

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 12, 2023

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Playa Del Sur Subdivision
Conceptual Grading & Drainage Plans
Engineer's Stamp Date: 08/15/23
Hydrology File: H11D075**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 08/28/2023, the Conceptual Grading & Drainage Plans are preliminary approved for action by the Development Hearing Officer (DHO) on Preliminary Plat.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Playa del Sur **Building Permit #** **Hydrology File #**

DRB# **EPC#** 101105914924031608

Legal Description: THE NLY PORTS OF TRS 308, 309 & 310 UNIT 8 TOWN OF ATRISCO GRANT
NE CORNER TR 310 UNIT 8 ATRISCO GRANT
TR COMPRISING PORT TR 310 UNIT 8 ATRISCO GRANT **City Address OR Parcel** 101105913325731609
401105913424634610

Applicant/Agent: Tierra West LLC **Contact:** Jon Niski

Address: 5571 Midway Park Place NE **Phone:** (505) 858-3100

Email: JNISKI@TIERRAWESTLLC.COM

Applicant/Owner: **Contact:**

Address: **Phone:**

Email:

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☒ DRB SITE ☐ ADMIN SITE:

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

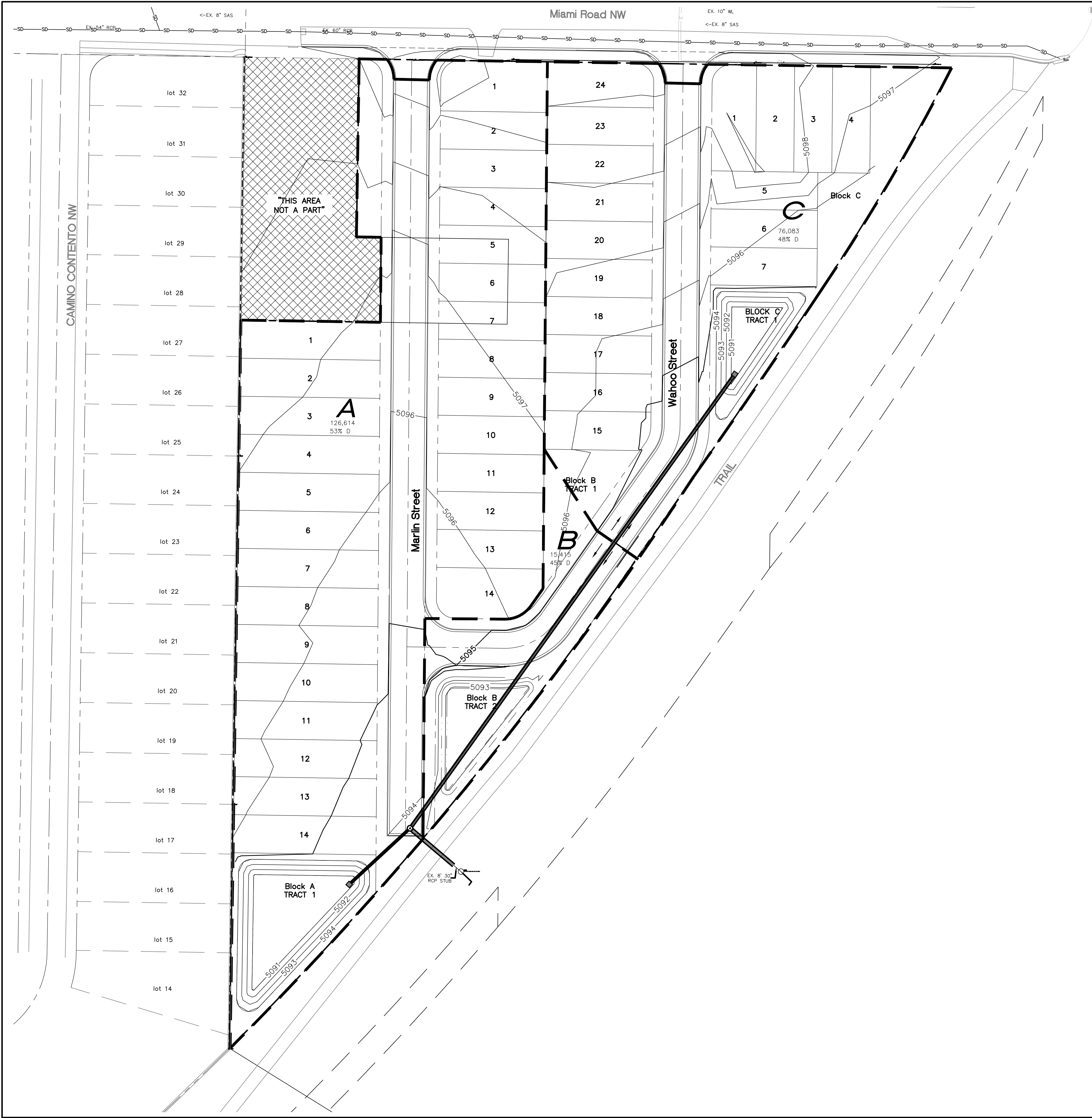
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☒ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

