

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2024

Treveston Elliott, R.A  
Treveston Elliott Architect  
811 12<sup>th</sup> St. NW  
Albuquerque, NM 87102

**Re: Stripes Burrito CO.  
2781 57<sup>TH</sup> St. NW  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Architect's Stamp dated 05-31-22 (H11-D073)  
Certification dated 07-02-24**

Dear Mr. Elliott,

Based upon the information provided in your submittal received 07-03-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- Per city requirements, ADA parking aisle must be striped with blue.



- Provide Motorcycle parking space sign.

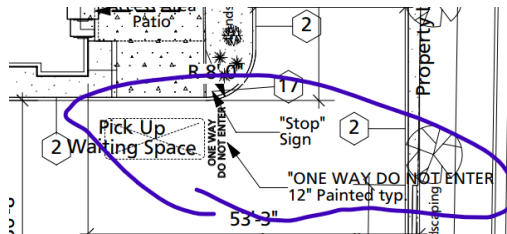
# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

- Per approved site plan, please provide the "ONE WAY" pavement marking at the beginning of the drive-thru and the "DO NOT ENTER" pavement marking at the exit of the drive-thru lane.



Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Albuquerque

Sincerely,

NM 87103

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Ma via: email

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** 2781 57th Street H11-D073 **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** Tract- C-1-B of the plat of tract C-1-A & C-1-B, Albuquerque West Subdivision 11 **City Address OR Parcel** Tract- C-1-B Albuquerque West Subdivision

