

# CITY OF ALBUQUERQUE



October 24, 2017

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010 B Midway Park Blvd NE  
Albuquerque, NM, 87109

**Re: Good 2 Go : Coors  
1535 Coors Blvd NW  
Request for Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's Stamp dated 10-19-17 (H11D071)  
Certification dated 10-19-17**

Dear Mr. Means,

Based upon the information provided in your submittal received 10-19-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3995.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department  
Development Review Services

via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

**PRE-DESIGN MEETING?**

OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

**COA PARKING CALCULATIONS**

CITY OF ALBUQUERQUE ZONING CODE: REQUIRED OFF STREET PARKING  
**VEHICLE PARKING:**  
 TOTAL BUILDING SF = 4,366; 4,366/200 = 21.83 ≈ 22 SPACES REQUIRED. THIS SITE QUALIFIES FOR 10% TRANSIT REDUCTION OF 2 SPACES AFTER THE REDUCTION THE AMOUNT OF SPACES REQUIRED EQUALS 20.  
 PARKING SPACES PROVIDED: 22 SPACES  
**BICYCLE PARKING:**  
 ONE BICYCLE SPACE IS REQUIRED FOR EVERY 20 SPACES.  
 PARKING SPACE PROVIDED: 4 SPACES  
**MOTORCYCLE PARKING:**  
 20 REQUIRED VEHICLE SPACES REQUIRES A MIN. OF 1 MOTORCYCLE PARKING SPACE.  
 PARKING SPACES PROVIDED: 1 SPACE  
**ACCESSIBLE PARKING:**  
 20 REQUIRED VEHICLE SPACES REQUIRE A MIN. OF 1 ACCESSIBLE PARKING SPACE.  
 PARKING SPACES PROVIDED: 1 SPACE

- RECORD DRAWING LEGEND**
- △ RECORD INFORMATION (VERIFIED BY ENGINEER)
  - ✓ AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
  - 42" RECORD INFORMATION FROM AS-BUILT SURVEY
  - 25.2 RECORD INFORMATION FROM AS-BUILT SURVEY
  - 42 RECORD INFORMATION FROM AS-BUILT SURVEY

**PAVING KEYED NOTES**

- 1 CONSTRUCT STANDARD CURB AND GUTTER PER SHEET C3.1
- 2 CONSTRUCT DEPRESSED CURB AND GUTTER PER SHEET C3.1
- 3 CONSTRUCT NEW ASPHALT PAVEMENT PER TYPICAL SECTION PER SHEET C3.1
- 4 CONSTRUCT CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET C3.1
- 5 CONSTRUCT 12" CURB OPENING FOR WATER HARVESTING AND FIRST FLUSH CAPTURE AND OVERFLOW RELEASE
- 6 PAINT 4" WIDE CROSS HATCH (2" CC) PAVEMENT MARKINGS @ 45 DEG WITH "NO PARKING" STENCILED AS SHOWN WITH BLUE TRAFFIC PAINT, MIN 2 COATS TYPICAL
- 7 INSTALL 1-ADA COMPLIANT HANDICAP PARKING SPACE PAVEMENT MARKING WITH BLUE TRAFFIC PAINT, MIN 2 COATS, TYPICAL
- 8 INSTALL 1-ADA COMPLIANT ACCESSIBLE PARKING SIGN ON BUILDING FACE WITH LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- 9 EXISTING CURB TO REMAIN
- 10 EXISTING SIDEWALK AND DRIVEPAD TO REMAIN
- 11 PAINT 4" PAVEMENT MARKING WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS, TYPICAL
- 12 CRACK SEAL EXISTING CRACKS AND SEAL COAT EXISTING ASPHALT PAVEMENT.
- 13 RESTRIPE EXISTING PAVEMENT MARKING WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS, TYPICAL
- 14 EXISTING BICYCLE STALLS (4 TOTAL SPACES)
- 15 CONSTRUCT CONCRETE PAVEMENT PER TYPICAL SECTION, SHEET C3.1
- 16 INSTALL CONCRETE WHEEL STOP PER TYPICAL SECTION, SHEET C3.1
- 17 CONSTRUCT TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET C3.1
- 18 EXISTING CONCRETE TO REMAIN
- 19 INSTALL 1 - "MOTORCYCLE PARKING ONLY" SIGN
- 20 CURB CUT. SEE SHEET C1.1.

