNOFF GENERATED BY THE SITE BUT PONDING WILL RESULT IN A DECREASE RUNOFF THAT LEAVES THE SITE.  
4. THE PROPOSED DISCHARGE RATE EQUALS THE EXISTING DISCHARGE RATE.  
5. THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR DOWNSTREAM DRAINAGE CONDITIONS.



F.I.R.M. PANEL 327 OF 825  
SCALE: 1" = 500'  
DATED 8/16/2012

PROJECT BENCHMARK

AGRS 3 1/4" BRASS DISC STAMPED "2-H11", SET IN CONCRETE WITHIN A MONUMENT BOX MARKED WITH THE LETTER "M", IN THE SOUTH MEDIAN OF THE INTERSECTION OF COORS RD NE AND ILIFF RD.  
NORTHING 1,493,127.762 (GRID)  
EASTING 1,504,048.077 (GRID)  
ELEVATION = 5098.37 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "HMC CONTROL NMPS 11184" SET IN GRAVEL LANDSCAPE AREA ALONG COORS BLVD. AT THE EAST SIDE OF THE SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 5099.04 FEET (NAVD 1988)

TEMPORARY BENCHMARK #2 (T.B.M.)

A #5 REBAR WITH CAP STAMPED "HMC CONTROL NMPS 11184" SET IN RIVER LANDSCAPE AREA NEAR THE UNDERGROUND FUEL TANKS AT THE WEST SIDE OF THE SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 5098.92 FEET (NAVD 1988)

TEMPORARY BENCHMARK #3 (T.B.M.)

A CHISELED "A" SCRIBED IN CONCRETE HEADER CURB AT THE SOUTHWEST CORNER OF THE SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 5098.88 FEET (NAVD 1988)

GRADING KEYED NOTES

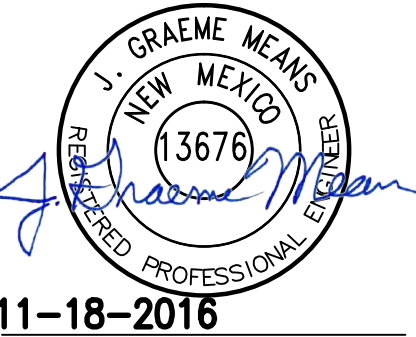
- CONSTRUCT SIDEWALK CULVERT PER TYPICAL DETAIL, SHEET C3.1
- CONSTRUCT CURB CUT PER TYPICAL DETAIL, SHEET C3.1
- DEPRESSED LANDSCAPING FOR WATER QUALITY RETENTION
- NEW ASPHALT PAVEMENT, SEE SHEET C1.2
- EXISTING CURB CUT TO REMAIN
- CONSTRUCT NEW RETAINING WALL. REFER TO STRUCTURAL PLANS FOR DETAIL
- INSTALL CONCRETE SPLASH PAD AT ROOF DRAIN DOWNSPOUT AND OVERFLOW DRAIN LOCATIONS.

LEGEND

C&G	CURB AND GUTTER	RUD	ROLL-UP DOOR
C/PM	COMMUNICATION BY PAINT MARK	RW	ROCK WALL
CAM	CAMERA	SAS	SANITARY SEWER
CAND	COMMUNICATION CONDUIT	SGP	STEEL GUARD POST
CHC	CONCRETE HEADER CURB	SI	STORM DRAIN INLET
CLD	CENTERLINE OF DOOR	TA	TOP OF ASPHALT
CLDD	CENTERLINE OF DOUBLE DOOR	TC	TOP OF CURB
CMH	COMMUNICATIONS MANHOLE	TCO	TOP OF CONCRETE
CO	SANITARY SEWER CLEANOUT	TYP	TYPICAL
CONC	CONCRETE	VG	VALLEY GUTTER
COP	CURB OPENING	WCR	WHEELCHAIR RAMP
CMR	COMMUNICATIONS RISER	WHB	WATERLINE HOTBOX
CSW	CONCRETE SIDEWALK	W/PM	WATERLINE BY PAINT MARK
DCO	DOUBLE SANITARY SEWER CLEANOUT	WVB	WATER VALVE BOX
E/PM	ELECTRIC BY PAINT MARK	*	PAINTED UTILITY MARKER
END	ELECTRIC CONDUIT	1.2"	DIAMETER OF TREE
EDP	ELECTRIC DISTRIBUTION PANEL		
EM	ELECTRIC METER		
FM	FIRE HYDRANT		
FLOWLINE	FLOWLINE		
C/PM	GAS BY PAINT MARK		
GRV	GRAVEL		
GW	GUY WIRE		
IVB	IRRIGATION VALVE BOX		
MCB	1'x1' METAL BUILDING COLUMN		
MC	METAL COLUMN		
MCB	METER CAN WITH BIB VALVE		
MLP	METAL LIGHT POLE		
MW	MONITORING WELL		
CHC(2)	OVERHEAD COMMUNICATION (# OF LINES)		
CHC(2)	OVERHEAD ELECTRIC (# OF LINES)		
PI	PAINTED ISLAND		
PS	PARKING STRIPE		
RR	RIVER ROCK		

**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • WWW.HIGHMESACG.COM



11-18-2016

**nbwarchitects p.a.**  
ARCHITECTURE / PLANNING / INTERIORS  
SCOTT T. NIELSON, A.I.A. KEVIN R. BOODY, A.I.A. JAMES H. WYATT, A.I.A.  
900 JOHN HENRY PARKWAY P.O. BOX 2212 - NORTH PALM BEACH, FL 33402-2212  
(561) 208-522-8775 (F) 208-522-8705 (O) nbwarchitects.com

NEW BUILDING FOR:  
**GOOD 2 GO CONVENIENCE STORE**  
COORS STORE  
ALBUQUERQUE, NEW MEXICO  
PROPOSED GRADING PLAN  
PROJECT:  
SHEET TITLE:

REVISIONS

PROJECT NO.  
16031  
DATE:  
NOVEMBER 2016  
CHECKED BY:  
J. Y. R. / S. C. C.  
R. J. C.