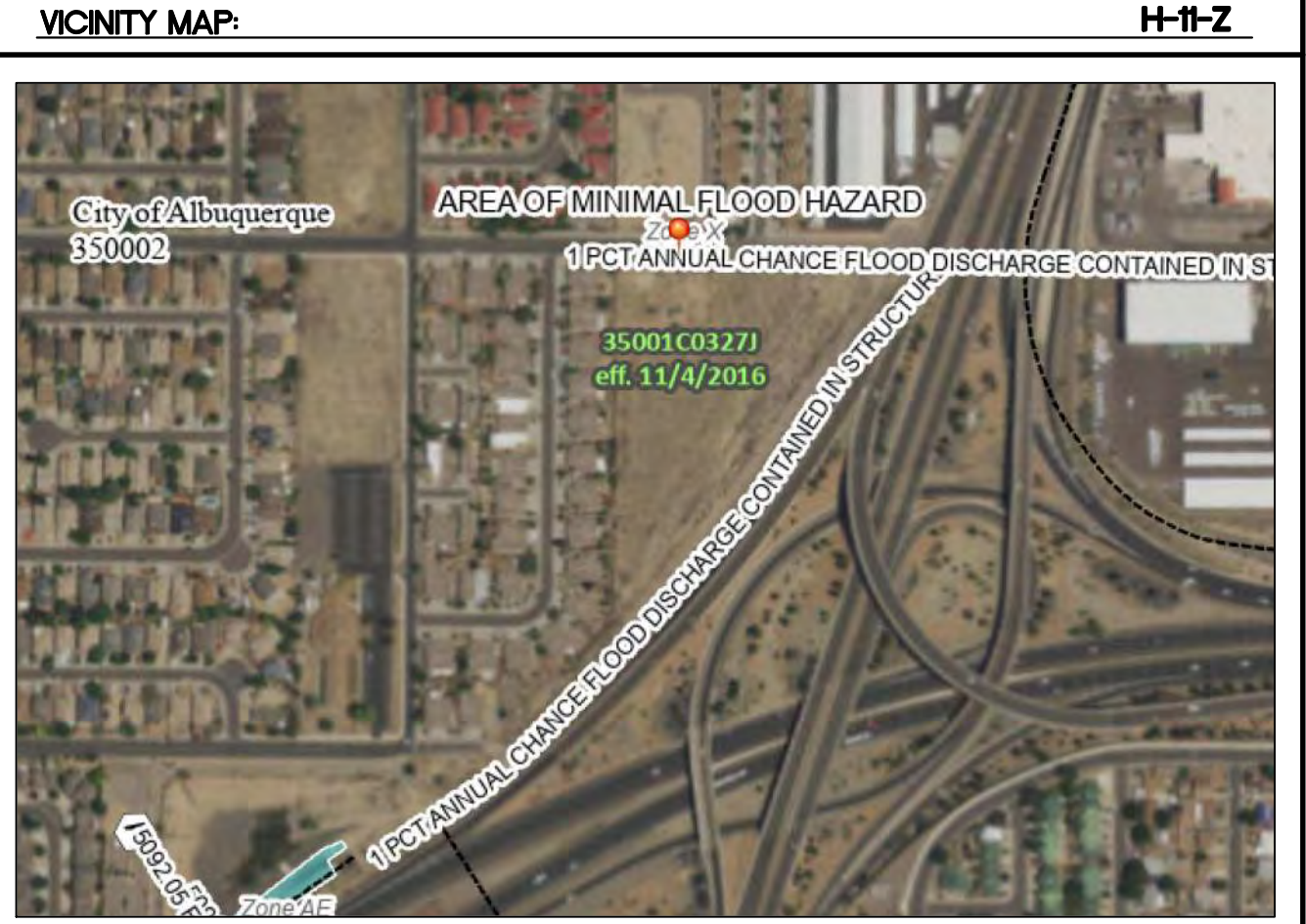
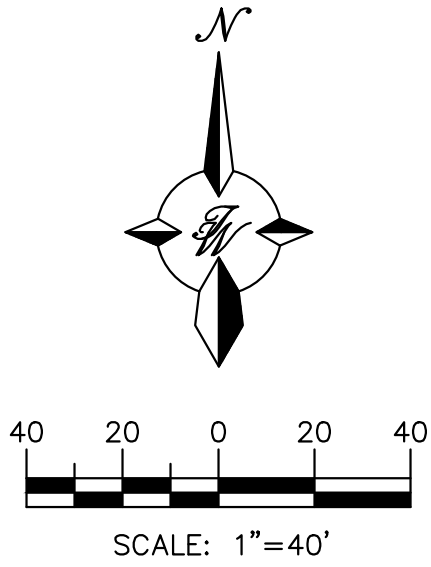
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 08.09.2023



