

CITY OF ALBUQUERQUE



Planning Department
Brennon Williams, Interim Director

Mayor Timothy M. Keller

September 18, 2025

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 5104 Kevin Court NW
Grading and Drainage Plan
Engineer's Stamp Date: 8/28/25
Hydrology File: H11D077
Case # HYDR-2025-00314**

Dear Mr. Soule:

Based upon the information provided in your submittal received 9/18/2025, the Grading & Drainage Plans are approved for Building Permit, and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov .

Sincerely,

A handwritten signature in black ink, appearing to read "Anthony Montoya, Jr.".

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)							
NATIVE	3012.00	0.069	0%	50%	0.035	50%	0.03457	0%	0.000	0.840	0.005	0.17	0.005
PROPOSED	3012.00	0.069	0%	0%	0.000	38%	0.02628	62%	0.043	1.750	0.010	0.25	0.013

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

water quality = area (%d) x .42/12 = 65.3604

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

- Ea= 0.55 Qa= 1.54
- Eb= 0.73 Qb= 2.16
- Ec= 0.95 Qc= 2.87
- Ed= 2.24 Qd= 4.12

This site is within a developed subdivision. Per the approved drainage report (H11D15), the lots free discharge and are captured by a city maintained storm drain. The site will be required to retain the water quality volume and discharge to roadway.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

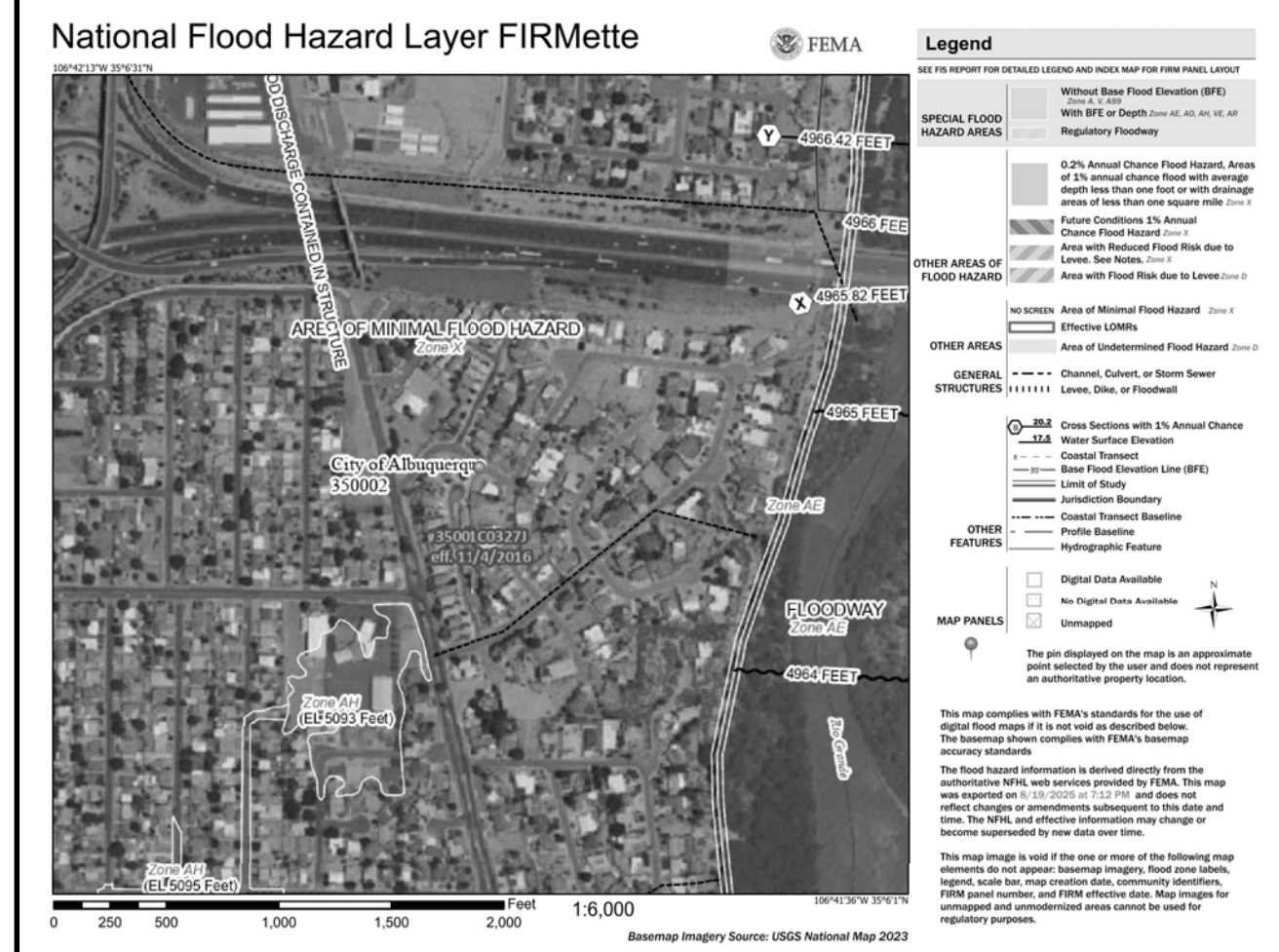
**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

