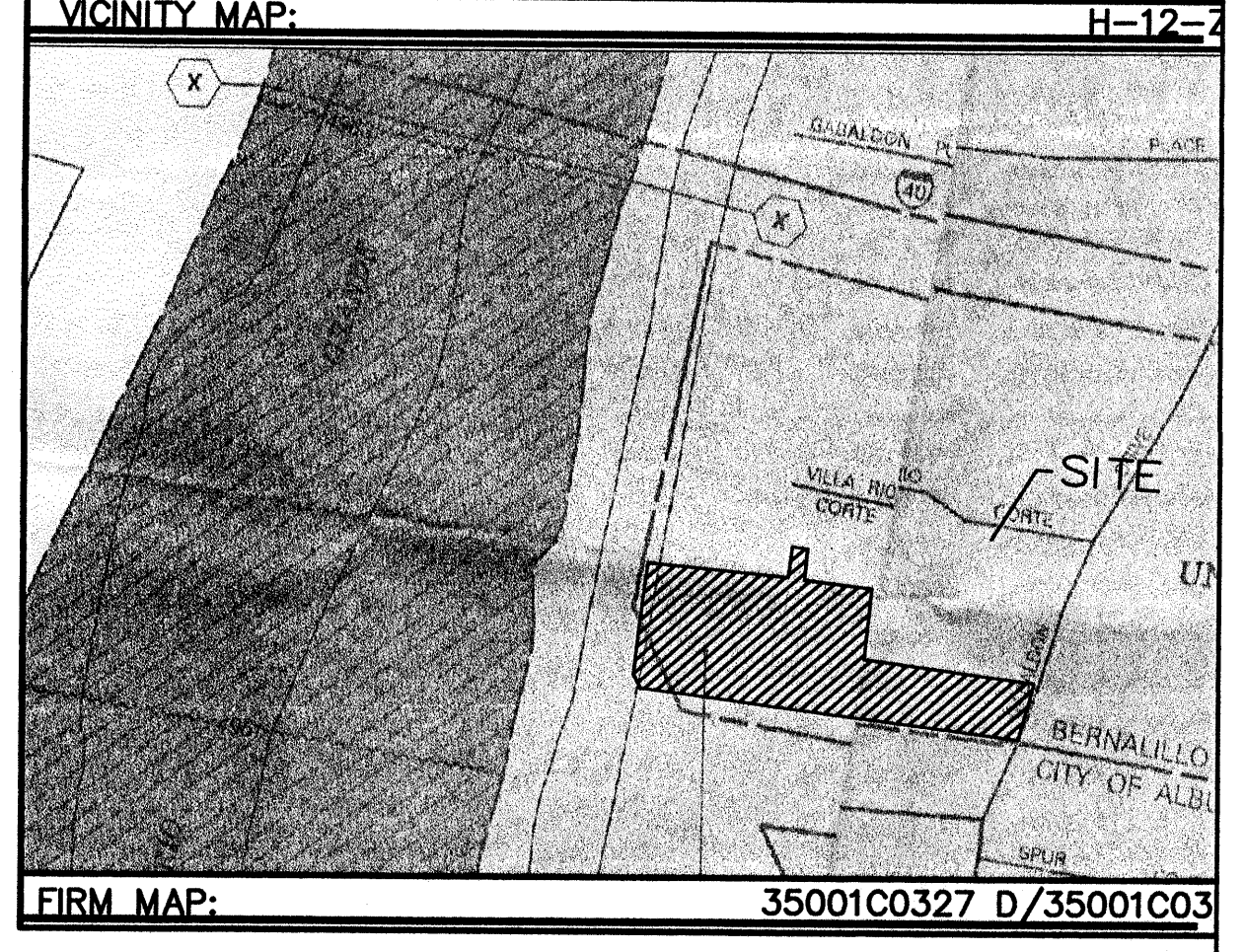
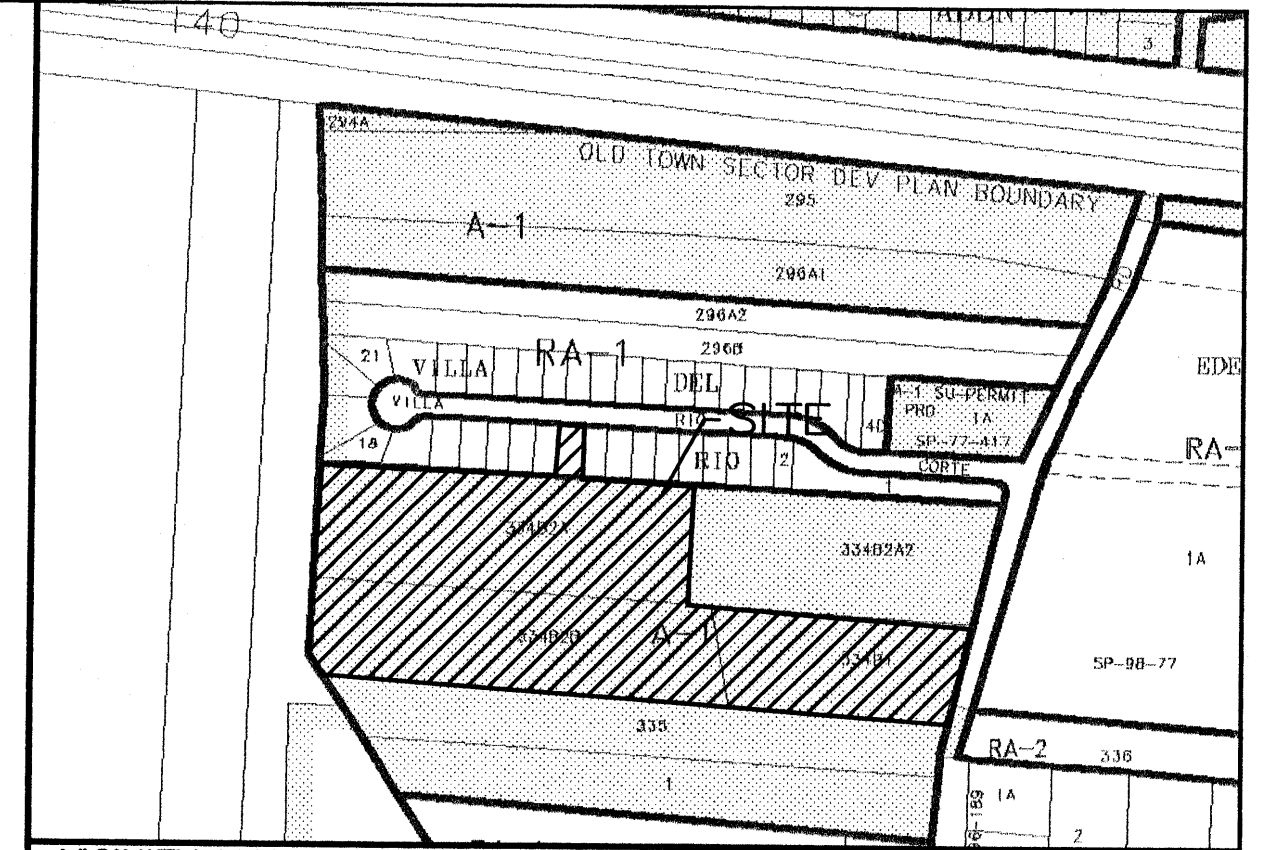
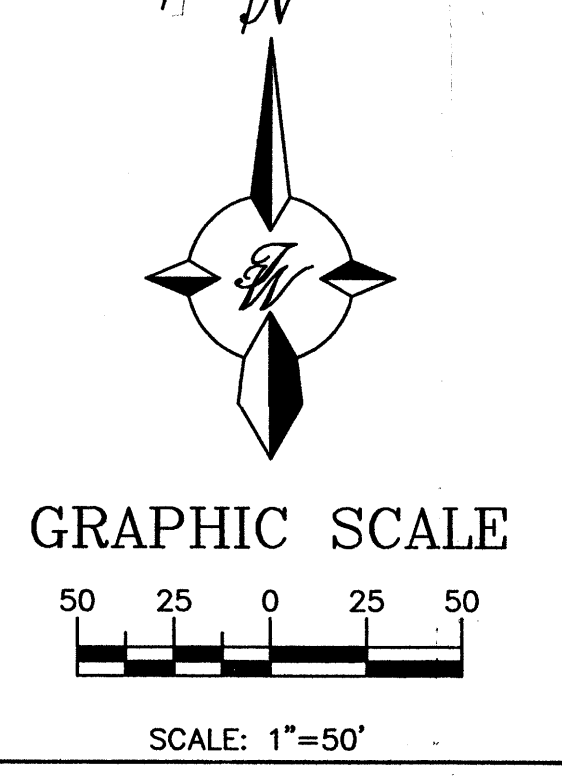
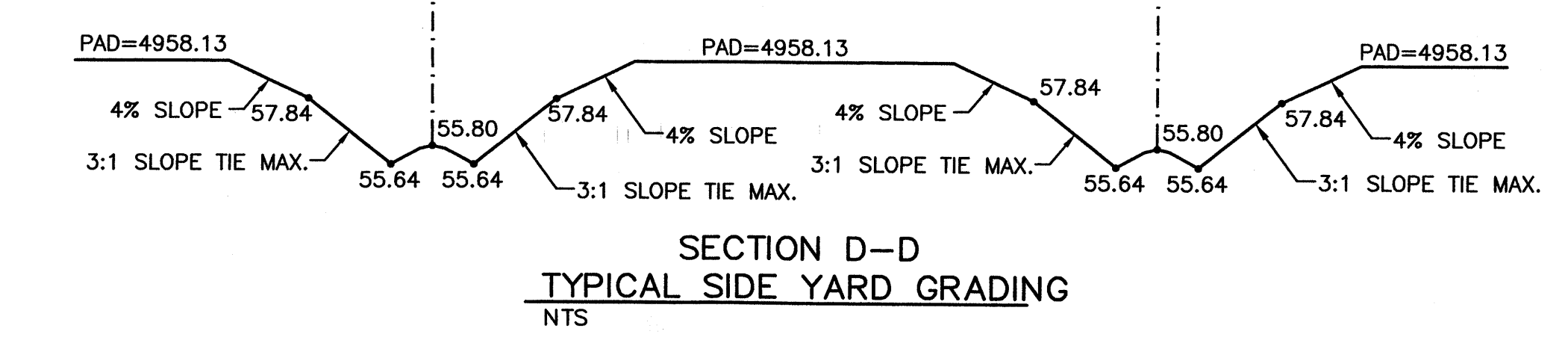
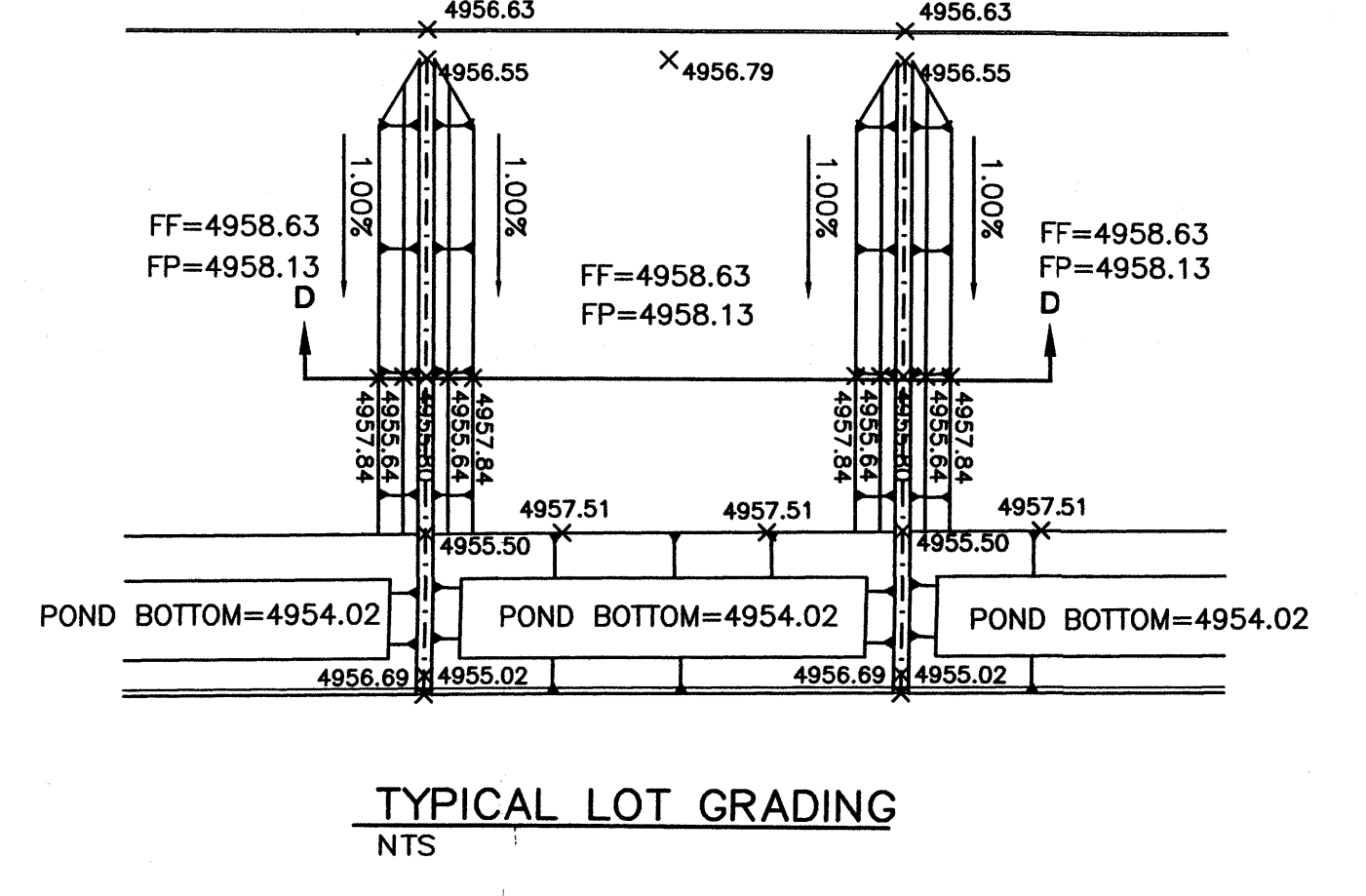