**Applicant/Agent:** Treveston Elliott Architect **Contact:** Treveston Elliott

**Address:** 811 12th St NW **Phone:** 505.259.4617

**Email:** Treveston@TEArchitect.com

**Applicant/Owner:** Alfredo Barrenechea **Contact:** Alfredo Barrenechea

**Address:** 131 Madison St NE **Phone:** 505.401.0135

**Email:** alfredo@go-absolute.net

**TYPE OF DEVELOPMENT:** ☒ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: \_\_\_\_\_

**RE-SUBMITTAL:** ☒ YES ☐ NO

**DEPARTMENT:** ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** July 2, 2024

## TREVESTON ELLIOTT ARCHITECT

811 12TH STREET NW  
ALBUQUERQUE NM  
87102

o 505.259.4617

www TEarchitect.com

### TRAFFIC CERTIFICATION

**H11-D073**

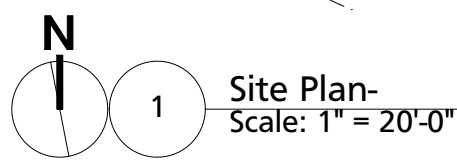
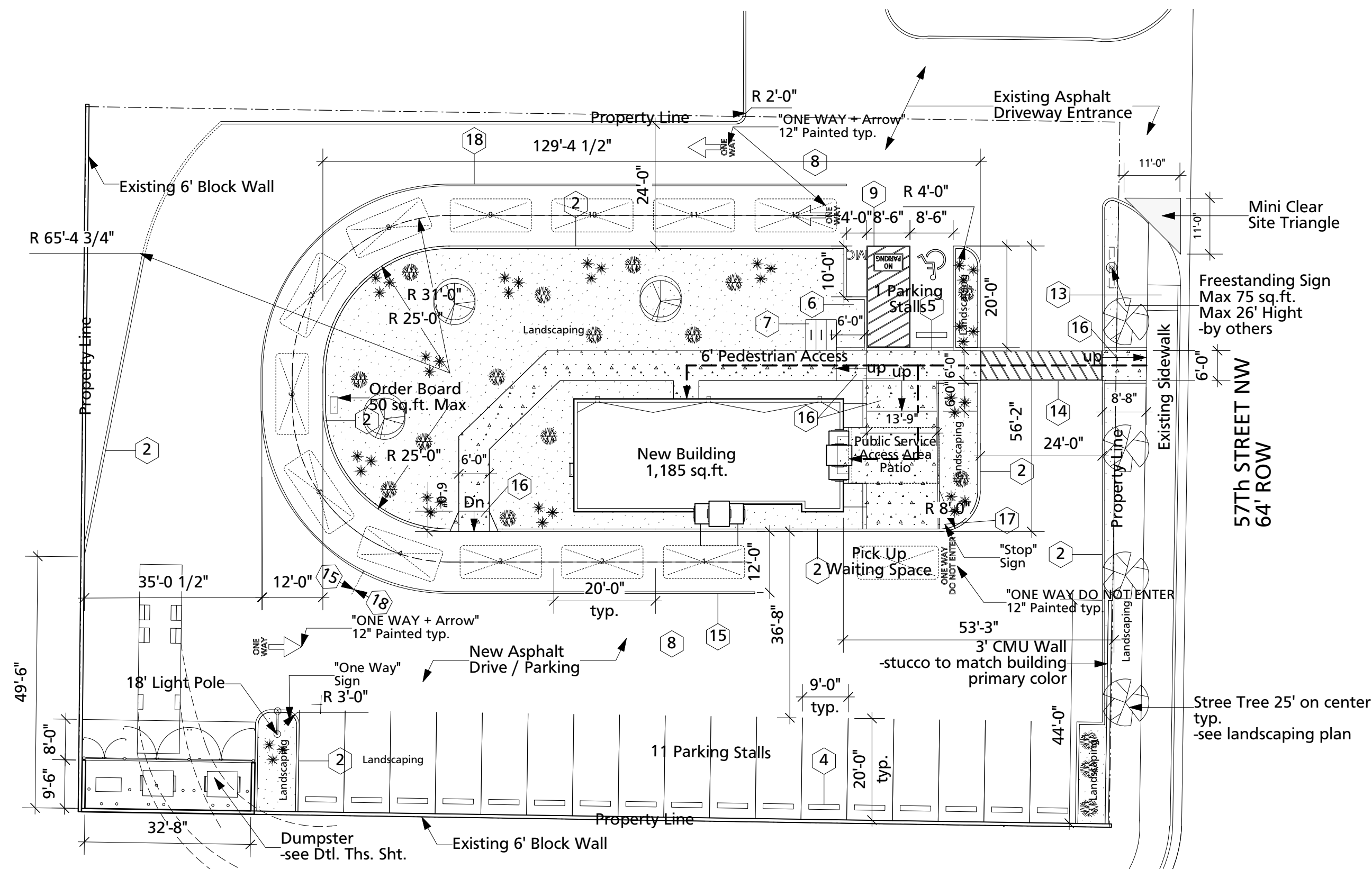
I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 2781 57TH STREET, ALBUQUERQUE NEW MEXICO 87120 IS COMPLETE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JUNE 16, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED EN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