DRAWING NO.:

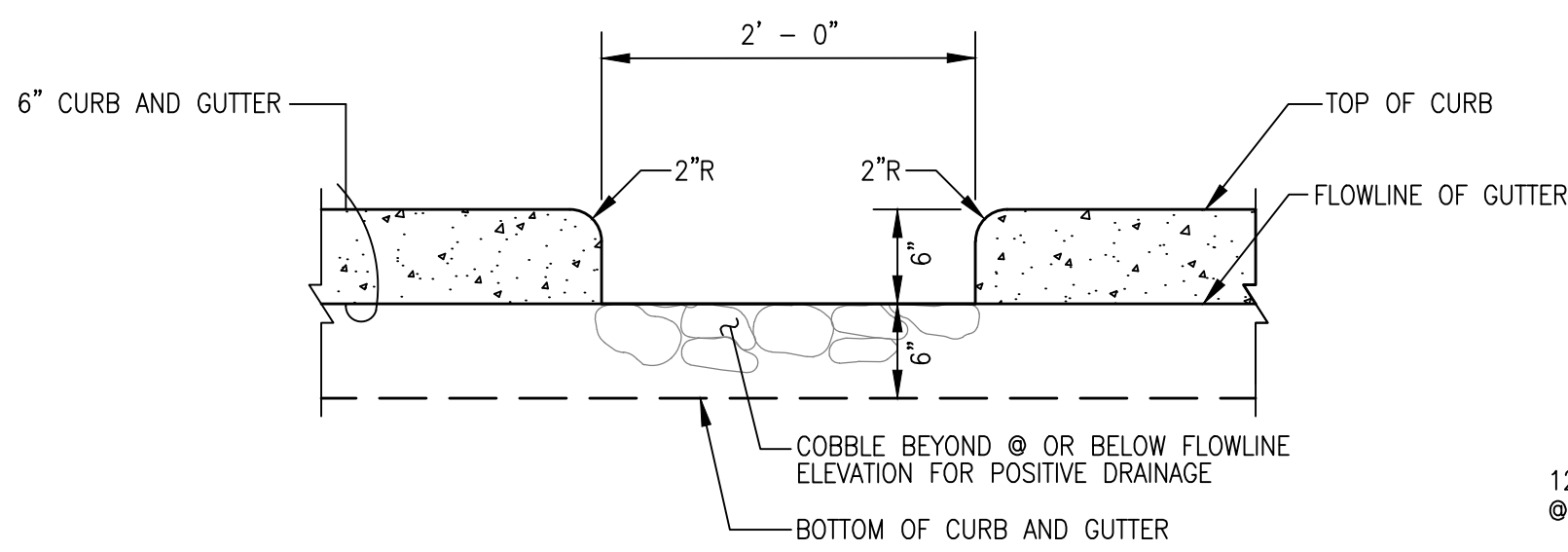
2016.041.1

**C1.1**

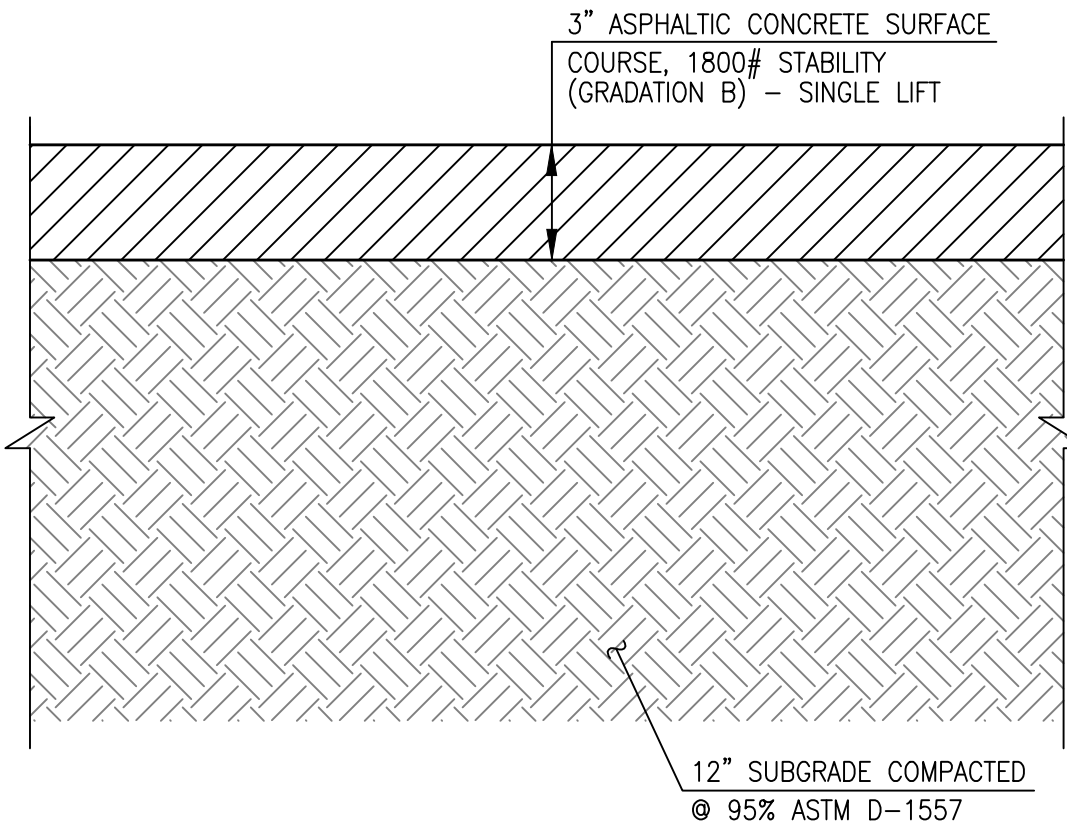
NOTE:

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 04/27/2016 (2016.024.1).

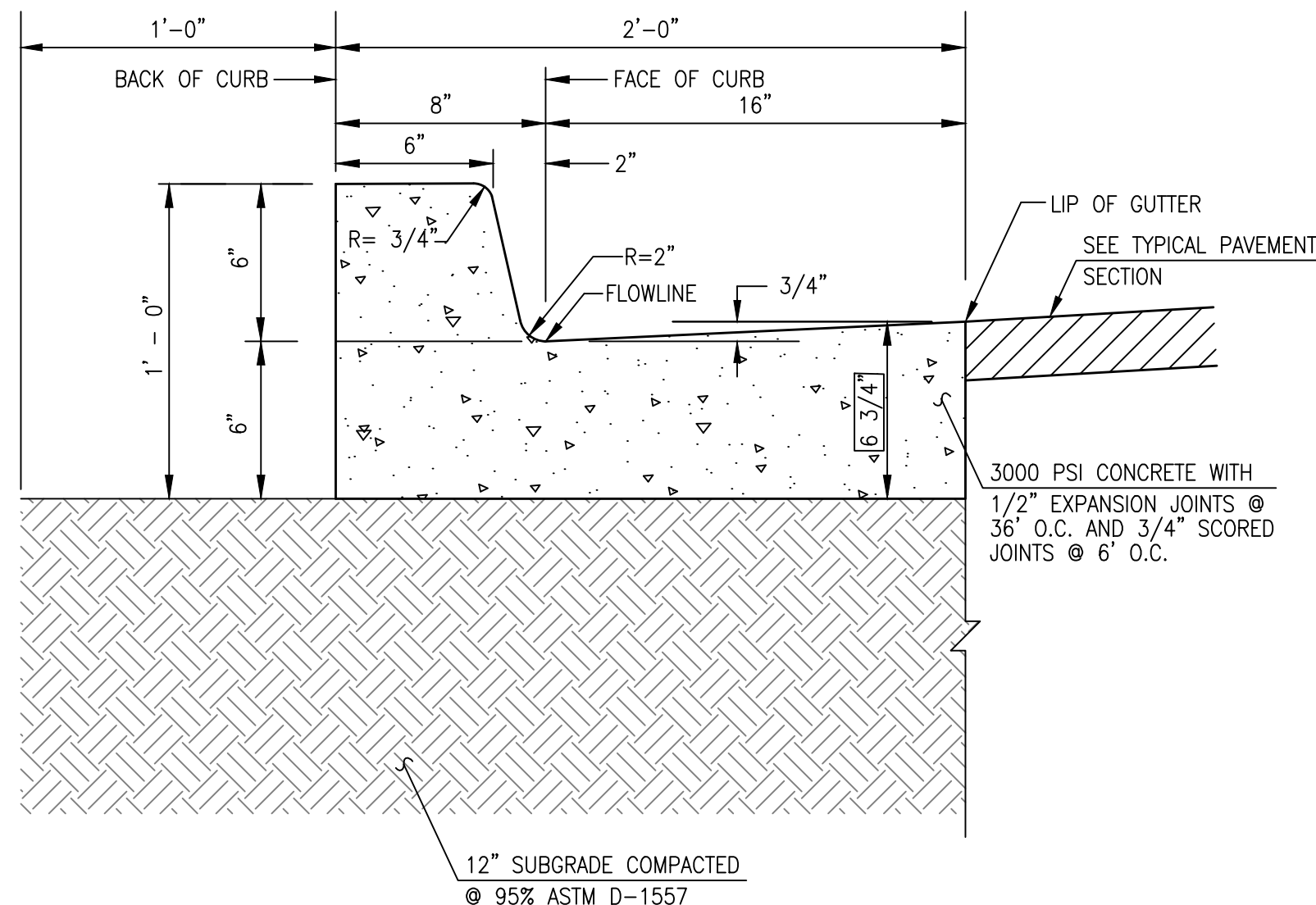
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File Name: 160411\_C3.1.DWG Plot Time: 11:07 am