- 21 INSTALL 1 - 36"x36" STOP SIGN (R-1-1)  
 22 DOUBLE STRIPE 4" PAVEMENT MARKING WITH WHITE TRAFFIC PAINT, MIN. 2 COATS  
 23 STRIPE 24" WHITE TRAFFIC PAINT STOP BAR PER M.U.T.C.D., MIN. 2 COATS

**LEGEND**

- C&G CURB AND GUTTER
- CAM CAMERA
- CHC CONCRETE HEADER CURB
- CLD CENTERLINE OF DOOR
- CLF CHAINLINK FENCE
- CONC CONCRETE
- CSW CONCRETE SIDEWALK
- CP STEEL GUARD POST
- GRV GRAVEL
- 1'X1' METAL BUILDING COLUMN
- MCL METAL COLUMN
- METER CAN WITH BIB VALVE
- MLP METAL LIGHT POLE
- MONITORING WELL
- PAINTED ISLAND
- PARKING STRIPE
- ROOF DRAIN
- ROLL-UP DOOR
- RIVER ROCK
- TYPICAL
- VALLEY GUTTER
- WHEELCHAIR RAMP
- DIAMETER OF TREE
- DECIDUOUS TREE
- SMALL DECIDUOUS TREE
- SHRUB
- YUCCA
- GROUP OF SHRUBS
- RIGHT OF WAY LINE
- PUBLIC EASEMENT LINE
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING

**DEMOLITION KEYED NOTES**

- 1 NEATLY SAW CUT EXISTING ASPHALT PAVING
- 2 NEATLY SAW CUT EXISTING CURB
- 3 REMOVE AND DISPOSE OF EXISTING CURB
- 4 REMOVE AND DISPOSE OF EXISTING ASPHALT PAVING
- 5 REMOVE AND DISPOSE OF EXISTING CONCRETE PAVING
- 6 REMOVE AND DISPOSE OF EXISTING BUILDING
- 7 REMOVE AND DISPOSE OF EXISTING SEWER LINE
- 8 REMOVE AND DISPOSE OF EXISTING TREE
- 9 EXISTING METAL LIGHT POLE TO REMAIN
- 10 EXISTING CURB TO REMAIN
- 11 EXISTING ASPHALT PAVING TO REMAIN
- 12 EXISTING CONCRETE PAVEMENT TO REMAIN
- 13 EXISTING TREE TO REMAIN
- 14 EXISTING GAS TANKS TO REMAIN
- 15 EXISTING IRRIGATION CONTROLLER TO REMAIN
- 16 EXISTING CANOPY COLUMN TO REMAIN
- 17 EXISTING SEWER TO REMAIN
- 18 EXISTING IRRIGATION BACKFLOW PREVENTER TO REMAIN
- 19 EXISTING CANOPY TO REMAIN
- 20 REMOVE EXISTING CANOPY AND COLUMNS
- 21 REMOVE AND DISPOSE OF EXISTING GUARD POSTS