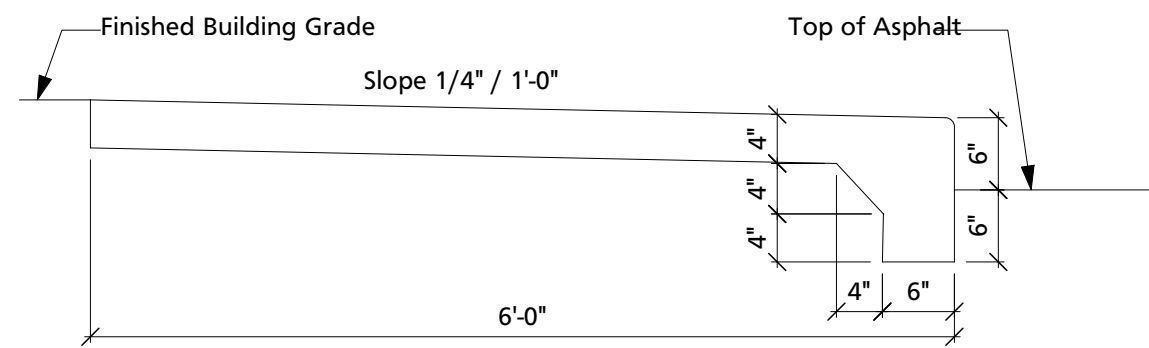
Treveston Elliott RA







1 Site Plan-  
Scale: 1" = 20'-0"

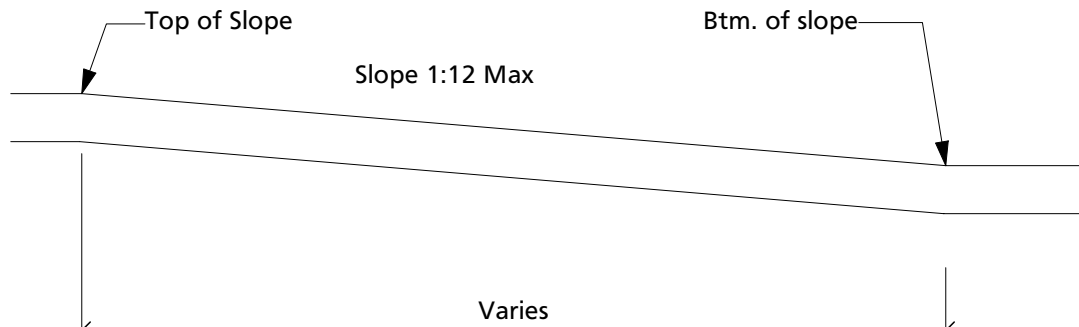


2a Standard Sidewalk Detail  
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430  
cross slope of 1/4" per foot shall be provided and  
shall slope towards the direction of the drainage area.

Concrete walks shall have contraction joints at 6' o.c.  
Intervals. 1/2" Expansion joints shall be installed every 36',  
unless otherwise shown on plans.

1/2" Expansion joints shall be installed where walk abut rigid  
structures.

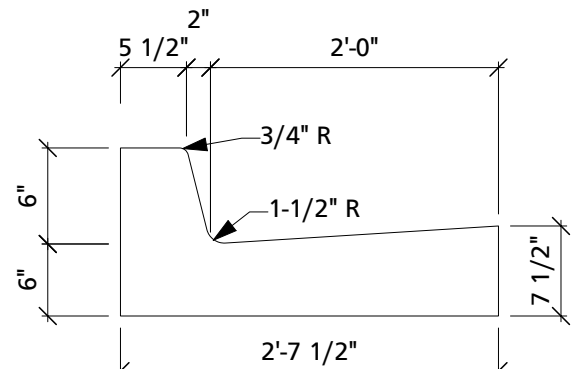


2b Standard Ramp Detail  
Scale: 3/4" = 1'-0"

Width per Plan  
Per CoA std. dwg 2430  
maximum cross slope of 2%

Concrete walks shall have contraction joints at 6' o.c.  
Intervals.

1/2" Expansion joints shall be installed where walk abut rigid  
structures.



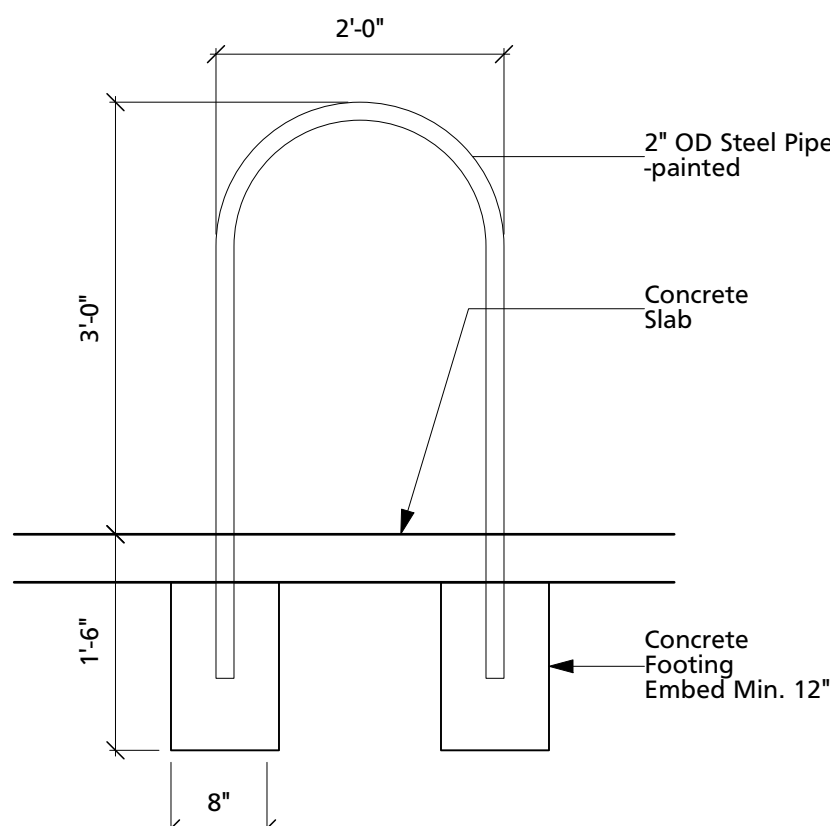
3 Standard Curb / Gutter Detail  
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2415A  
Provide 1/2" Expansion joints at 36" o.c. at  
immovable objects and at the beginning and end of curves  
Provide contraction joints at 6' o.c.