DATE: 9/18/2025
BY: *[Signature]*
HydroTrans # H11D077

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DISCREPANCIES IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



VICINITY MAP: H-11-Z



FIRM MAP:

LEGAL DESCRIPTION:

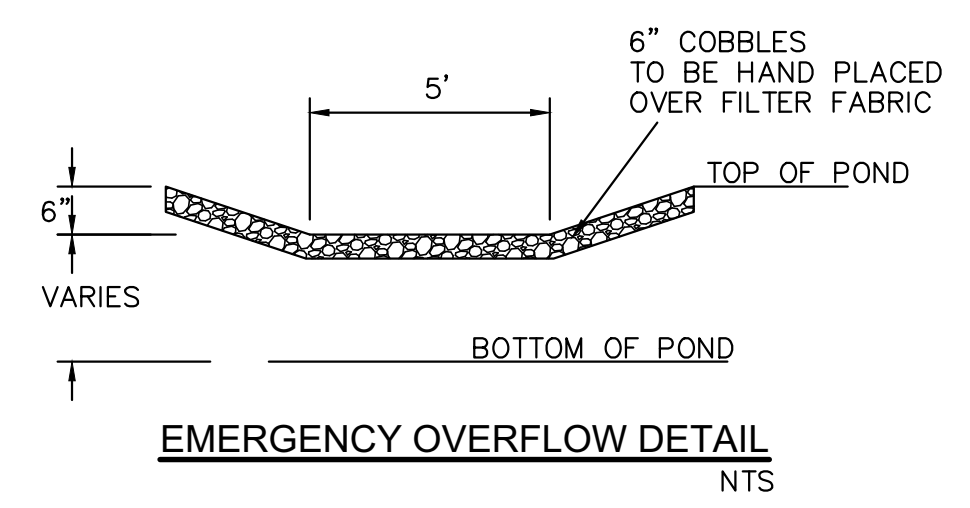
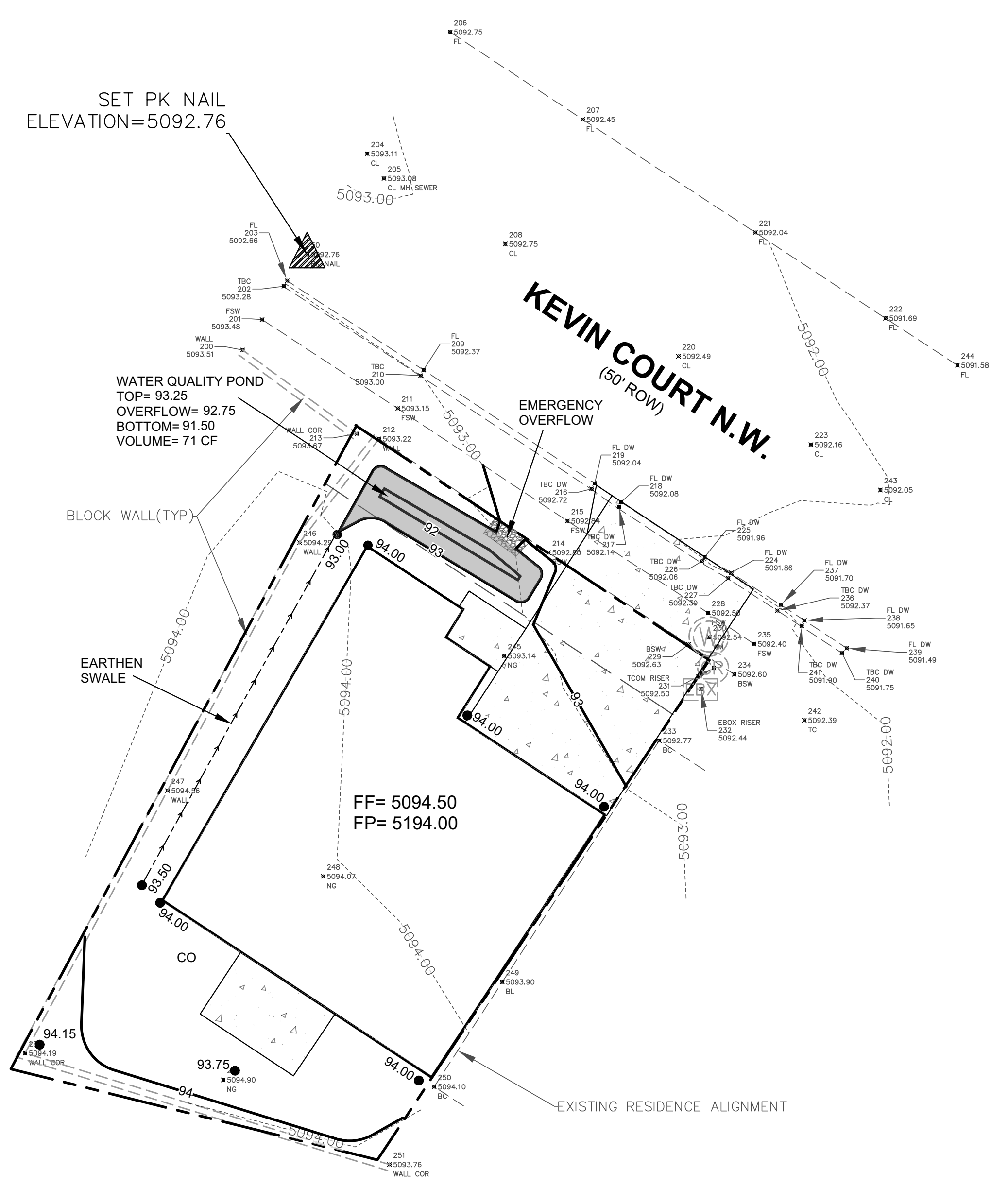
LOT 1 REDIVISION OF TRACT B, BLOCK 5 VISTA MAGNIFICA CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