**ENGINEER'S CERTIFICATION**

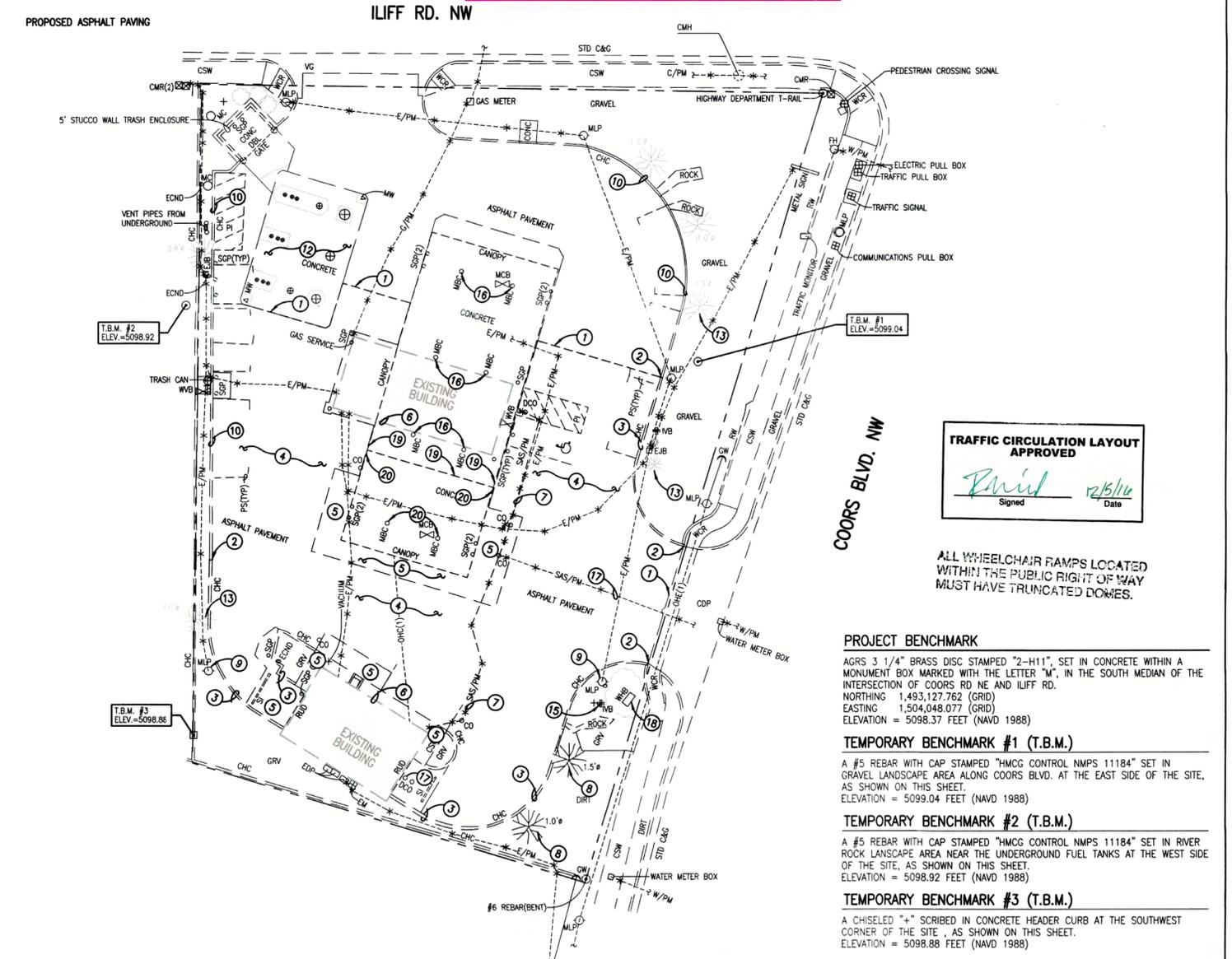
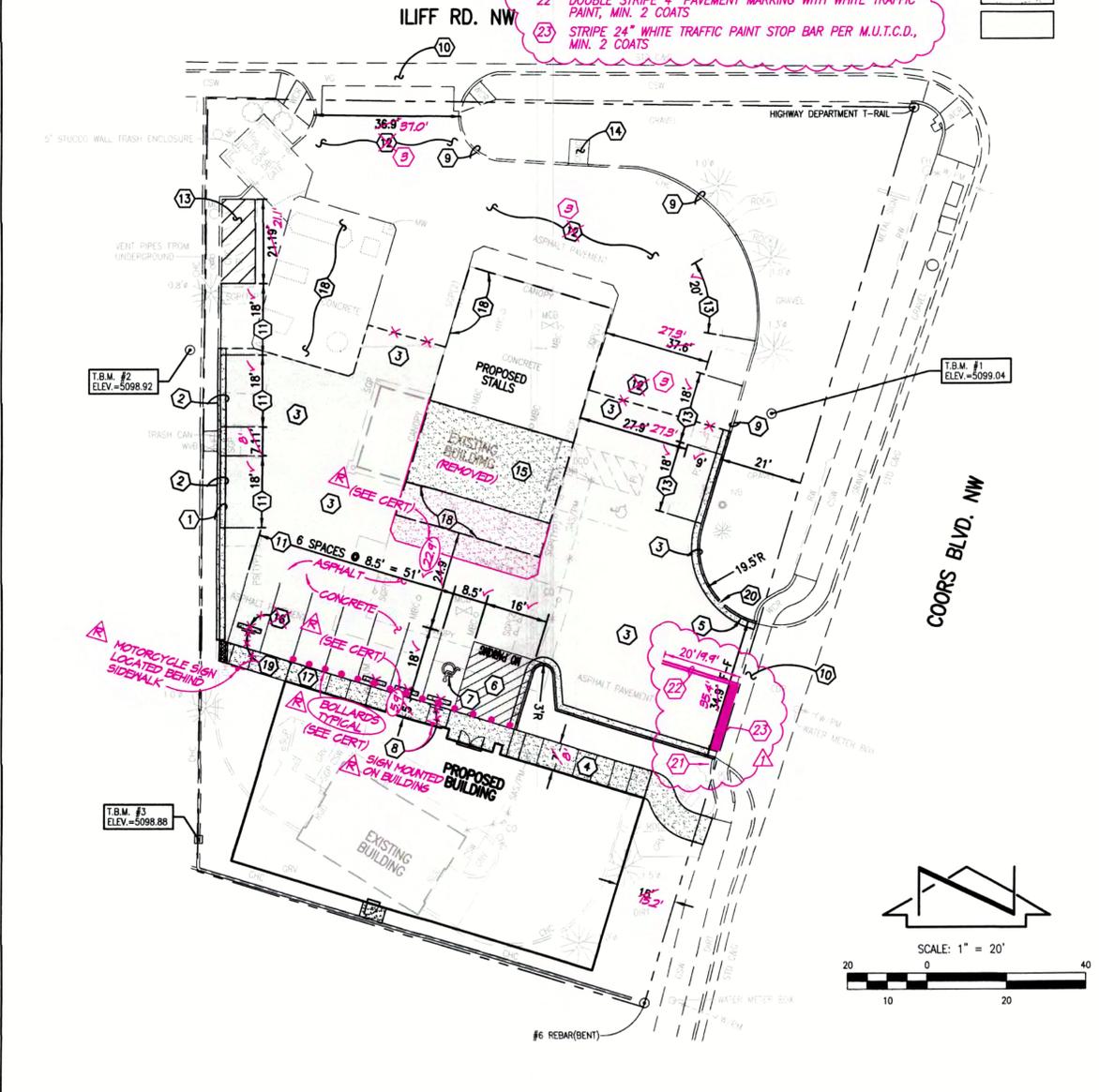
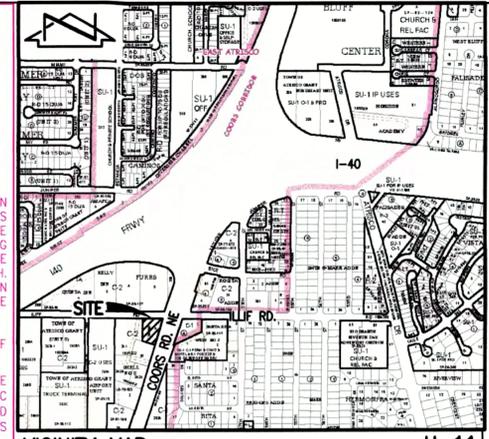
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THE TRAFFIC AND CIRCULATION ASPECTS OF THIS PROJECT HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/18/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 10/16/2017 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF JOSEPH M. SOLOMON, JR., NMPS 15075, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION CONTAINED HEREIN APPEARS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THERE WAS ONE NOTED DEVIATION IN THE WIDTH OF THE DRIVE LANE BETWEEN THE BUILDING PARKING SPACES AND THE GAS PUMPS WHEREBY THE WIDTH IS 22.9 FEET, INSTEAD OF 24.9 FEET. THIS CHANGE WAS DUE TO AN APPROXIMATE 1 FOOT SHIFT IN THE BUILDING FOOTPRINT AND THE BUILDING SIDEWALK BEING WIDENED FROM 5 FEET TO 5.9 FEET. THIS DEVIATION SHOULD NOT BE PROBLEMATIC AS THE PARKING IS SINGLE LOADED ON THIS SHORT STRETCH. ALSO, BOLLARDS WERE ADDED ALONG THE FACE OF THE BUILDING BETWEEN THE PARKING SPACES AND THE BUILDING, TO PREVENT VEHICLE DAMAGE TO THE BUILDING.