All exposed concrete corners to have 3/4" radius.

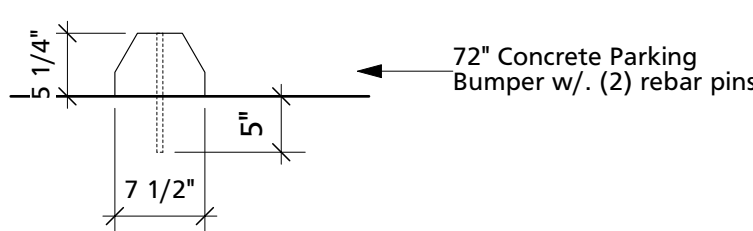
SEE SW SHEET FOR DUMPSTER INFORMATION

SEE FIRE-1 SHEET FOR INFORMATION



4 Bike Rack Elevation  
Scale: 3/4" = 1'-0"

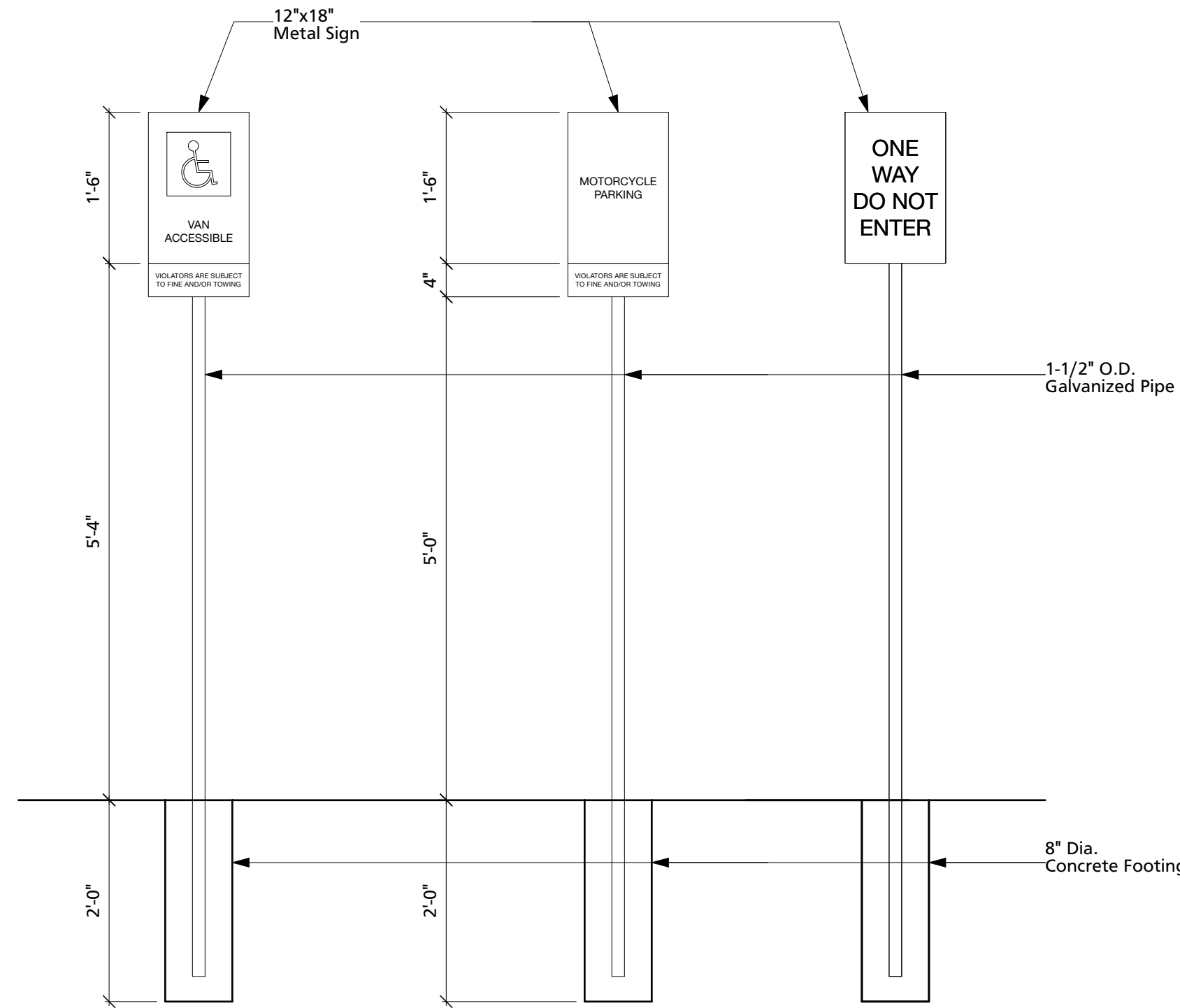
Rack: min. 3'-0" tall 2'-8" wide  
U-Shape allows multiply place of attachment  
Upright Support  
Varying frame sizes accommodated  
No lift Attachment  
2'-8" min btwn. racks  
Rack Centered on concrete pad