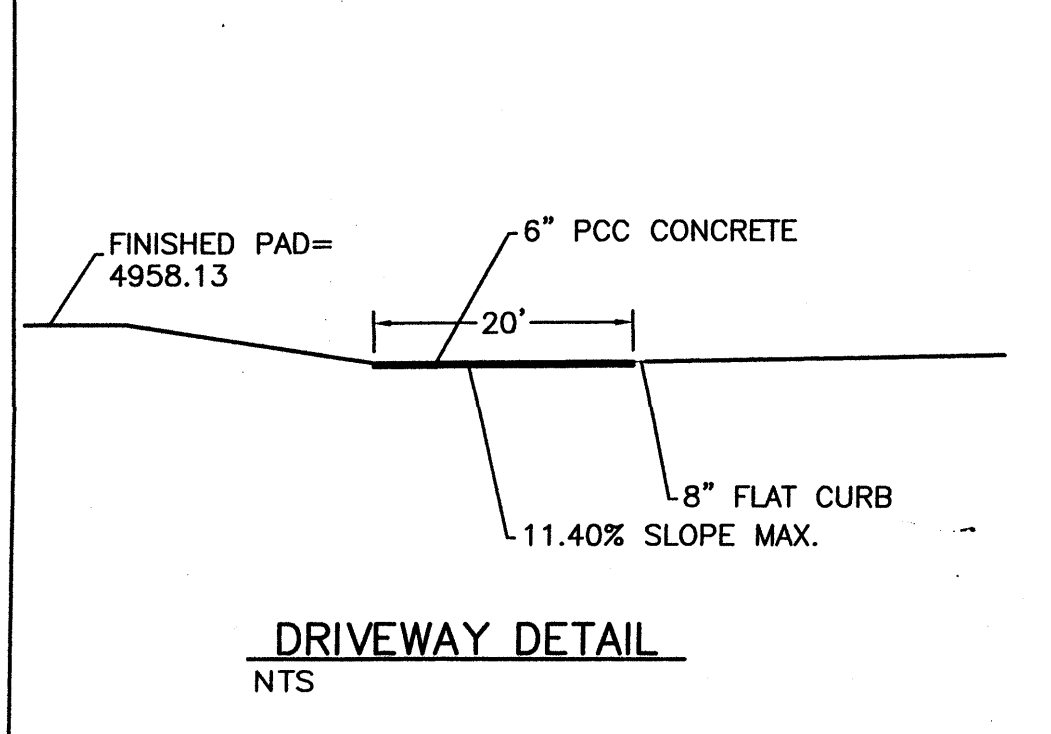
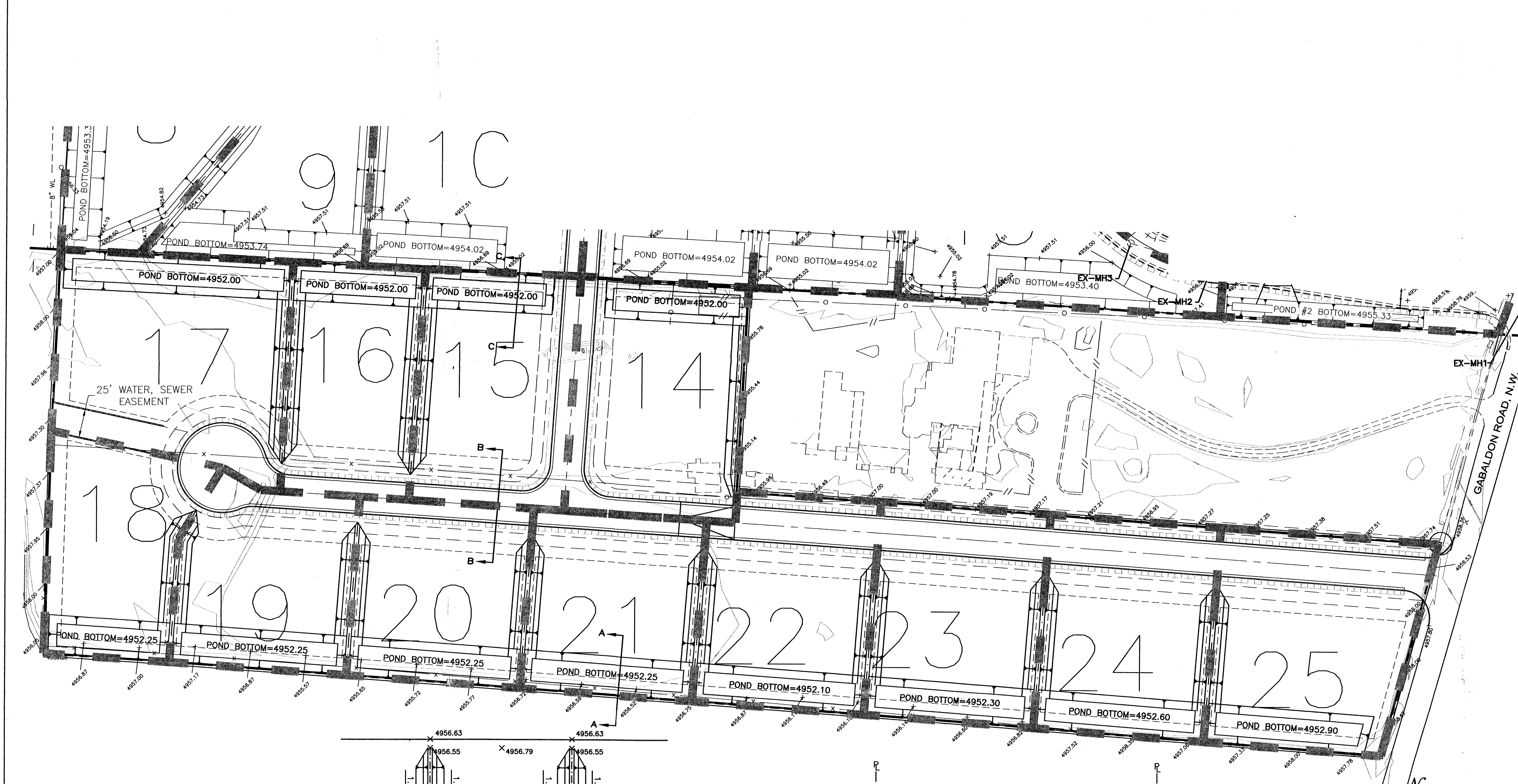
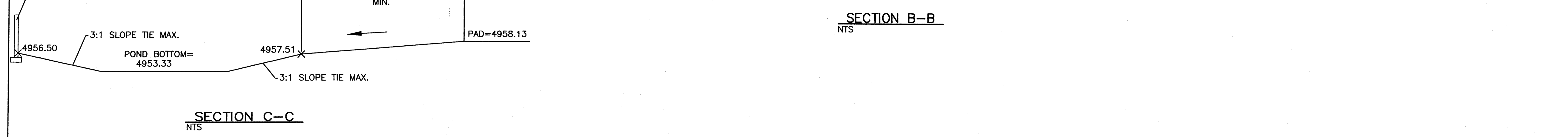
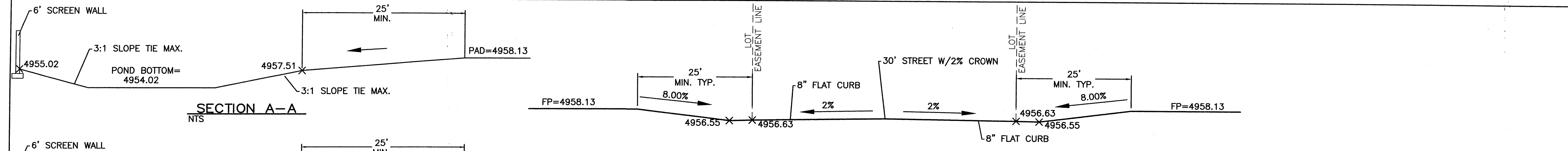