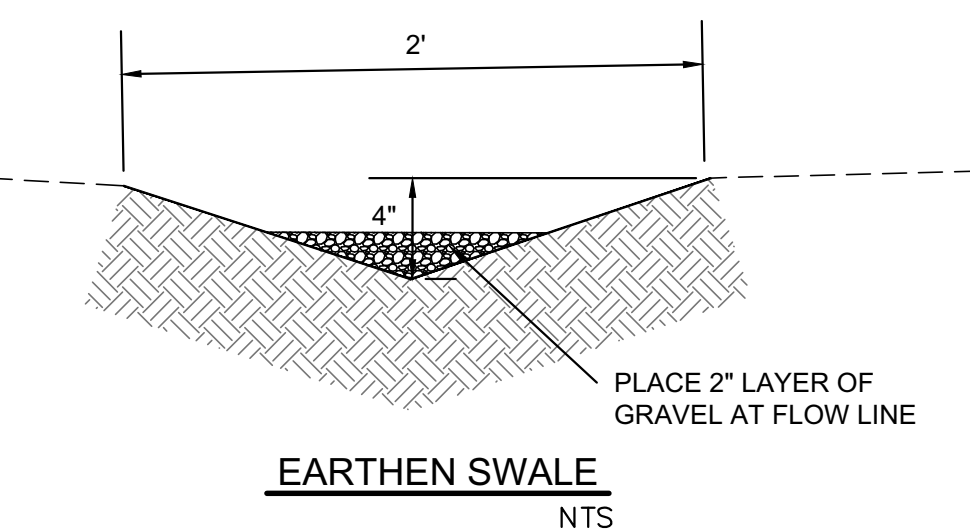
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY DYNAMIC CONSTRUCTION AND TECHNOLOGY LLC USING NAVD DATUM 1988.
- LONG TERM MAINTENANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED

LEGEND

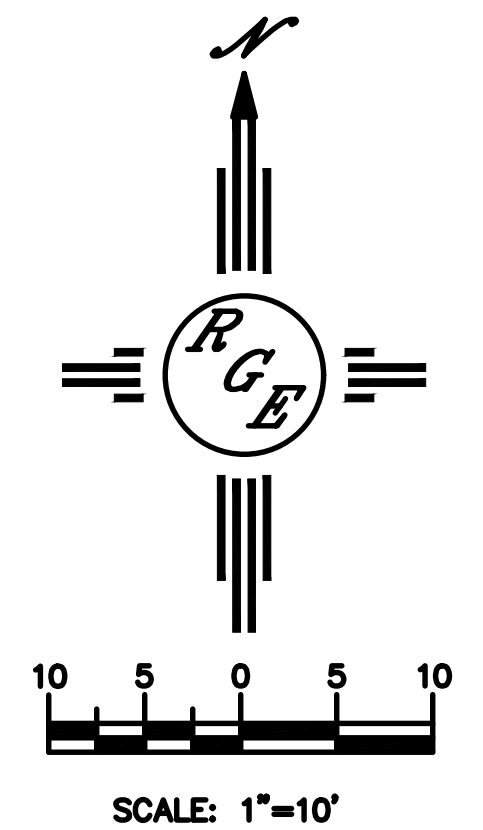
-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----<-----	PROPOSED CONCRETE
-----	PROPOSED PONDING



CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	5104 KEVIN COURT NW GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 8-20-25
8/28/25	 RIO BOX 53204 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
DAVID SOULE P.E. #14522		JOB #