5 Parking Bumper  
Scale: 3/4" = 1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED  
06/16/2022

*Jeanna Wolfenbarger*



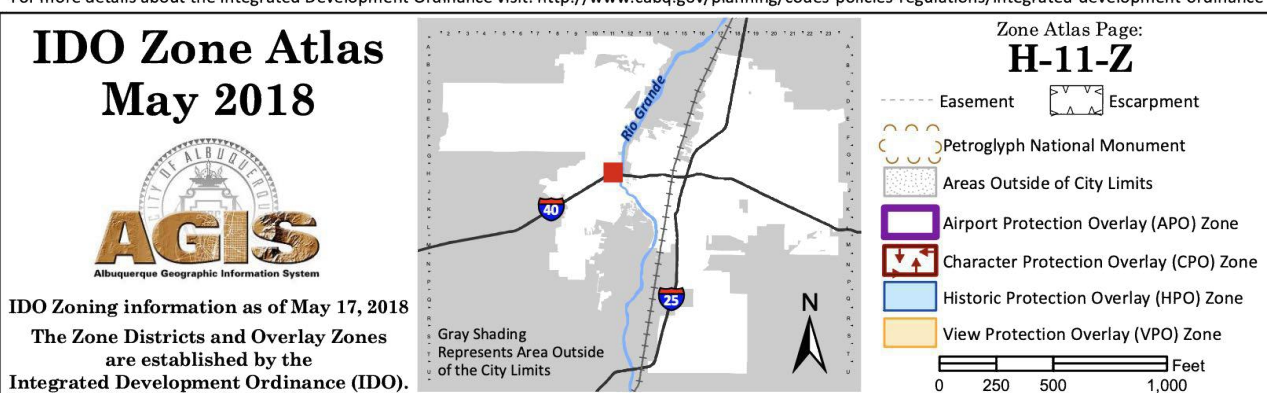
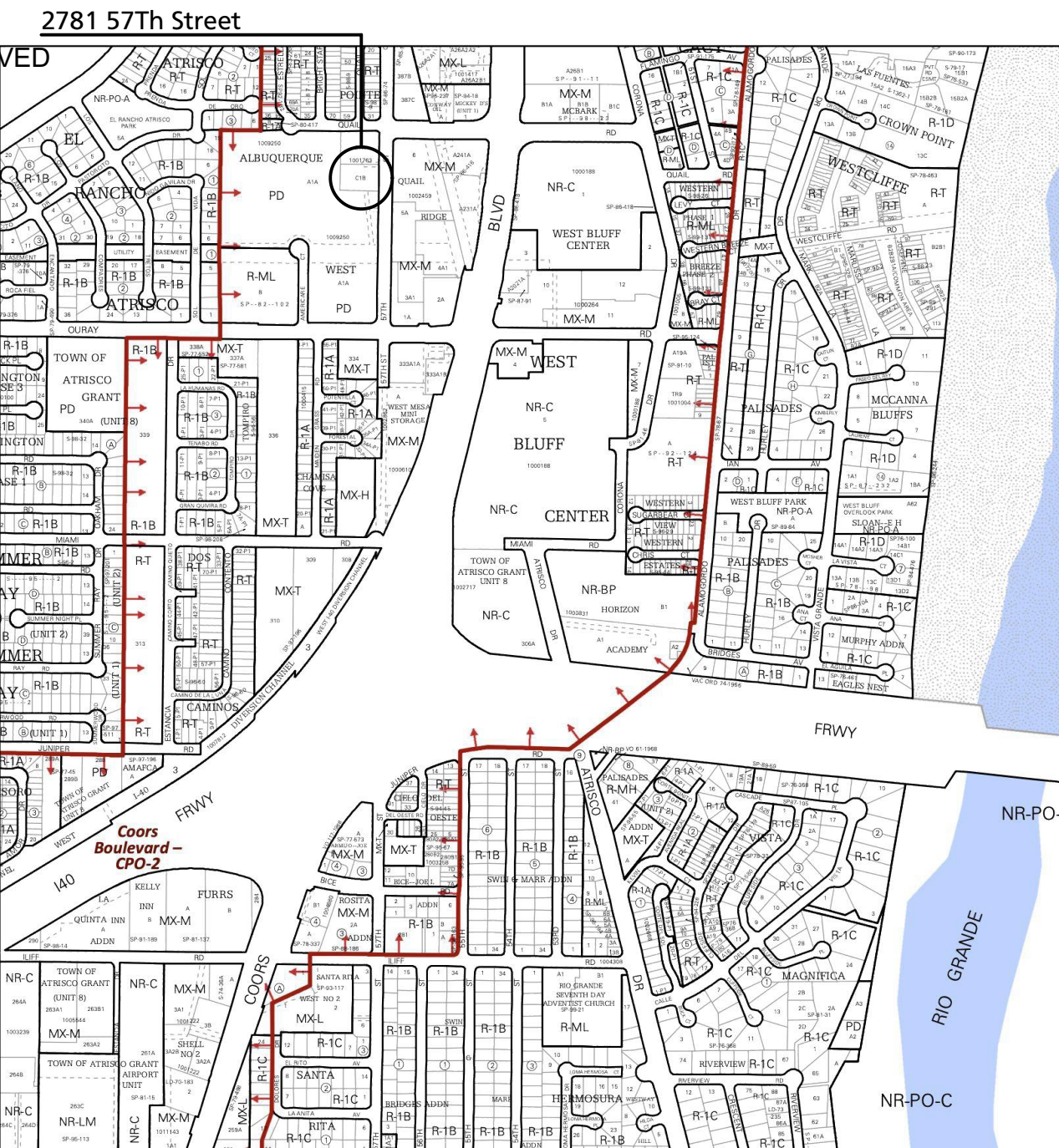
6 HC / Motorcycle / One Way Sign Detail  
Scale: 3/4" = 1'-0"

Per City of Albuquerque IDO Table 5-5-8 Required Stacking Spaces  
Restaurant 12 Stacking Spaces per Establishment measured from pick  
up window (20' long each 240' total)

Queuing Information from other locations provided for reference only.

Stripes Drive Thru Time Summary

Address	Zip	Average Queue Length	Average wait time in Seconds	Does Queue back into Street?
5211 Gibson Blvd. SE	87108	2.5	45	No
801 Juan Tabo Blvd NE	87123	4	45	No
2204 Menaul Blvd. NE	87107	4.5	40	No
2505 Wyoming Blvd NE	87112	2.5	45	No



## PROJECT SUMMARY

New 1,185 sq.ft. Drive Thru Resturant

## PROJECT INFORMATION

### PROJECT ADDRESS

2781 57th Street NW  
Albuquerque, New Mexico 87120

### APPLICABLE CODES

2015 International Building Code  
2015 Uniform Plumbing Code  
2015 Uniform Mechanical Code  
2017 National Electrical Code  
2018 International Energy Conservation Code