THIS CERTIFICATION IS SUBMITTED TO SUPPORT A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*J. Graeme Means*  
 GRAEME MEANS, NMPE NO. 13676  
 10-19-2017 DATE  
 J. GRAEME MEANS  
 NEW MEXICO  
 13676  
 REGISTERED PROFESSIONAL ENGINEER



TRAFFIC CIRCULATION LAYOUT APPROVED  
*Paul* 12/5/16  
 Signed Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

**PROJECT BENCHMARK**  
 AGRS 3 1/4" BRASS DISC STAMPED "2-H11", SET IN CONCRETE WITHIN A MONUMENT BOX MARKED WITH THE LETTER "M", IN THE SOUTH MEDIAN OF THE INTERSECTION OF COORS RD NE AND ILIFF RD.  
 NORTHING 1,493,127.762 (GRID)  
 EASTING 1,504,048.077 (GRID)  
 ELEVATION = 5098.37 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #1 (T.B.M.)**  
 A #5 REBAR WITH CAP STAMPED "HMC CONTROL NMPS 11184" SET IN GRAVEL LANDSCAPE AREA ALONG COORS BLVD. AT THE EAST SIDE OF THE SITE, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5098.04 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #2 (T.B.M.)**  
 A #5 REBAR WITH CAP STAMPED "HMC CONTROL NMPS 11184" SET IN RIVER ROCK LANDSCAPE AREA NEAR THE UNDERGROUND FUEL TANKS AT THE WEST SIDE OF THE SITE, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5098.92 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #3 (T.B.M.)**  
 A CHISELED "+" SCRIBED IN CONCRETE HEADER CURB AT THE SOUTHWEST CORNER OF THE SITE, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5098.88 FEET (NAVD 1988)

**PAVING PLAN**

**DEMOLITION PLAN**

**NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 04/27/2016 (2016.024.1).

**RECORD DRAWING**

**HIGH MESA Consulting Group**  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

**nbwarchitects p.a.**  
 ARCHITECTURE, PLANNING & INTERIORS  
 SCOTT L. NIELSON, A.I.A. KEVIN R. BODLEY, A.I.A. JAMES H. WYATT, A.I.A.  
 910 JOHN BOHNS BROWDER, P.O. BOX 2212 - DUBLIN, TEXAS 75008-2212  
 (972) 208-5279 (972) 208-8925 (972) 208-8925

NEW BUILDING FOR:  
**GOOD 2 GO CONVENIENCE STORE**  
 COORS STORE  
 ALBUQUERQUE, NEW MEXICO

PROJECT NO. 16031  
 DATE: NOVEMBER 2016  
 DRAWN BY: J. Y. R. / S. C. C.  
 CHECKED BY: R. J. C.

2016.041.1  
**C1.2**

File Path: P:\DMA\2016\20160411\DWG\Plot Date: 11-14-2016  
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