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 09/12/23
BY: *Ronald R. Bohannan*
HydroTons # H11D075
THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



VICINITY MAP: H-11-Z
FIRM MAP: 35001C03271

- LEGEND**
- DRAINAGE BASINS
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION
- x 5048.25

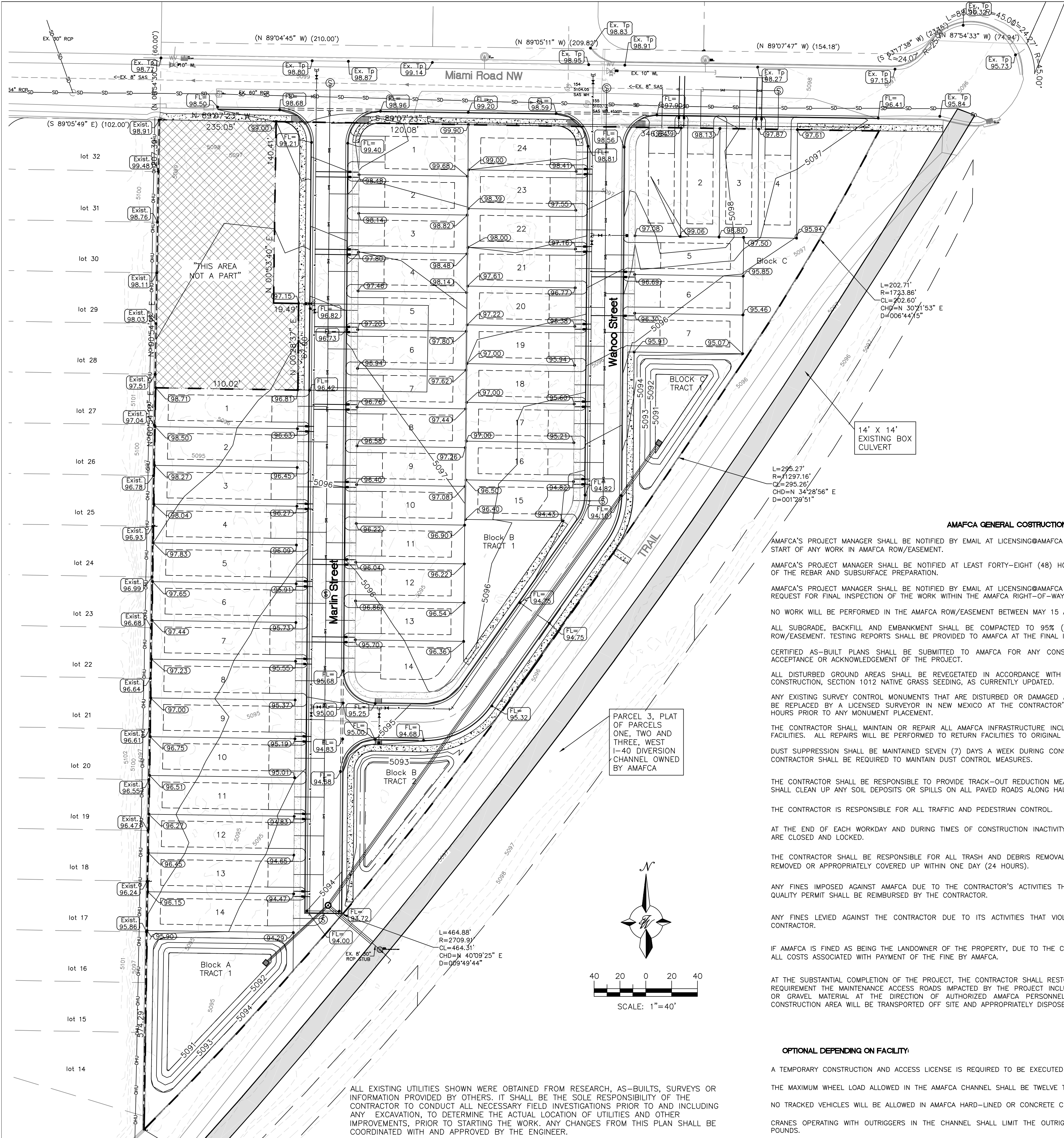
EXISTING DRAINAGE:

THIS SITE IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSTATE 25 AND COORS BOULEVARD INTERCHANGE. THE SITE IS BOUNDED BY A RESIDENTIAL SUBDIVISION ON THE WEST AND NORTH AND BY COORS BOULEVARD ON THE EAST AND SOUTH CONTAINING APPROXIMATELY 5.20 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM NORTH TO SOUTH. THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 35001C03271. THE SITE CURRENTLY DISCHARGES 10.82 CFS.

PROPOSED DRAINAGE:

THE PROJECT CONSISTS OF A RESIDENTIAL SUBDIVISION. WATERBLOCKS WILL BE CREATED AT THE INTERSECTIONS WITH MIAMI ROAD TO PREVENT WATER FROM THAT STREET ENTERING THE SUBDIVISION. LOTS WILL FLOW FROM BACK TO FRONT AND INTO THE STREETS. THE STREETS ARE DESIGN TO SURFACE FLOW TO PONDS LOCATED ON THE EAST AND SOUTH SIDE OF THE PROPERTY. THE PONDS ARE DESIGNED TO HOLD THE 100 YR. 6-HR STORM BUT WILL ONLY RETAIN THE REQUIRED WATER QUALITY VOLUME PER THE DPM. THE PONDS WILL DRAIN TO DROP INLETS CONNECTED TO A STORM SEWER. THE STORM SEWER WILL DRAIN TO AN EXISTING 30" RCP STUB FROM THE WEST BLUFF OUTFALL BOX CULVERT LOCATED ALONG THE EAST PROPERTY LINE. BASED ON THE WEST BLUFF OUTFALL PHASE II I-40 STORM SEWER INTERCEPTOR REPORT THIS PROJECT MAY DISCHARGE DEVELOPED FLOWS WHICH IS 15.79 CFS. THE EXISTING 30" STUB HAS A CAPACITY OF 58.16 CFS.

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	PLAYA DEL SUR COORS AND 140	DRAWN BY AS
		DATE 07/20/2023
	DRAINAGE BASINS	DRAWING 2023024-X_DRE
		SHEET # C1
<div></div> <div>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	JOB # 2023024	



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION

AMAFCA GENERAL CONSTRUCTION NOTES REQUIREMENTS

AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED BY EMAIL AT LICENSING@AMAFCA OR BY PHONE AT (505) 884-2215 AT LEAST TEN (10) DAYS PRIOR TO START OF ANY WORK IN AMAFCA ROW/EASEMENT.

AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY CONCRETE INSTALLATION TO ALLOW FOR INSPECTION OF THE REBAR AND SUBSURFACE PREPARATION.

AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED BY EMAIL AT LICENSING@AMAFCA OR BY PHONE AT (505) 884-2215 AT LEAST TEN (10) DAYS PRIOR TO REQUEST FOR FINAL INSPECTION OF THE WORK WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT.

NO WORK WILL BE PERFORMED IN THE AMAFCA ROW/EASEMENT BETWEEN MAY 15 AND OCTOBER 15 WITHOUT PRIOR WRITTEN AUTHORIZATION FROM AMAFCA.

ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 95% (±2% OF OPTIMUM MOISTURE PER ASTM D-1557) WITHIN THE AMAFCA ROW/EASEMENT. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA AT THE FINAL INSPECTION.