LEGAL DESCRIPTION:
 LOTS 334B2A, 334B2B & 334B1; MRCD MAP#35

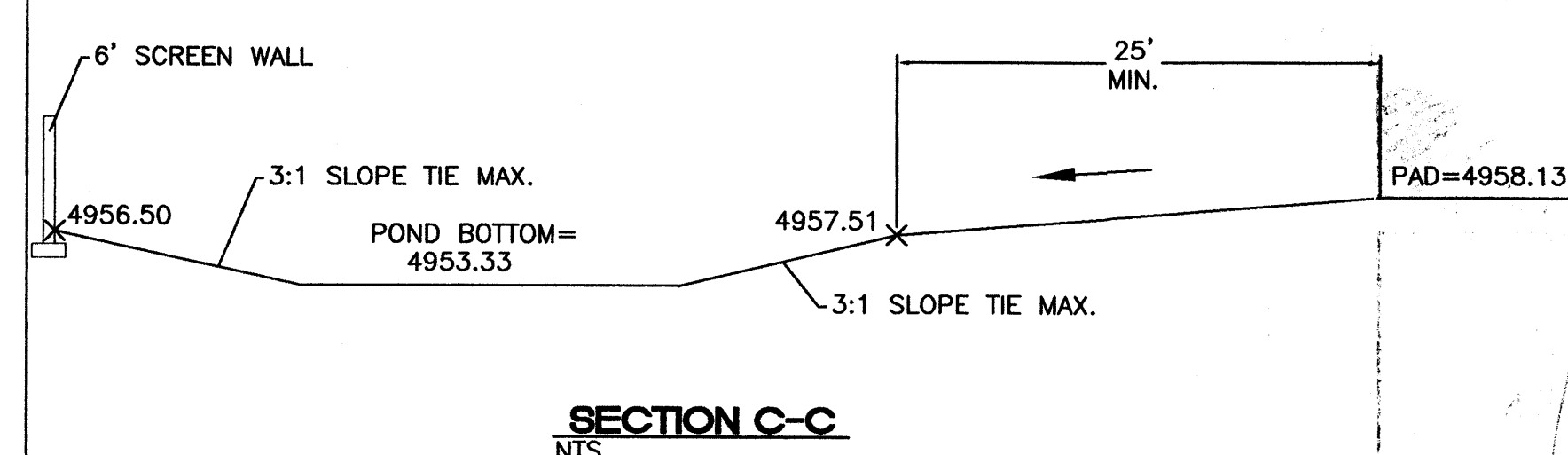
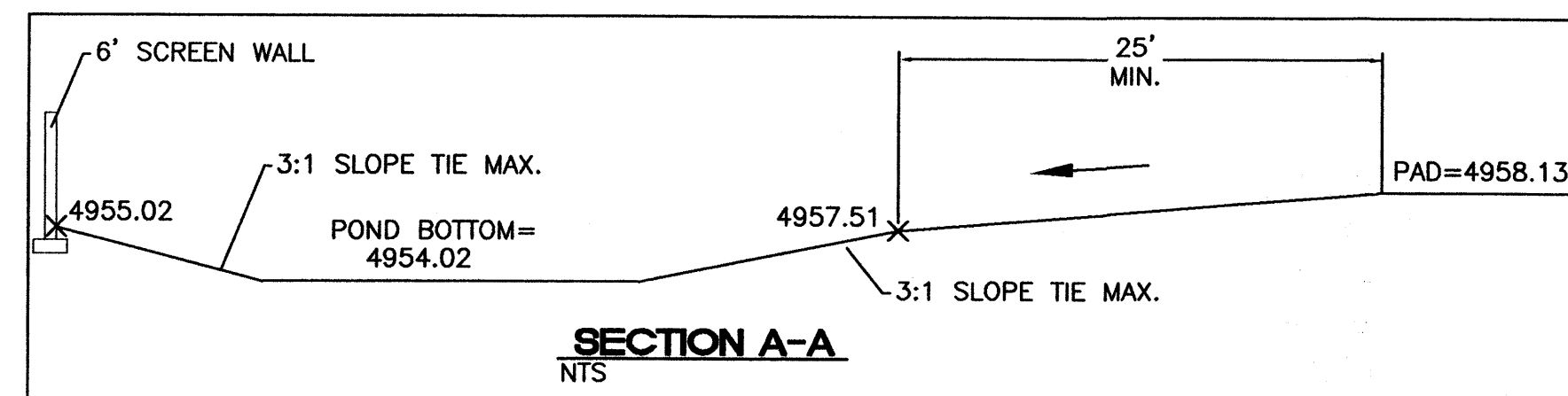
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 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