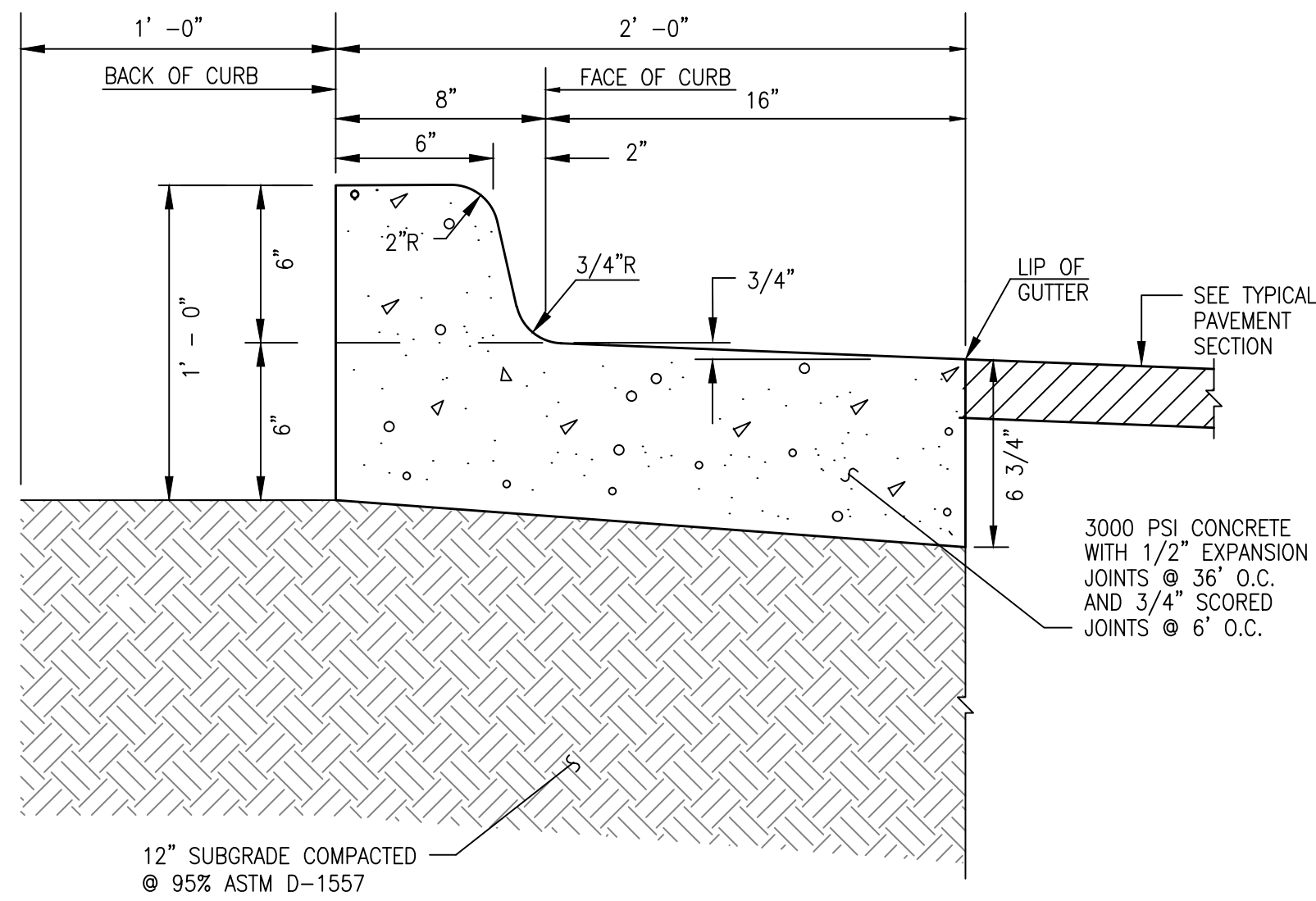
**CURB CUT SECTION**  
SCALE: 1" = 1'-0"