CERTIFIED AS-BUILT PLANS SHALL BE SUBMITTED TO AMAFCA FOR ANY CONSTRUCTION WITHIN THE AMAFCA ROW/EASEMENT BEFORE FINAL WRITTEN ACCEPTANCE OR ACKNOWLEDGEMENT OF THE PROJECT.

ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 1012 NATIVE GRASS SEEDING, AS CURRENTLY UPDATED.

ANY EXISTING SURVEY CONTROL MONUMENTS THAT ARE DISTURBED OR DAMAGED AS A RESULT OF THE CONSTRUCTION OR MAINTENANCE ACTIVITIES, SHALL BE REPLACED BY A LICENSED SURVEYOR IN NEW MEXICO AT THE CONTRACTOR'S EXPENSE. AMAFCA SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY MONUMENT PLACEMENT.

THE CONTRACTOR SHALL MAINTAIN OR REPAIR ALL AMAFCA INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO FENCING, GATES, SIGNAGE, AND ALL OTHER FACILITIES. ALL REPAIRS WILL BE PERFORMED TO RETURN FACILITIES TO ORIGINAL OR AMAFCA-APPROVED CONDITION.

DUST SUPPRESSION SHALL BE MAINTAINED SEVEN (7) DAYS A WEEK DURING CONSTRUCTION ACTIVITY. DURING PERIODS OF CONSTRUCTION INACTIVITY, THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN DUST CONTROL MEASURES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRACK-OUT REDUCTION MEASURES AND CLEAN UP ANY TRACK-OUT OF MATERIAL. THE CONTRACTOR SHALL CLEAN UP ANY SOIL DEPOSITS OR SPILLS ON ALL PAVED ROADS ALONG HAUL ROUTES.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC AND PEDESTRIAN CONTROL.

AT THE END OF EACH WORKDAY AND DURING TIMES OF CONSTRUCTION INACTIVITY, THE CONTRACTOR SHALL ENSURE ALL ACCESS GATES TO THE FACILITY ARE CLOSED AND LOCKED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH AND DEBRIS REMOVAL IN THE AREA OF THE CONSTRUCTION ACTIVITY. ALL GRAFFITI WILL BE REMOVED OR APPROPRIATELY COVERED UP WITHIN ONE DAY (24 HOURS).

ANY FINES IMPOSED AGAINST AMAFCA DUE TO THE CONTRACTOR'S ACTIVITIES THAT VIOLATE THE CONDITIONS OF ANY REQUIRED DUST OR STORMWATER QUALITY PERMIT SHALL BE REIMBURSED BY THE CONTRACTOR.

ANY FINES LEVIED AGAINST THE CONTRACTOR DUE TO ITS ACTIVITIES THAT VIOLATE ANY LOCAL STATUTES OR REQUIREMENTS SHALL BE PAID BY THE CONTRACTOR.

IF AMAFCA IS FINED AS BEING THE LANDOWNER OF THE PROPERTY, DUE TO THE CONTRACTOR'S ACTIVITIES, THE CONTRACTOR SHALL REIMBURSE AMAFCA FOR ALL COSTS ASSOCIATED WITH PAYMENT OF THE FINE BY AMAFCA.