	PROPOSED 8" FLAT CURB
	BOUNDARY LINE
	EASEMENT
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED POND
	SETBACK
	EXISTING BUILDING
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION

ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	DRAWN BY: MP	
	RIVERVIEW ACRES SUBDIVISION - PHASE 2	
	BASIN MAP	
	DATE: 4-26-2004	
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2304BASINX.DWG SHEET # JOB # 230004

RECEIVED
 MAY 04 2004
 HYDROLOGY SECTION



LOT/POND INFORMATION CHART

LOT #	MAXIMUM PAD SIZE	POND SF	POND AC-FT	WESL
LOT 1	9,335 SF	6273 SF	.269 AC-FT	4954.97
LOT 2	9,559 SF	5081 SF	.274 AC-FT	4954.71
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LOT 4	9,301 SF	4789 SF	.122 AC-FT	4954.61
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LOT 12	8,961 SF	6515 SF	.111 AC-FT	4954.88
LOT 13	8,904 SF	5173 SF	.111 AC-FT	4954.87
LOT 14	8,963 SF	6184 SF	.348 AC-FT	4954.60
POND #1	N/A	2703 SF	.054 AC-FT	4956.42
POND #2	N/A	2901 SF	.060 AC-FT	4956.30

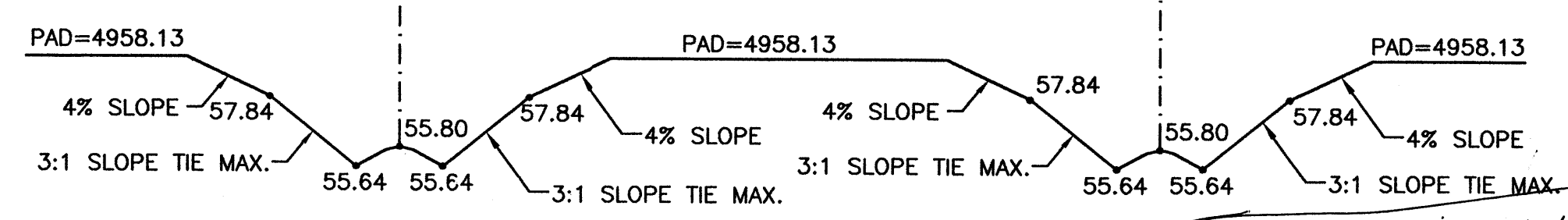
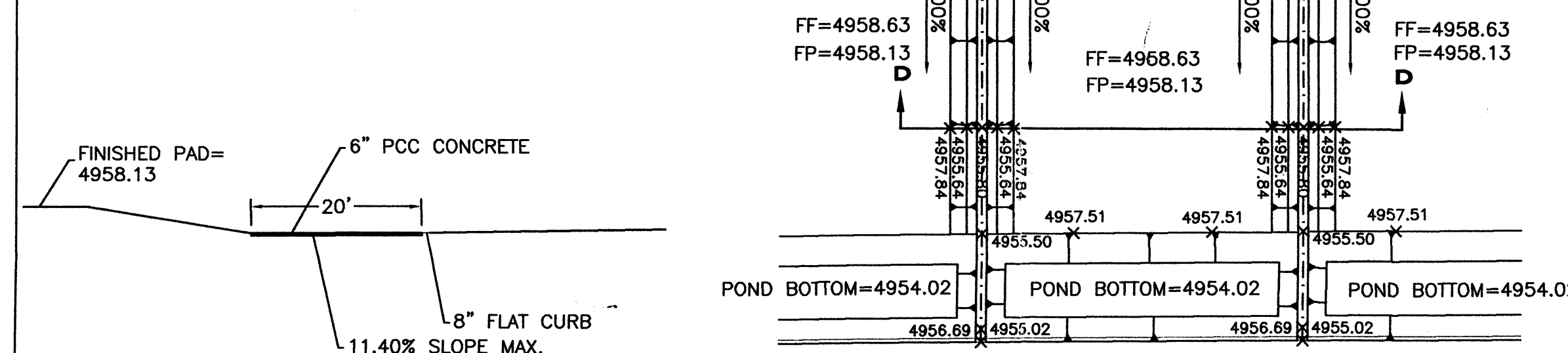
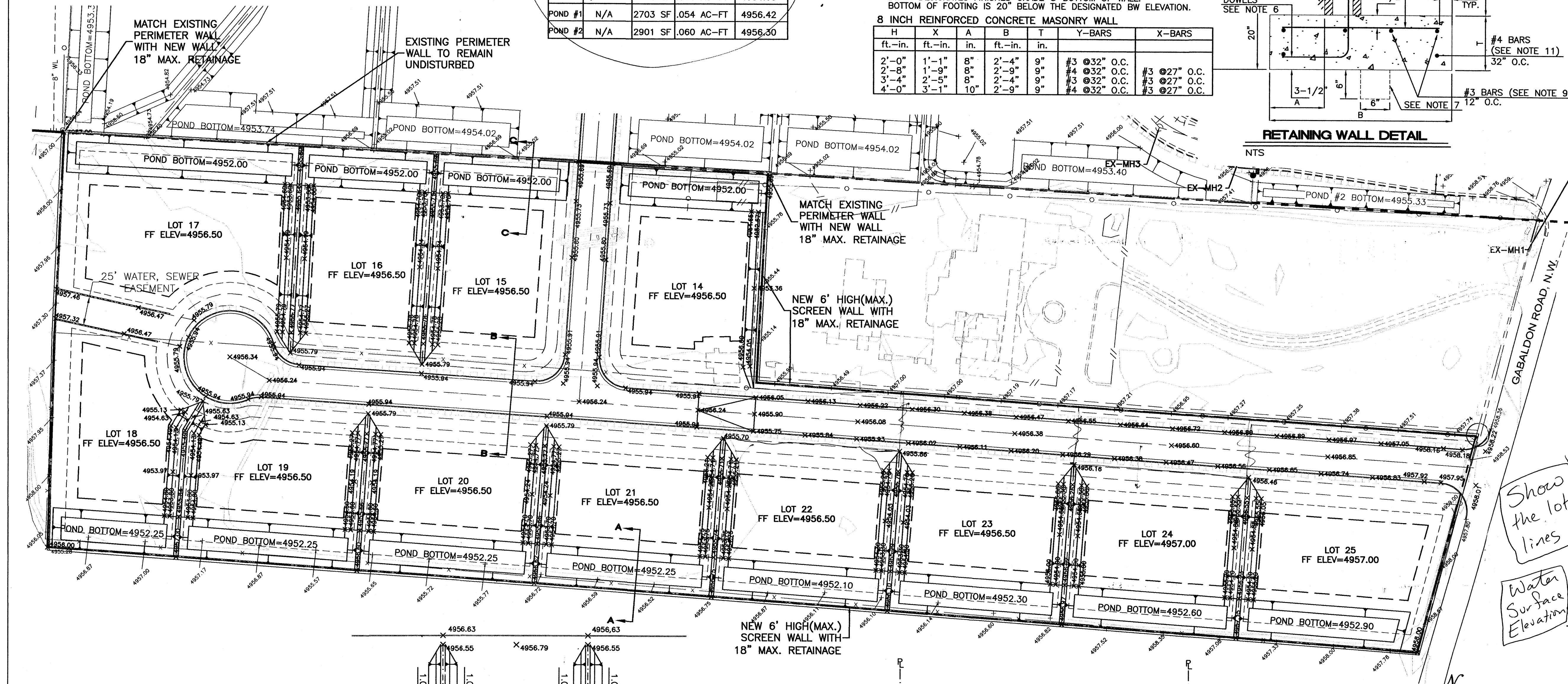
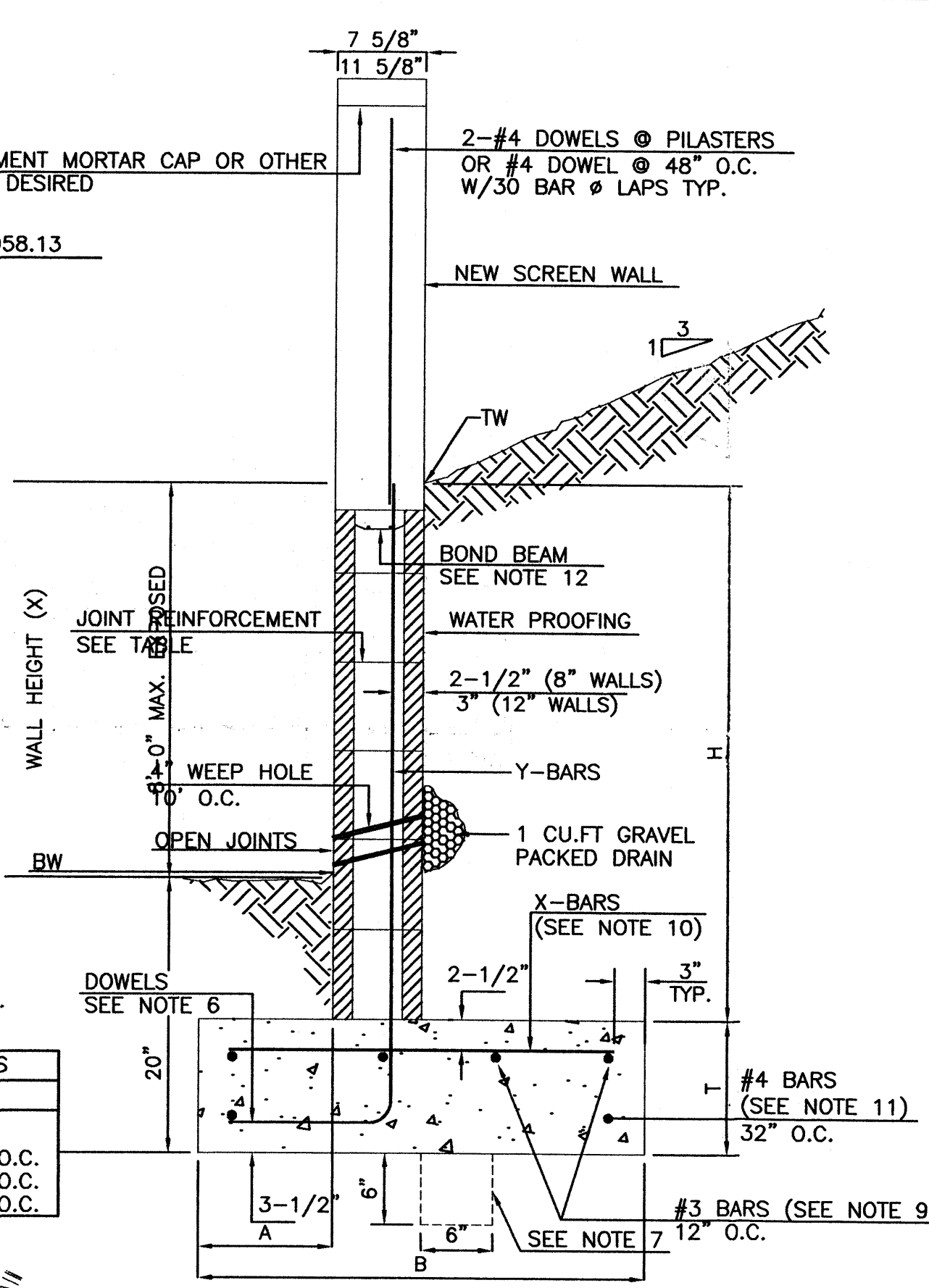
SECTION B-B NTS