**TYPICAL 3" ASPHALT PAVING SECTION**  
SCALE: 1" = 5" (VEHICULAR TRAFFIC AREAS)

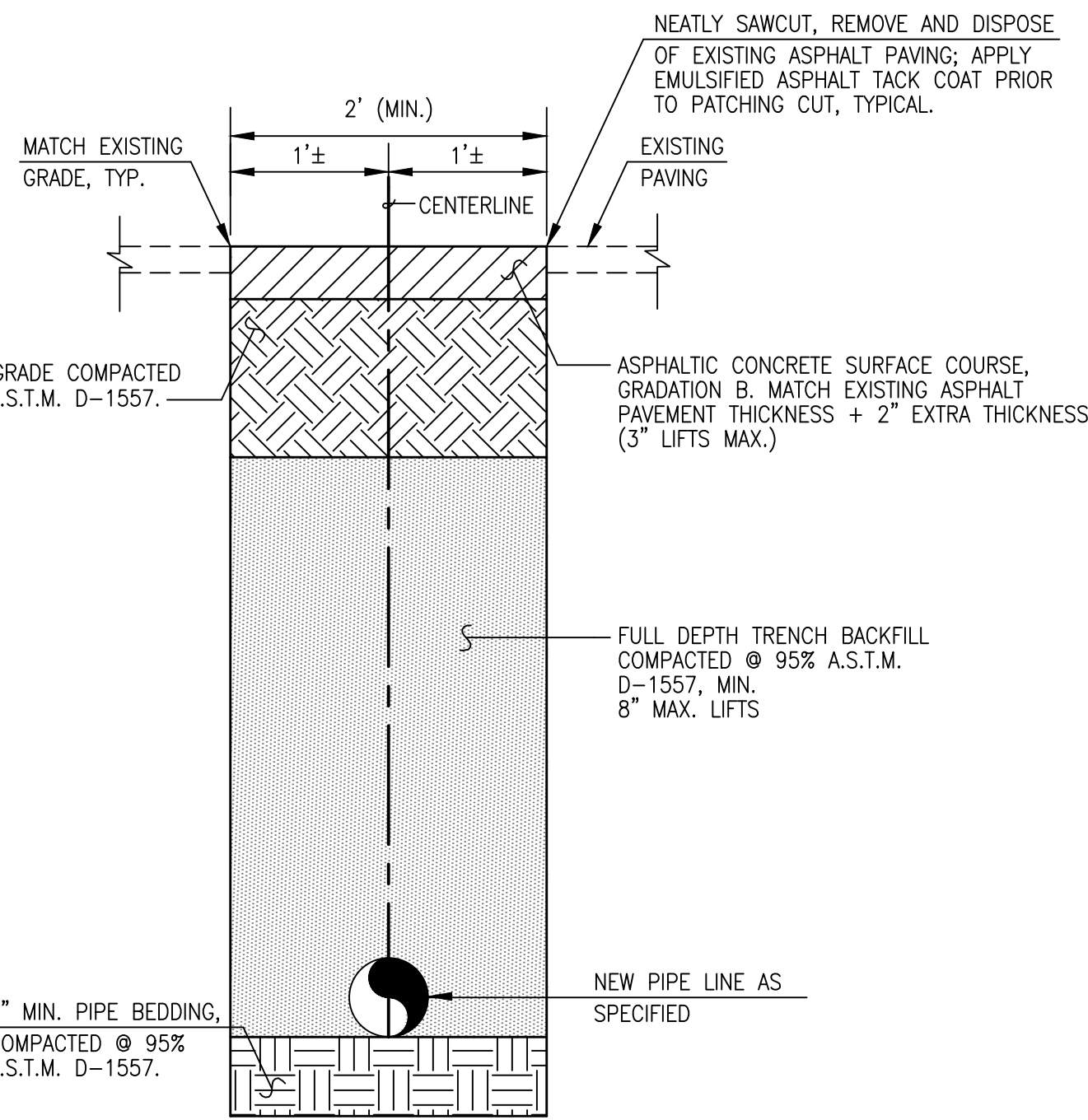


**TYPICAL SIX-INCH CURB & GUTTER**  
SCALE: 1" = 0'-6"

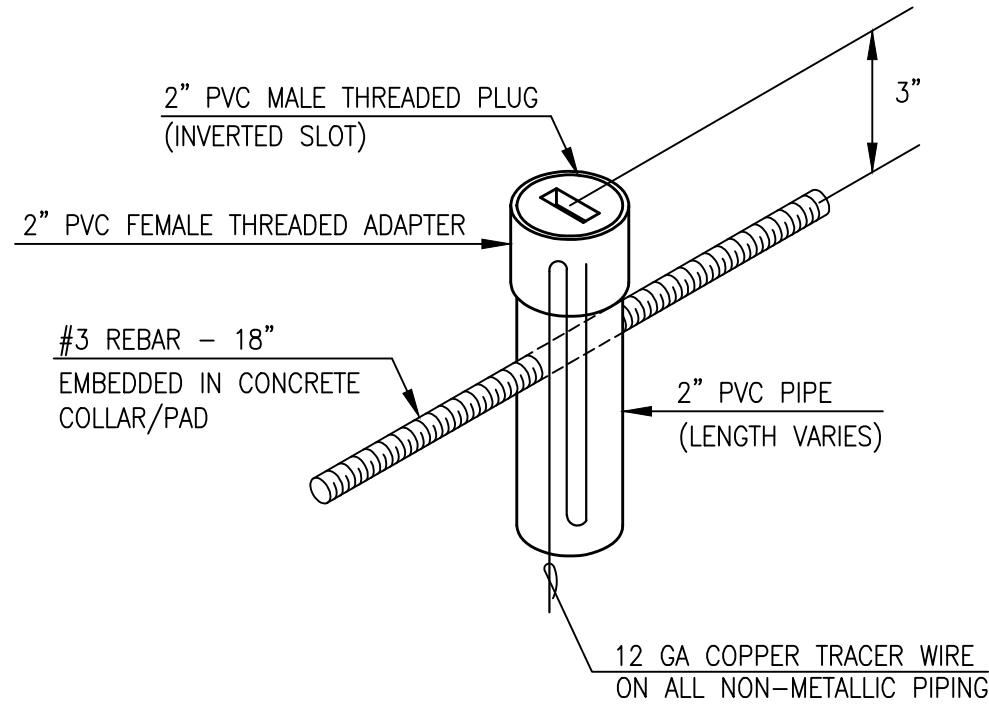


**TYPICAL SIX-INCH DEPRESSED CURB AND GUTTER**  
SCALE: 1" = 0'-6"

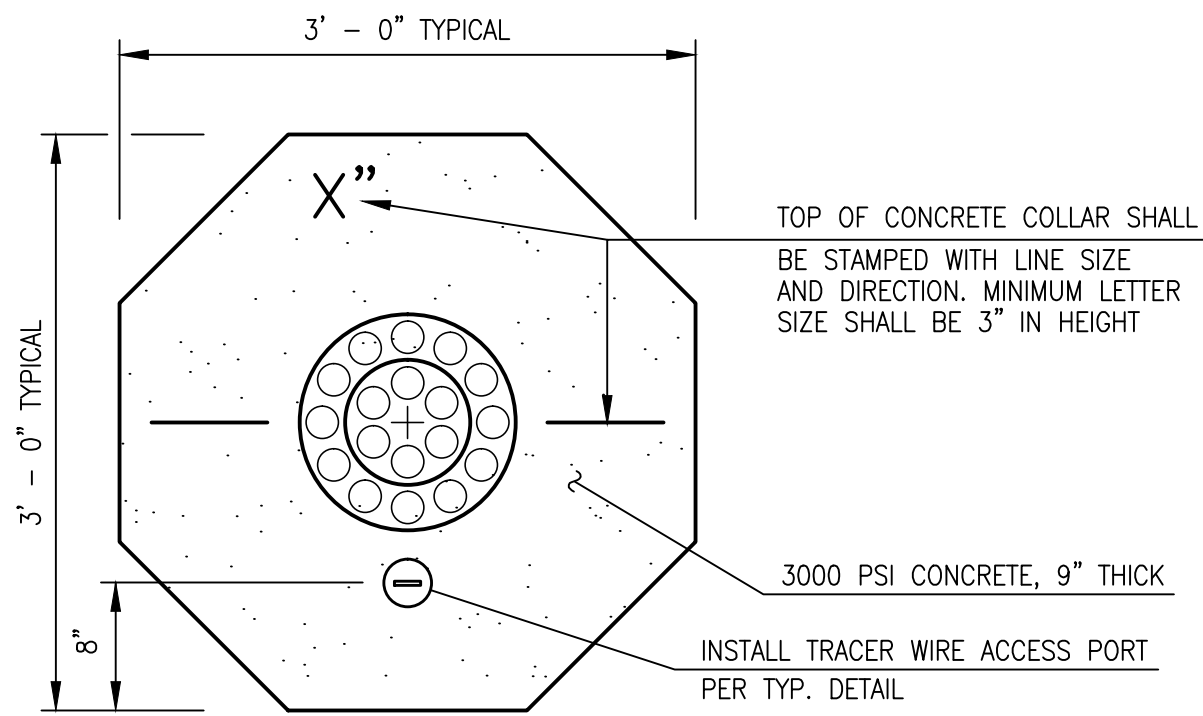
NOTE: USE THIS SECTION FOR CASES WHERE PAVING SLOPES AWAY FROM FACE OF CURB



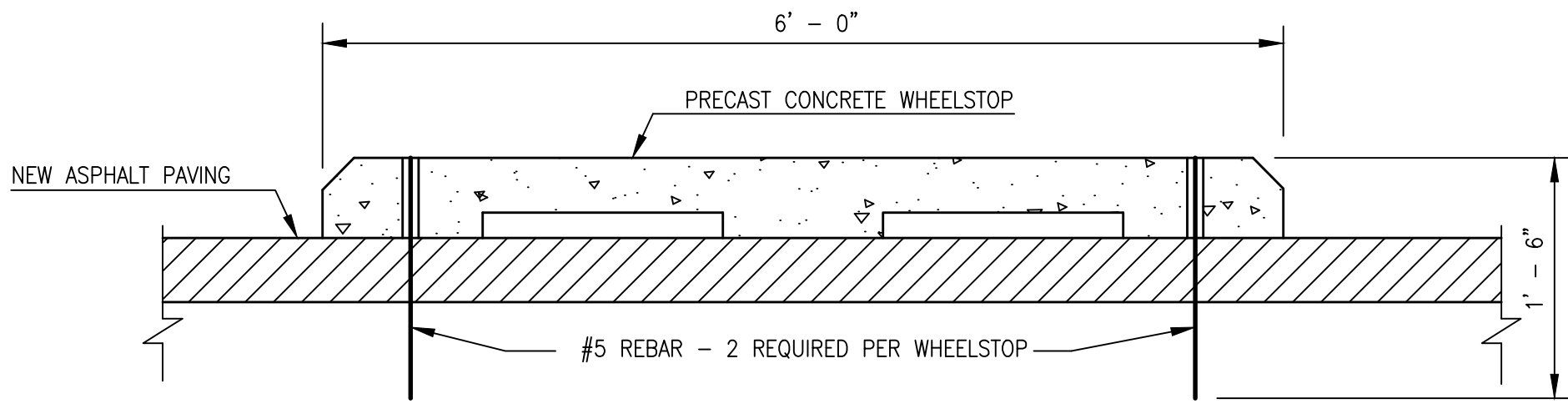
**TYPICAL PRIVATE PAVING UTILITY CUT AND PAVEMENT REPLACEMENT SECTION**  
SCALE: 1"=1'