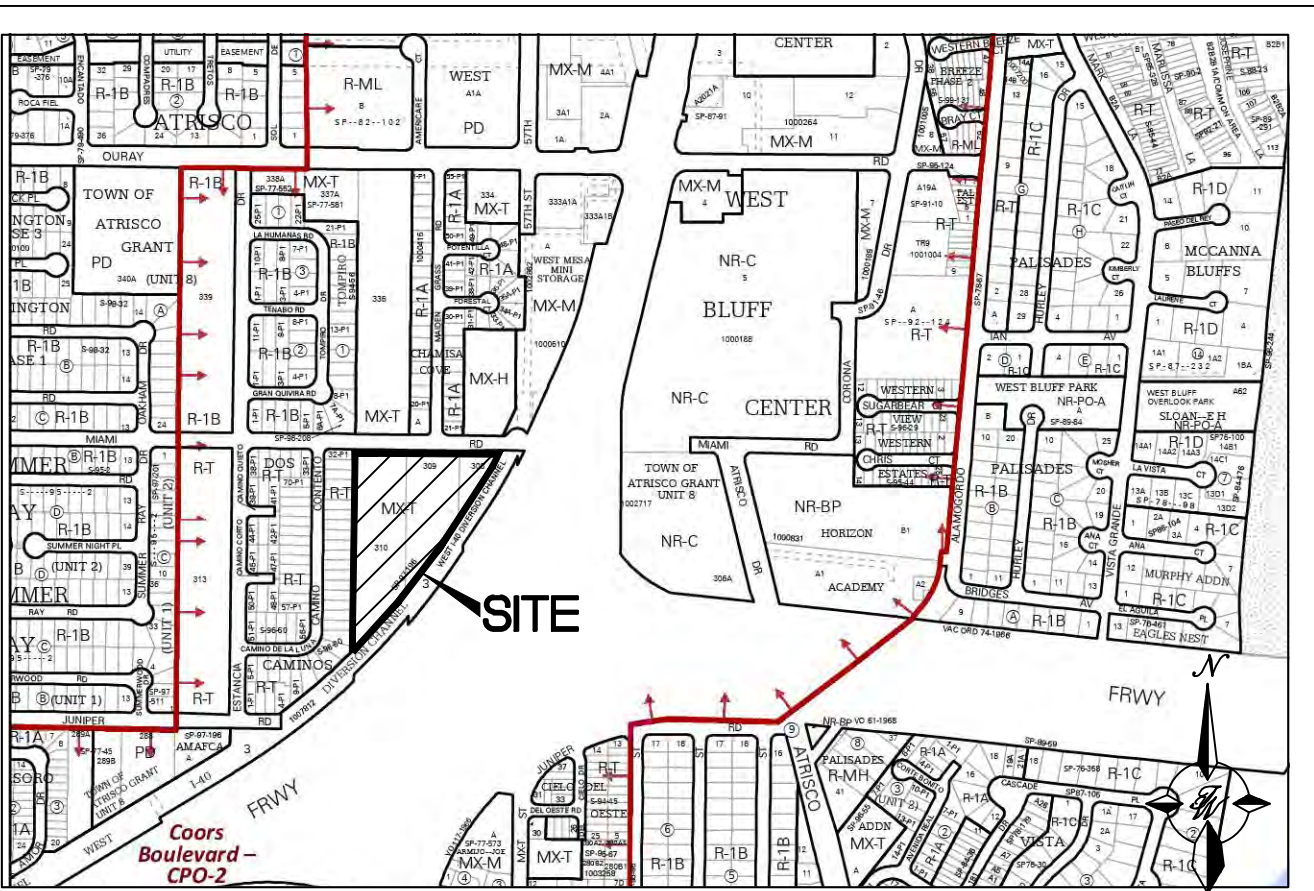
OPTIONAL DEPENDING ON FACILITY:

A TEMPORARY CONSTRUCTION AND ACCESS LICENSE IS REQUIRED TO BE EXECUTED PRIOR TO WORK COMMENCING IN AMAFCA ROW/EASEMENT

THE MAXIMUM WHEEL LOAD ALLOWED IN THE AMAFCA CHANNEL SHALL BE TWELVE THOUSAND (12,000) POUNDS.

NO TRACKED VEHICLES WILL BE ALLOWED IN AMAFCA HARD-LINED OR CONCRETE CHANNEL WITHOUT WRITTEN PERMISSION FROM AMAFCA.

CRANES OPERATING WITH OUTRIGGERS IN THE CHANNEL SHALL LIMIT THE OUTRIGGER FOOTPRINT LOAD AREA TO LESS THAN TWELVE THOUSAND (12,000) POUNDS.