GENERAL RETAINING WALLNOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
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- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
- TW - DESIGNATES FINISHED GRADE @ TOP OF RETAINING WALL.
- BW - DESIGNATES FINISHED GRADE @ BOTTOM OF WALL.
- BOTTOM OF FOOTING IS 20" BELOW THE DESIGNATED BW ELEVATION.

8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.

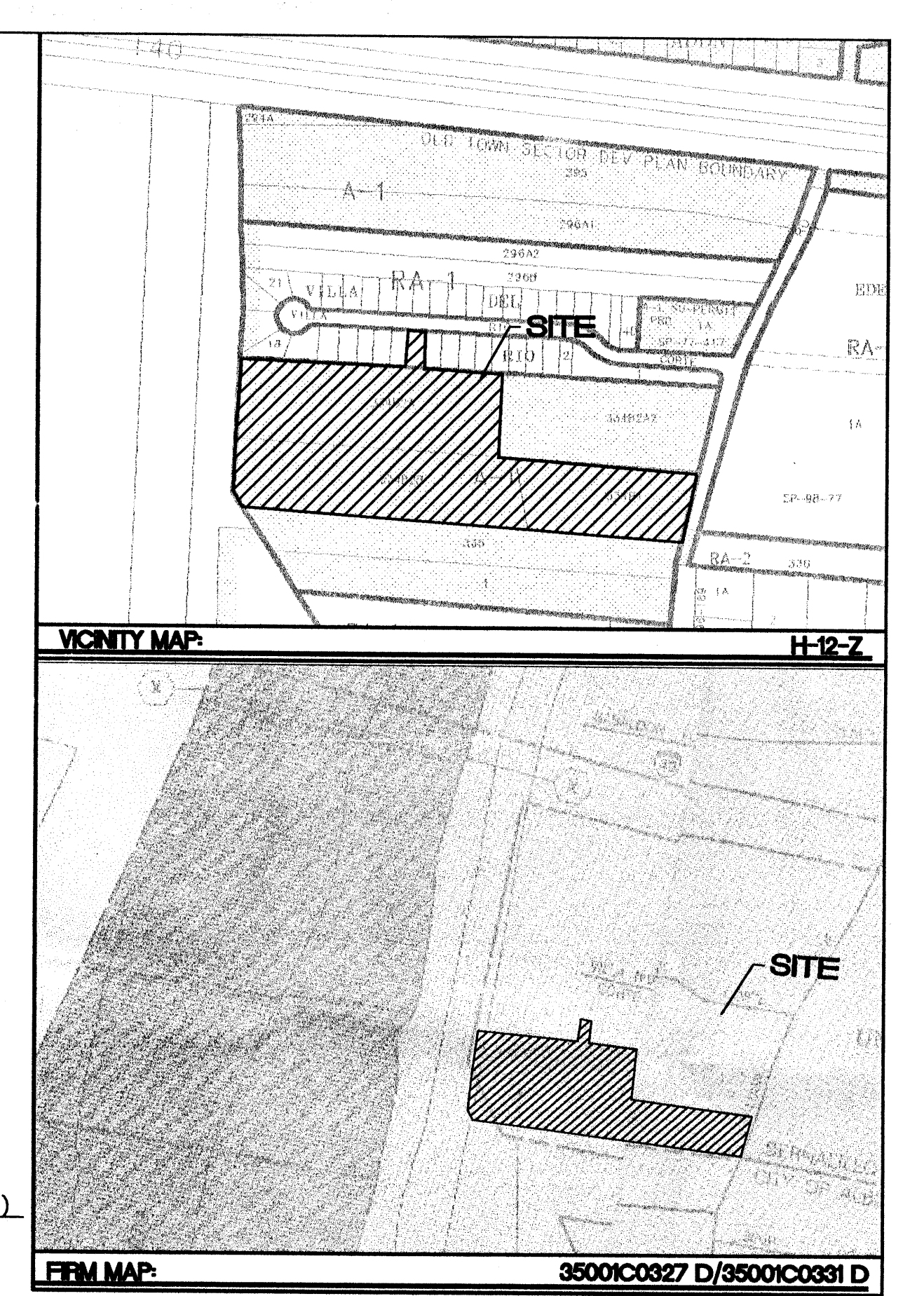
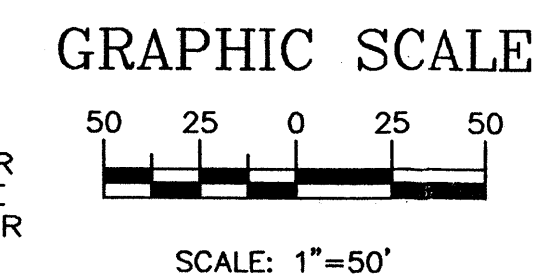