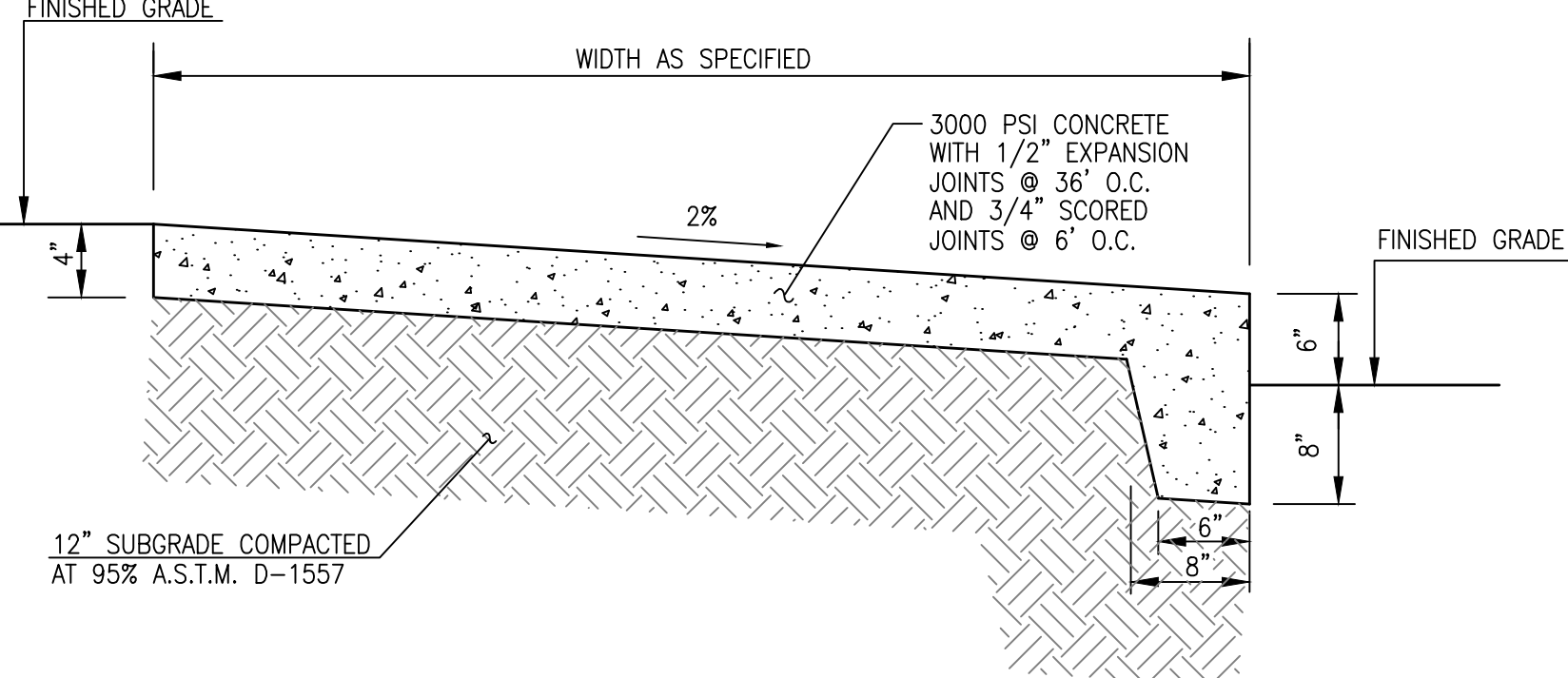
**TYPICAL TRACER WIRE ACCESS PORT**  
NOT TO SCALE



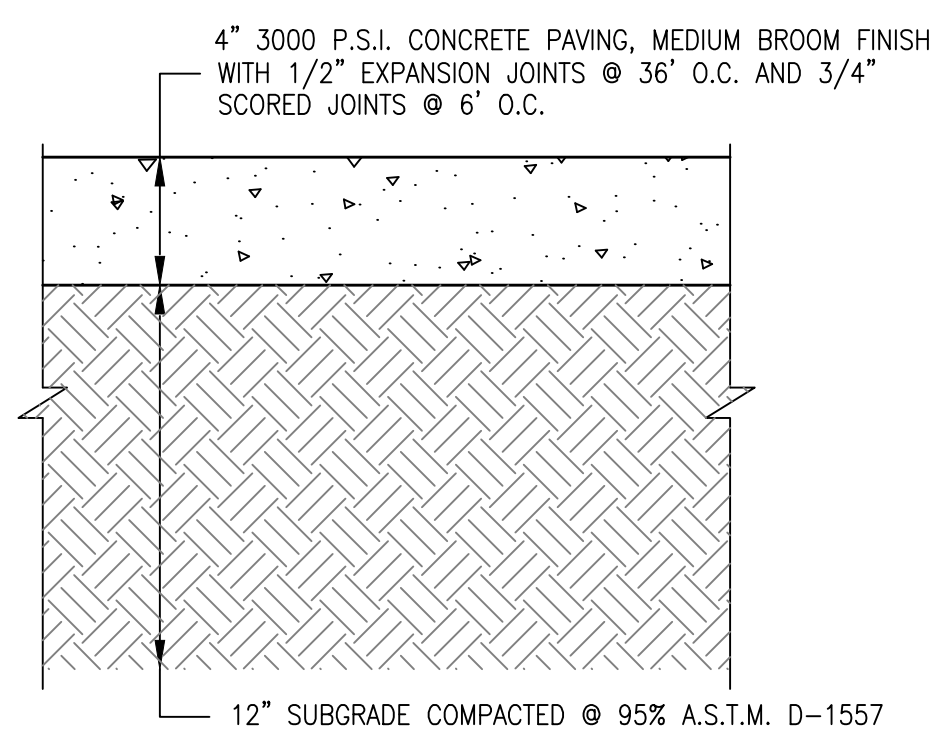
**TYPICAL WATER VALVE BOX COLLAR DETAIL**  
SCALE: 1" = 1'