### ZONING

MX-M

### KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2425 SEE DETIAL TCL SHEET
- CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A SEE DETIAL TCL SHEET
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430 SEE DETIAL TCL SHEET
- 6' X 5.75" X 4" WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETIAL TCL SHEET
- ADA ACCESSIBLE PARKING SIGN SEE DETIAL TCL SHEET
- MOTORCYCLE PARKING SIGN SEE DETIAL TCL SHEET
- BICYCLE RACK SEE DETIAL TCL SHEET
- PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
- PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT WITH 3'X3' HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CoA STD. DTL. 2415
- CONFIRM EXISTING RAMP MEETS CURRENT ADA STANDARD CoA DTL. 2425 IF NOT REPLACE ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
- PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT
- DRIVE ASILE STRIPING 4" WIDE YELLOW STRIPPING. SEE INDICATED LAYOUT
- ALL INTERNAL RAMPS TO ADA ACCESSIBLE MAX SLOPE 1:12 WITH MAX 2% CROSS SLOPE LANDING AREA MIN. 5'X5' SEE CoA DWG 2430
- CITY OF ALBUQUERQUE STANDARD STOP SIGN PER MUTCD 2009' STOP' R1-1
- DRIVE ASILE STRIPING 4" WIDE WHITE STRIPPING. SEE INDICATED LAYOUT

### LEGEND

- PROPERTY LINE
- NEW CONCRETE
- LANDSCAPE AREA

### PARKING REQUIREMENTS

per 14-16-5-5

8/1,000 GSF (Restaurant)	1,185	=9
3/1,000 GSF (Patio)	300	=1
Total Spaces required		=10
20% Reduction per IDO 5-5(C)(5)(a) "due to site location in an MT Area of Change"		
Total Spaces required after reduction		= 8
ADA		= 1 (1 Van)
Motorcycle		= 1
Bicycle		= 3
Total Spaces Required		= 8
Total Spaces Provided		= 19

### PROJECT AREA

Table 503

RESTURANT (B) = 1,185 Sq.Ft. (NON- Sprinkled)  
ALLOWABLE AREA = B @ 9,000 sq.ft. / 2 Stories per tables 504.4 / 506.2

### MINIMUM LANDSCAPE

per 14-16-5-6

Site Area .646 Acres	28,173 sq.ft.
Building Footprint	1,185 sq.ft.
Parking Lot Area	7sq.ft.
Sidewalk Area	7sq.ft.

Landscape Area Required  
15% of 26,988sq.ft. = 4,048 sq.ft.  
Landscape Area Provided: 5,259 sq.ft.

No urban center  
With in Major Transit Corridor Area

### Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass mature 2' spread 3' hgt.
- Apache Plume mature 4' spread 3' hgt.
- ian Sage ure 4' spread 4' hgt.

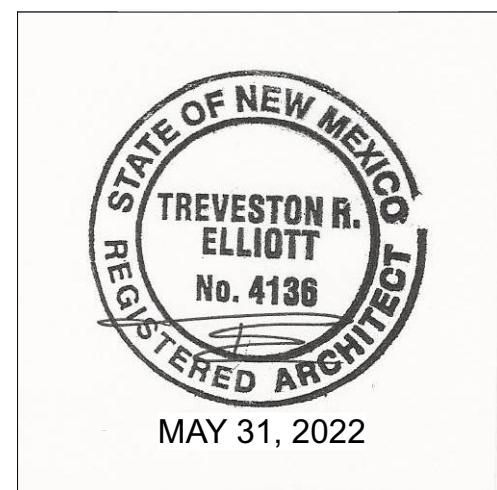
Irrigation System  
Irrigation system standards outlined in the Water Conservation and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

TREVESTON ELLIOTT  
ARCHITECT

811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102  
C 505.259.4617  
treveston@trevestonarchitect.com  
www.trevestonarchitect.com

STRIPES BURRITO CO.

2781 57th Street NW  
Albuquerque, New Mexico 87120



Date: MAY 31, 2022

Sheet: Traffic Circulation Layout

TCL