SECTION D-D NTS

TYPICAL SIDE YARD GRADING

Show callouts proving the max pad size is $\leq 45\%$ of all impervious area contributing to the lot

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGAL DESCRIPTION:
LOTS 334B2A, 334B2B & 334B1; MRCD MAP#35

- EROSION CONTROL NOTES:**
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 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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LEGEND

- PROPOSED 8" FLAT CURB
- BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED POND
- SETBACK
- EXISTING BUILDING
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

NOTES:

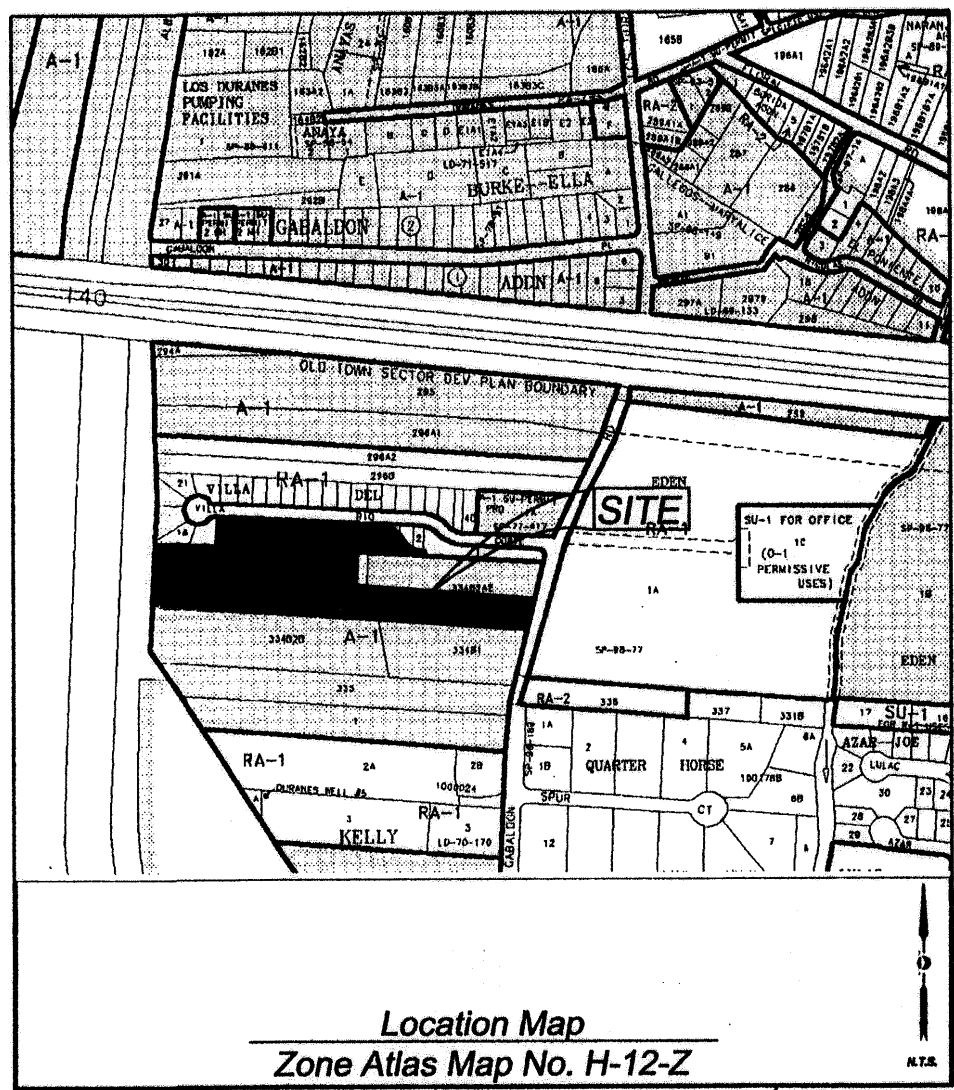
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL CURB TO BE 8" FLAT CURB UNLESS OTHERWISE NOTED.
- ALL LOTS TO HAVE 20' DRIVEPAD WITH AN 12" CMP CULVERT FOR BAR DITCH CROSSING. (SEE DETAIL THIS SHEET)
- ALL SLOPE TIE TO BE 3:1 MAX. UNLESS OTHERWISE NOTED.

ROUGH GRADING APPROVAL

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

RIVERVIEW ACRES SUBDIVISION - PHASE 2
GRADING AND DRAINAGE PLAN
TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100
DATE: 4-26-2004
DRAWN BY: MP
SHEET # 230004

6/8/04



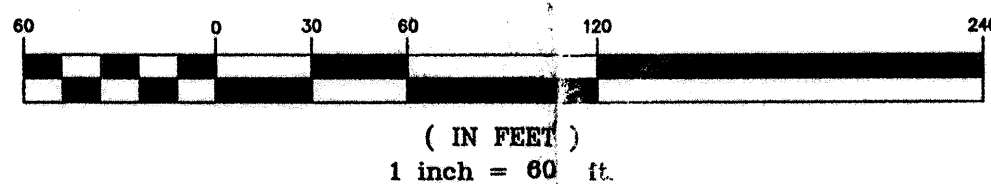
City Surveyor:

APPROVED: *[Signature]* 5-14-04
CITY SURVEYOR DATE

Owner's Signature:

[Signature]
TIMOTHY S. McNANEY
MEMBER
STV INVESTMENT VI
DATE

GRAPHIC SCALE

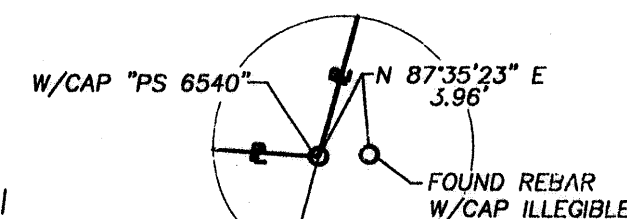


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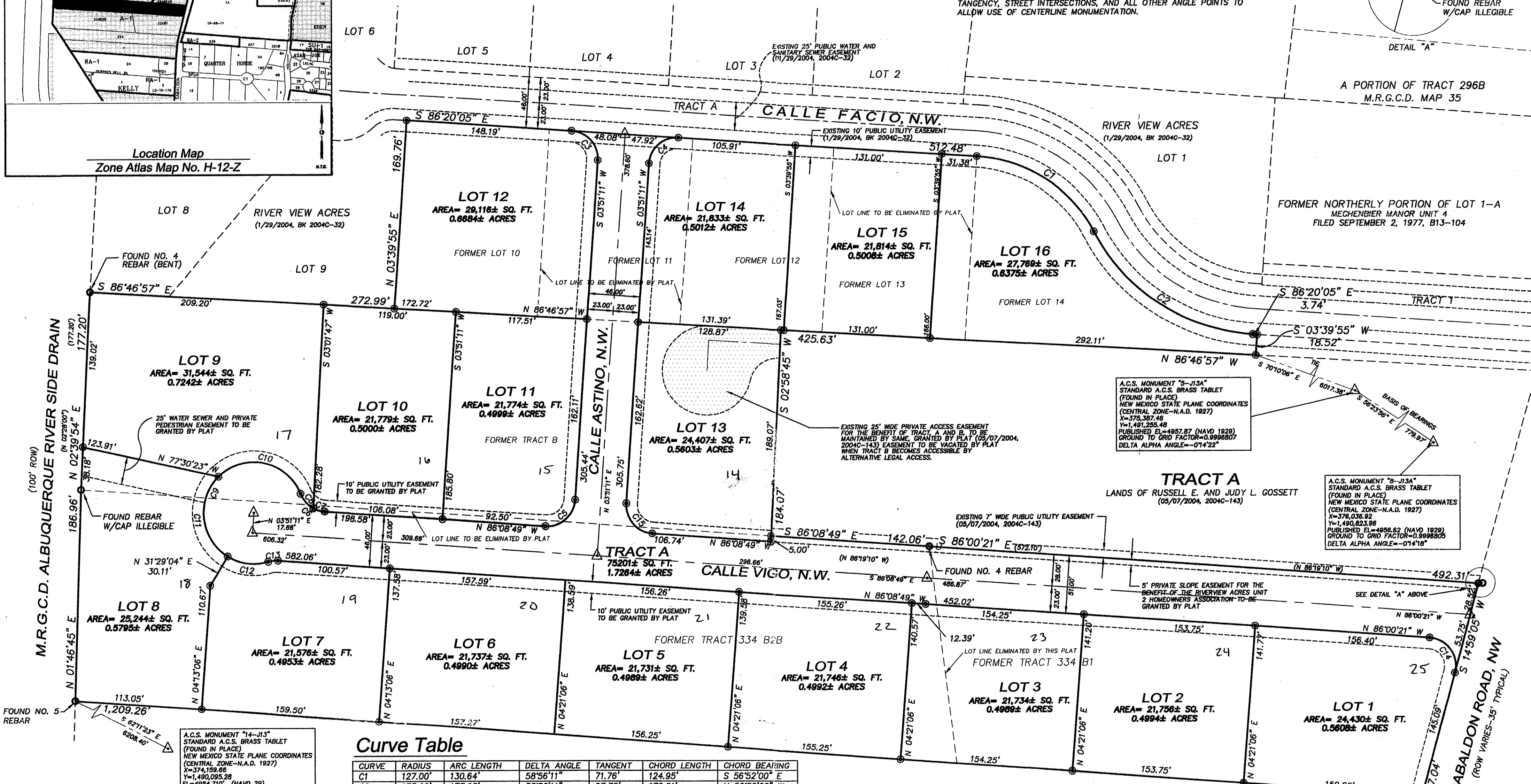
- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED PS "11993".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS "11993".
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS. CENTRAL ZONE-NAD 1927.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

Preliminary Plat of Riverview Acres Unit 2

Albuquerque, Bernalillo County, New Mexico
May 2004



A PORTION OF TRACT 296B
M.R.G.C.D. MAP 35



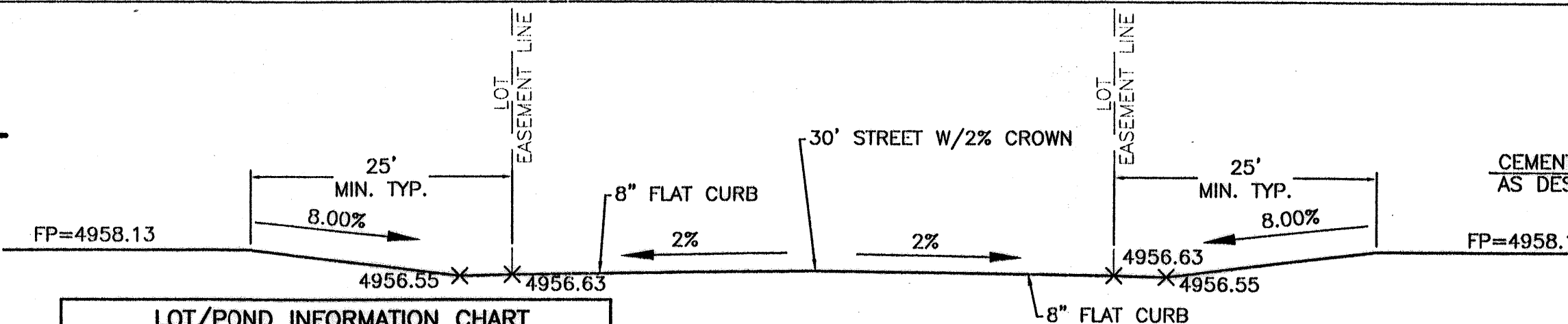
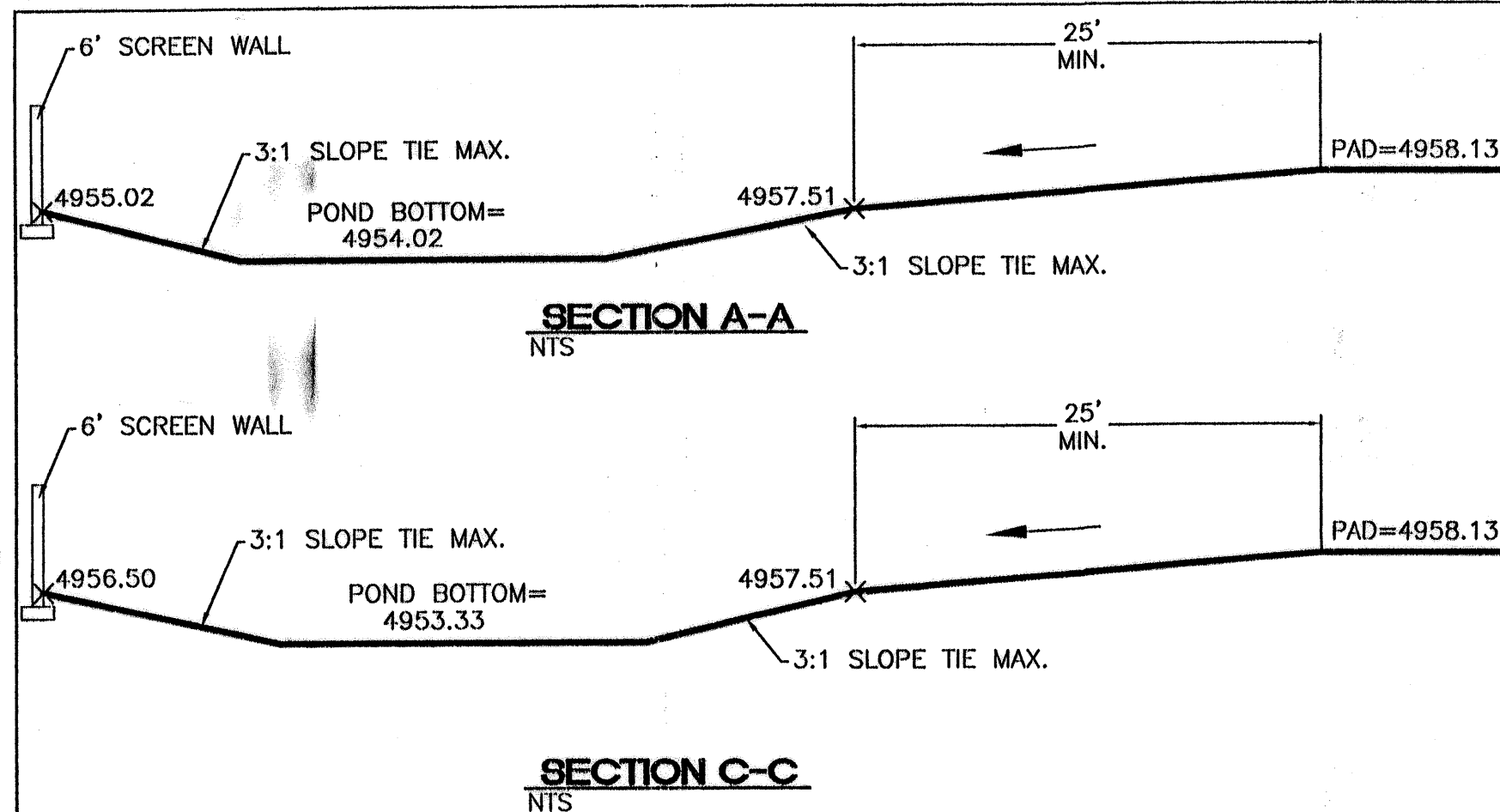
Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	127.00'	130.64'	58°56'11"	71.76'	124.95'	S 56°52'00" E
C2	173.00'	177.95'	58°56'11"	97.75'	170.21'	N 56°52'00" W
C3	25.00'	39.35'	90°11'16"	25.08'	35.41'	S 41°14'27" E
C4	25.00'	39.19'	89°48'44"	24.92'	35.30'	N 48°45'33" E
C5	25.00'	39.27'	90°00'00"	25.00'	35.36'	S 48°51'11" W
C6	25.00'	28.06'	64°18'57"	15.72'	26.61'	N 53°59'21" W
C7	25.00'	10.61'	24°19'29"	5.39'	10.53'	N 73°59'05" W
C8	25.00'	17.45'	39°59'28"	9.10'	17.10'	N 41°49'36" W
C9	45.00'	207.81'	264°35'41"	49.46'	66.57'	N 25°52'17" E
C10	45.00'	88.50'	112°41'05"	67.58'	74.91'	S 78°10'25" E
C11	45.00'	81.68'	103°59'59"	57.60'	70.92'	N 06°30'57" W
C12	45.00'	37.63'	47°54'37"	19.99'	36.54'	N 82°28'15" W
C13	25.00'	8.85'	20°16'44"	4.47'	8.80'	N 83°42'49" E
C14	25.00'	44.07'	100°59'26"	30.32'	38.58'	S 35°30'38" E
C15	25.00'	39.27'	90°00'00"	25.00'	35.36'	N 41°08'49" W