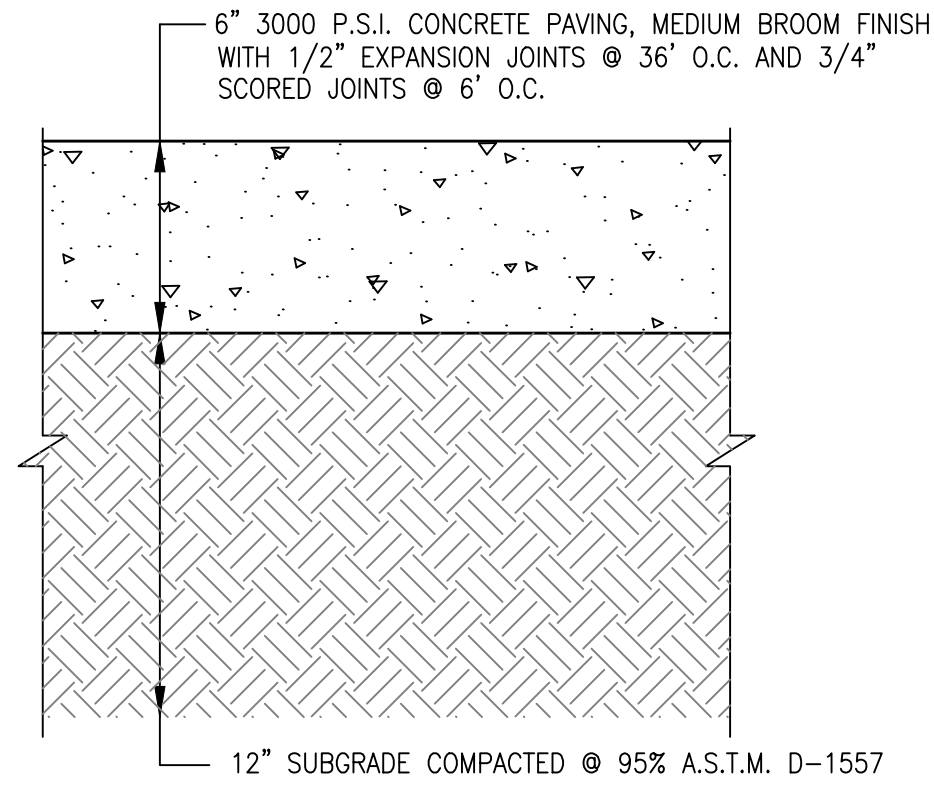
**WHEELSTOP SECTION**  
SCALE: 1" = 1'-0"



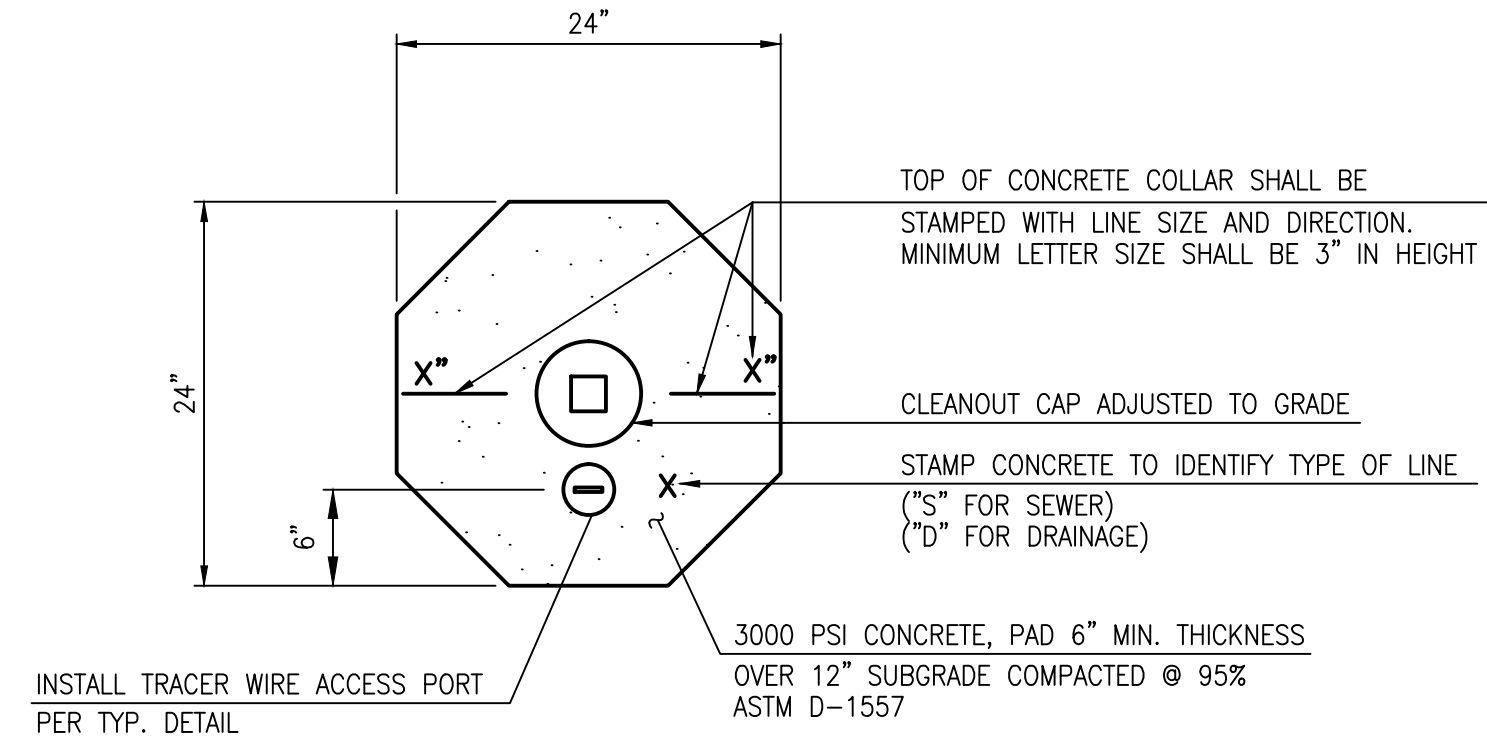
**TURNDOWN SIDEWALK SECTION**  
SCALE: 1" = 1'-0"