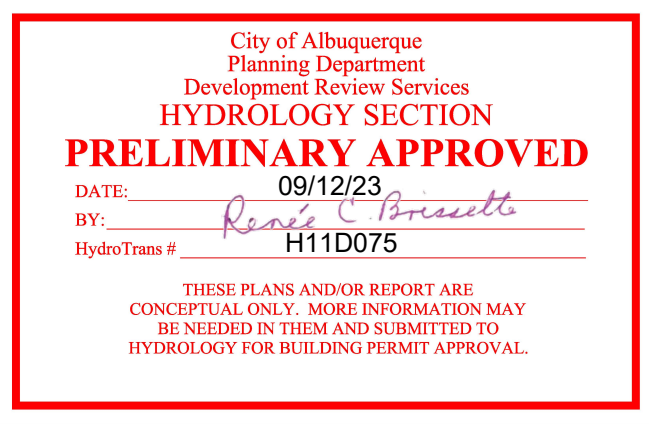
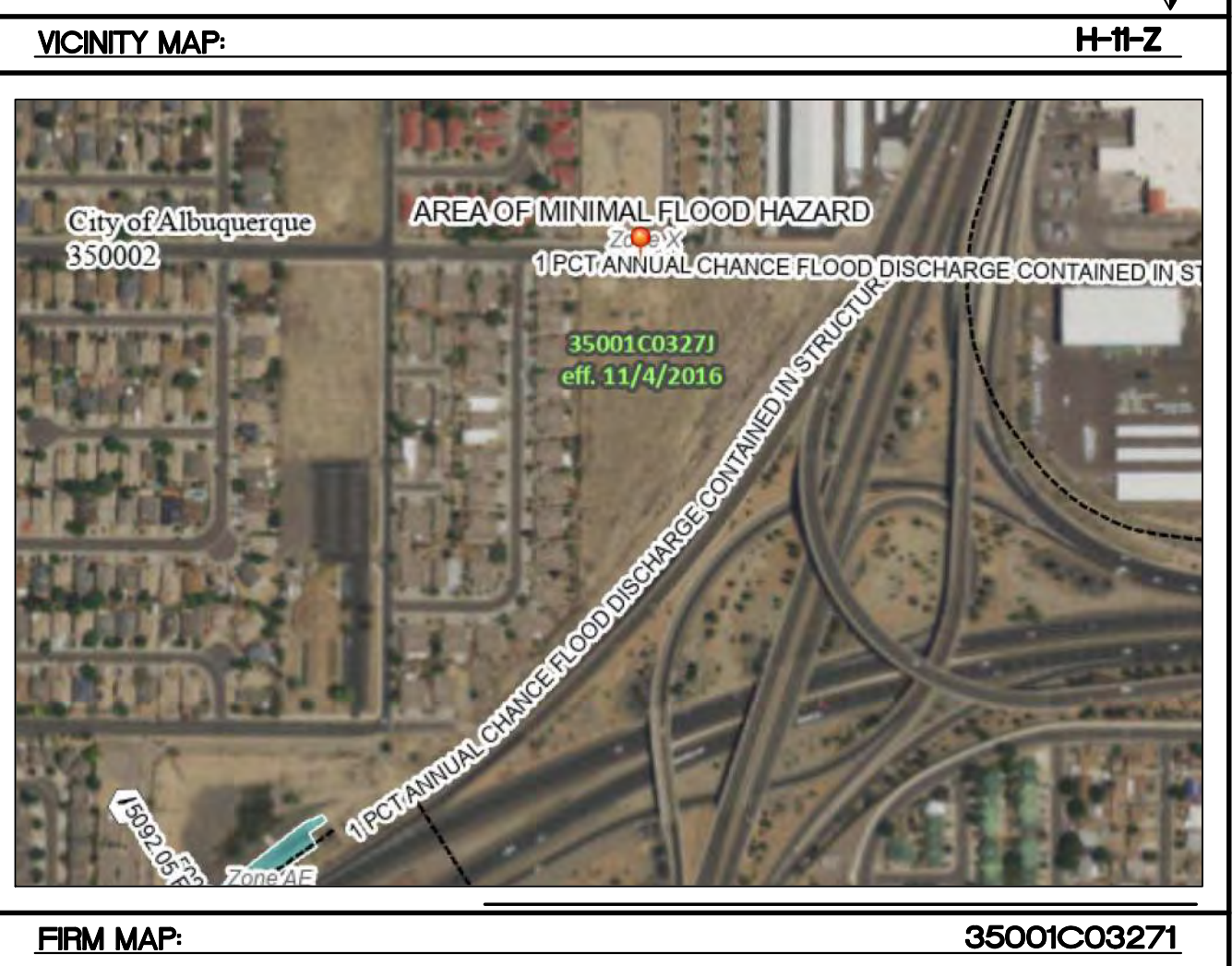
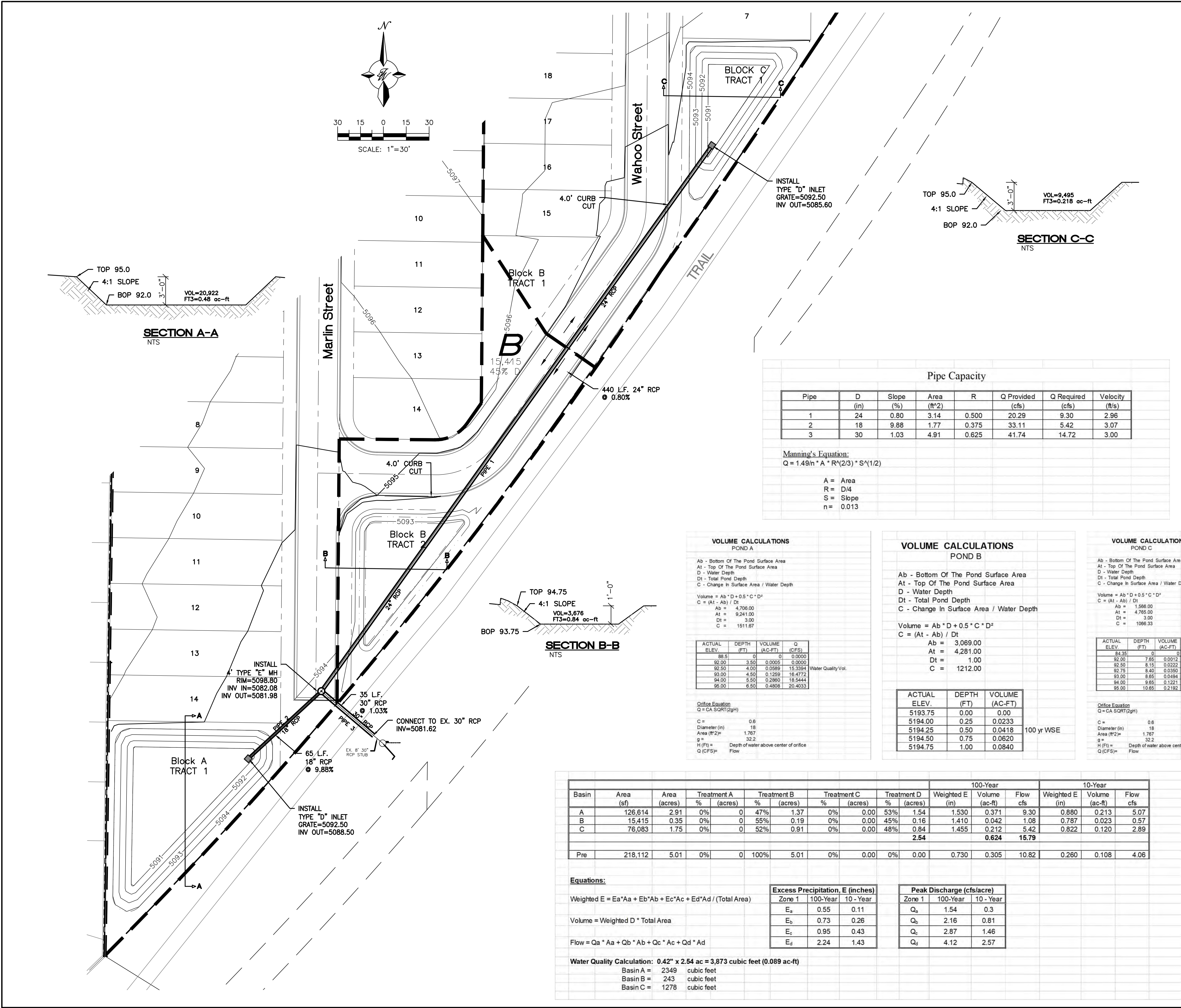



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/12/23
BY: *Ronald R. Bohannan*
HydroTrans # H11D075
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

APPROVED FOR CONSTRUCTION WITHIN AMAFCA RIGHT OF WAY/EASEMENT

(FOR AMAFCA)

	PLAYA DEL SUR COORS AND I40	DRAWN BY AS
	GRADING & DRAINAGE PLAN	DATE 08/15/2023
		DRAWING 223024-X-GRE
		SHEET # 7
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2023024



	PLAYA DEL SUR COORS AND I40	DRAWN BY AS
	DRAINAGE CALCULATIONS & DRAINAGE PLAN	DATE 07/20/2023
		DRAWING 2023024-X_DRE
		SHEET # C1
TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2023024