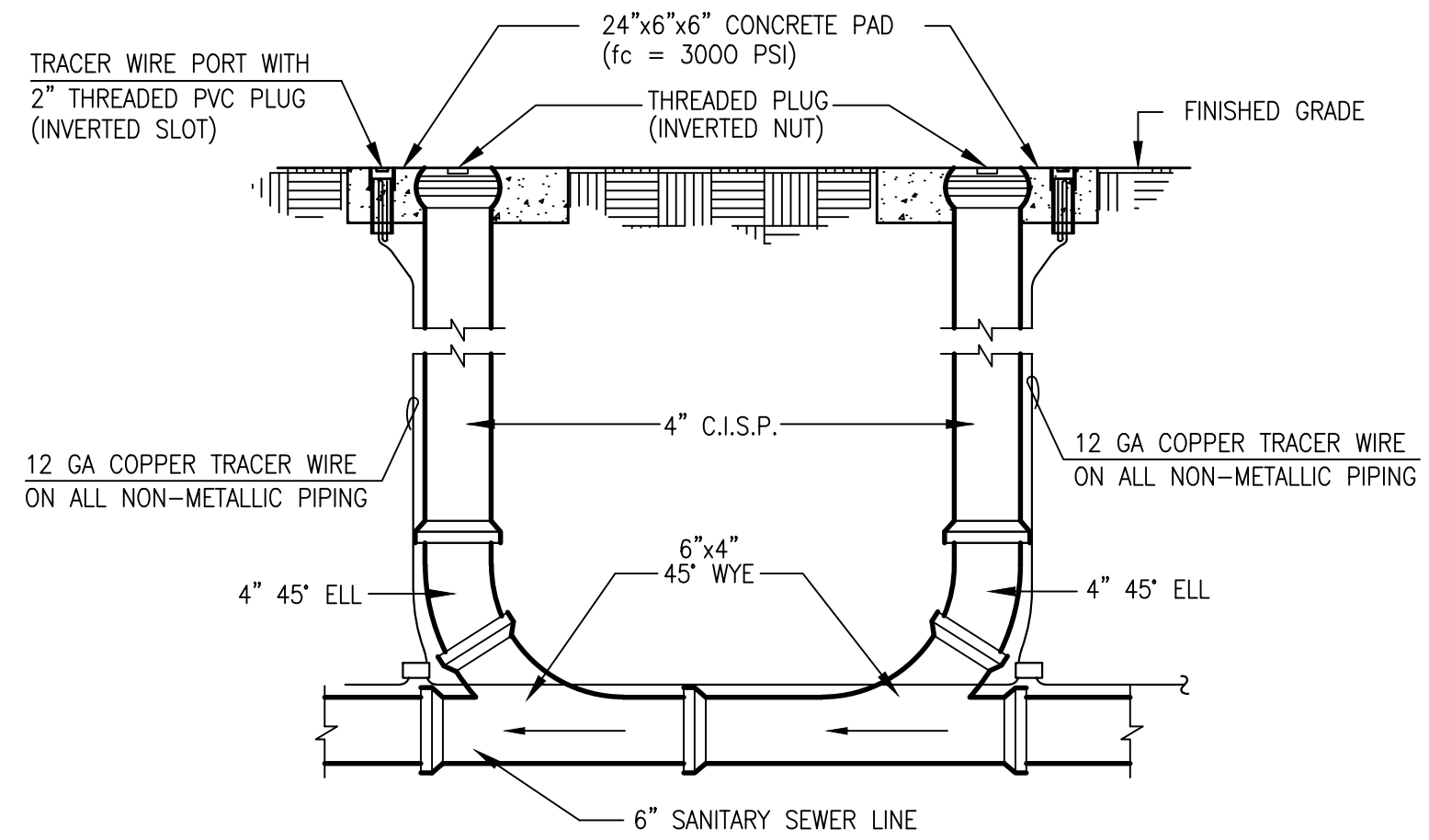
**TYPICAL CONCRETE SIDEWALK SECTION**  
SCALE: 1" = 6"



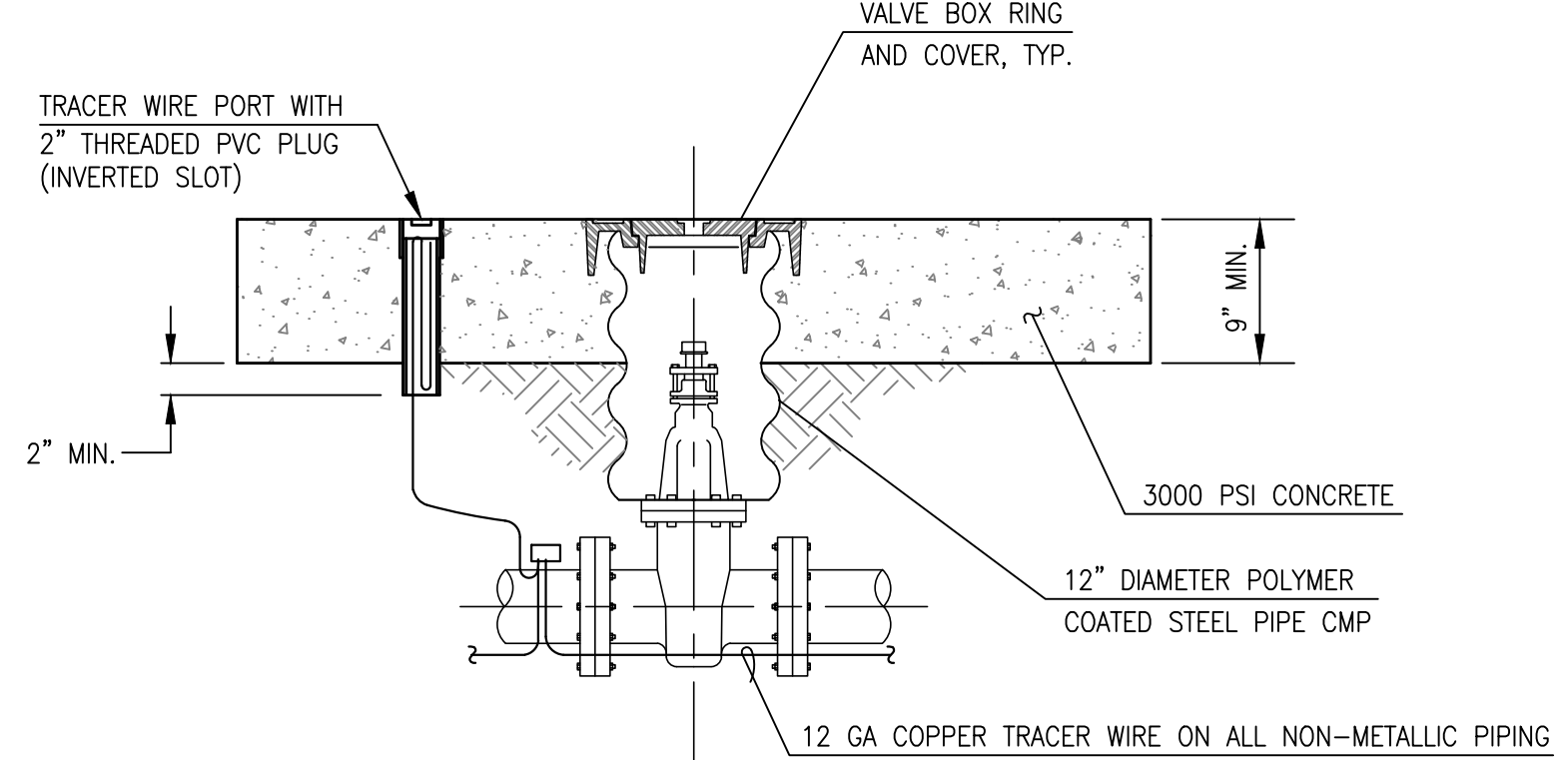
**TYPICAL CONCRETE PAVEMENT SECTION**  
SCALE: 1" = 6"



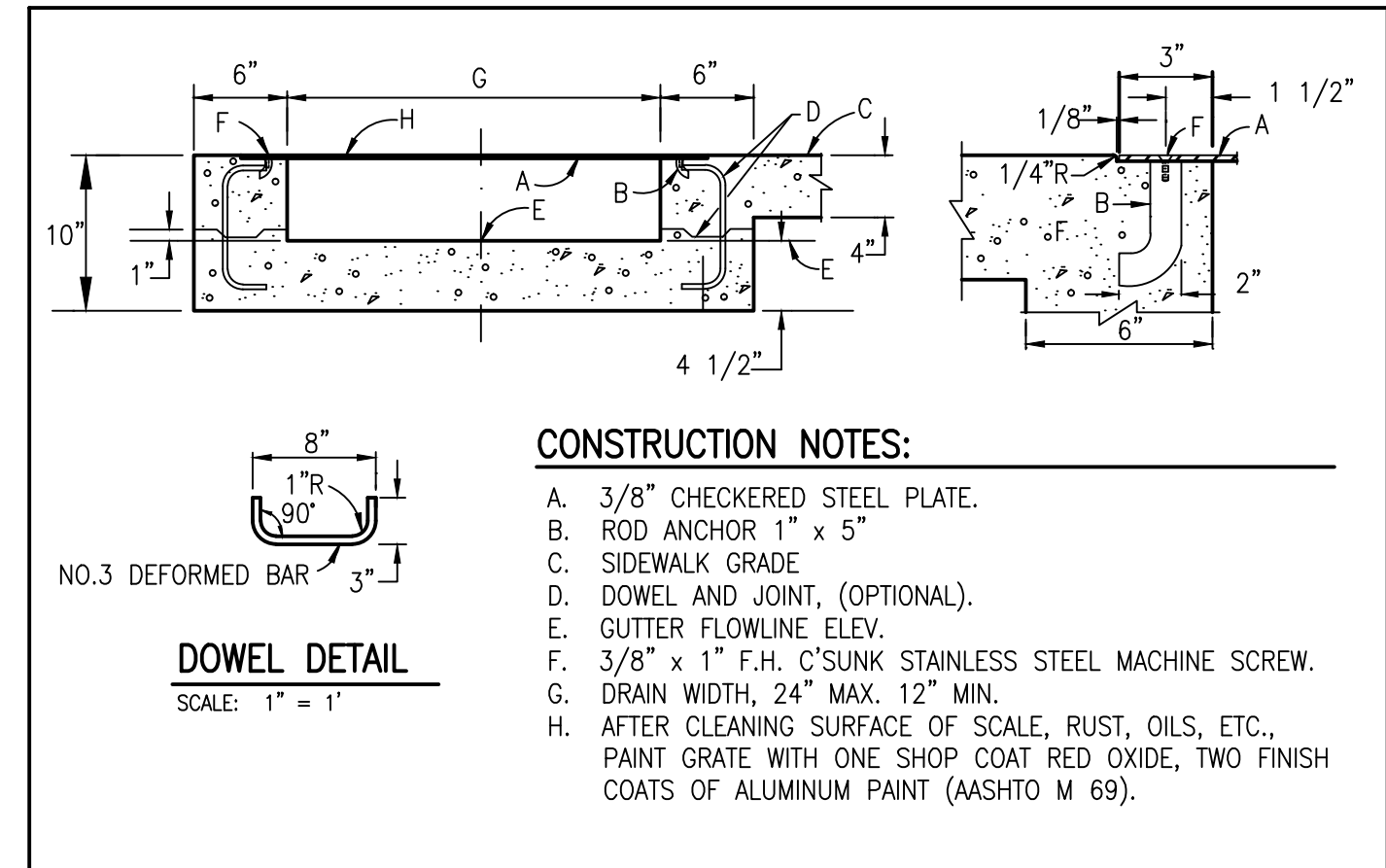
**TYPICAL CLEANOUT COLLAR DETAIL**  
SCALE: 1" = 1'



**TYPICAL DOUBLE CLEANOUT SECTION**  
NOT TO SCALE



**TYPICAL WATER VALVE BOX SECTION**  
SCALE: 1" = 1'



**SIDEWALK CULVERT SECTION**  
SCALE: 1" = 2'



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

**PRE-DESIGN MEETING?**

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_