TRACT A IS A PRIVATE ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1 THROUGH 16, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT INCLUSIVE, TO BE MAINTAINED BY THE RIVERVIEW ACRES HOME OWNERS ASSOCIATION, TO BE GRANTED BY PLAT.

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 868 6700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 868 7900



LOT/POND INFORMATION CHART

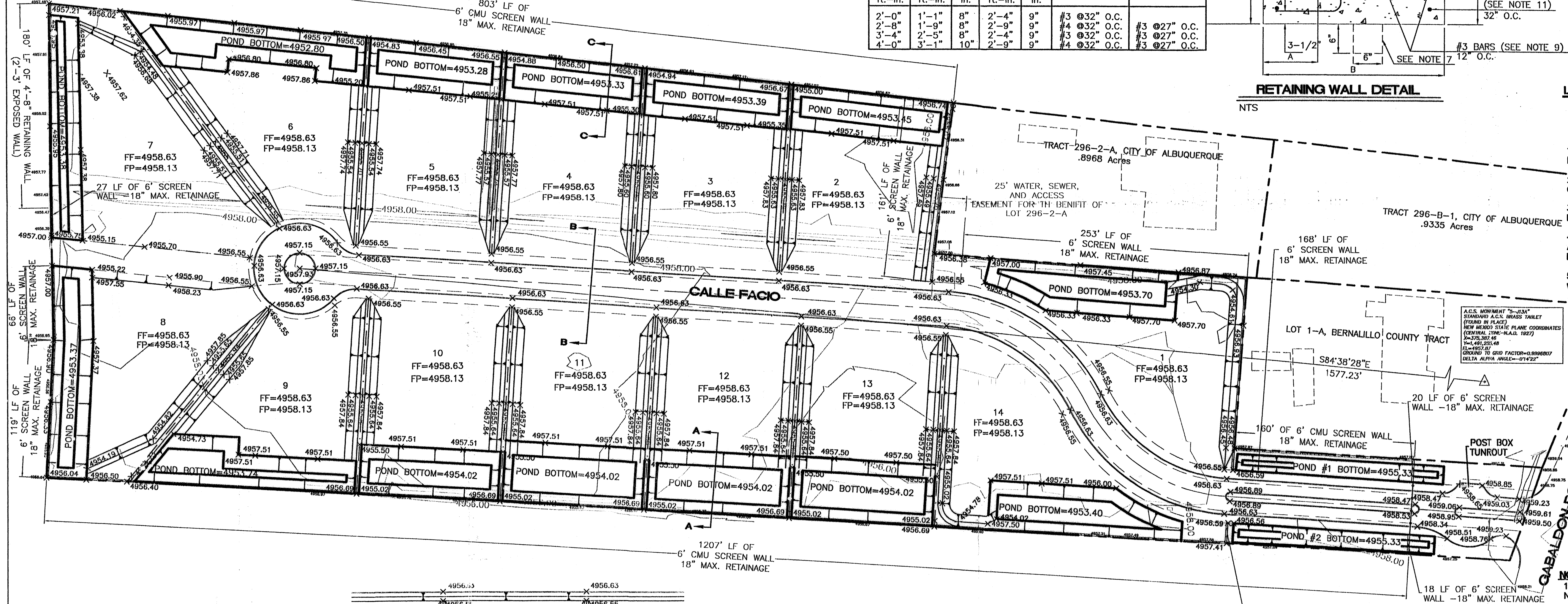
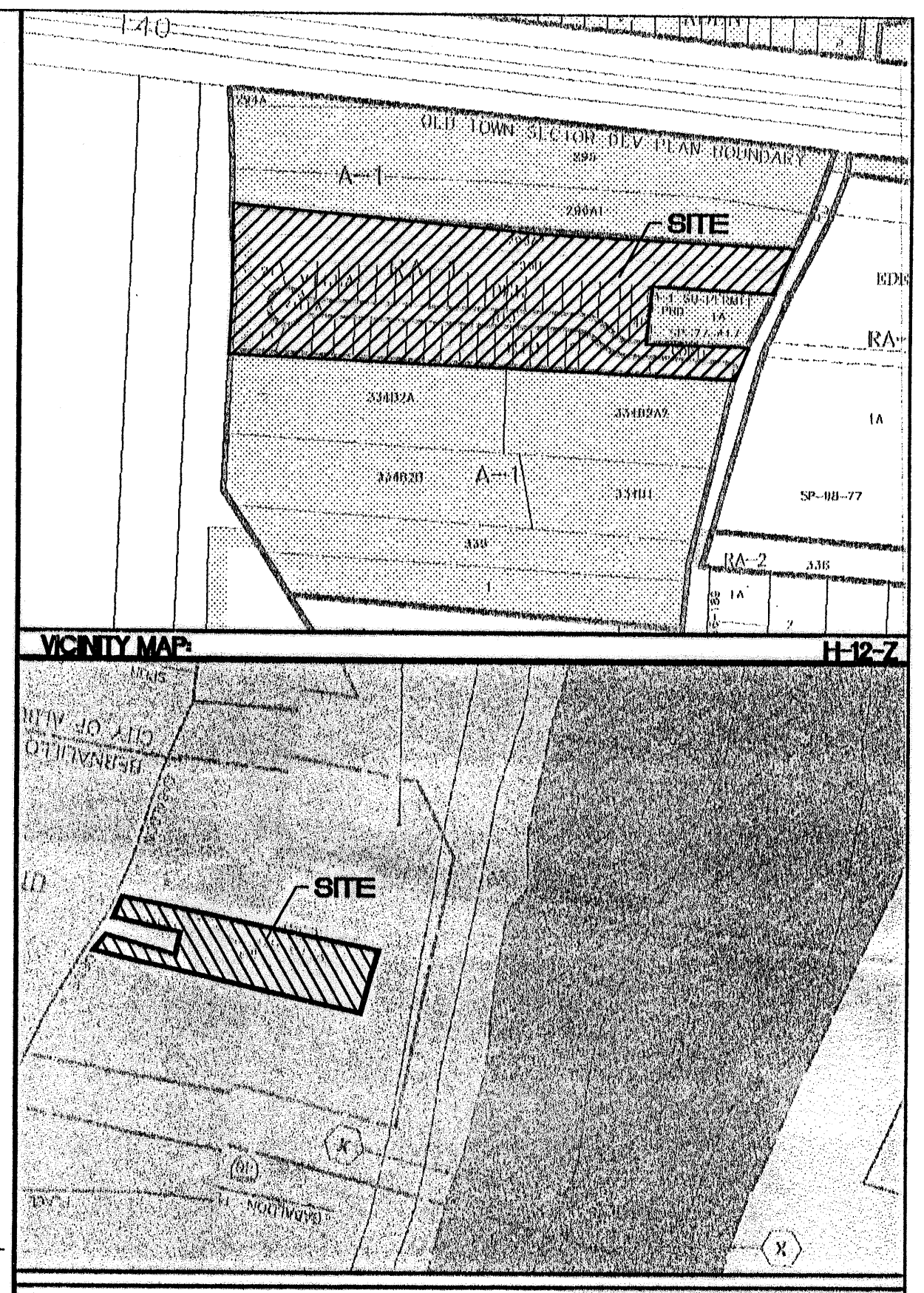
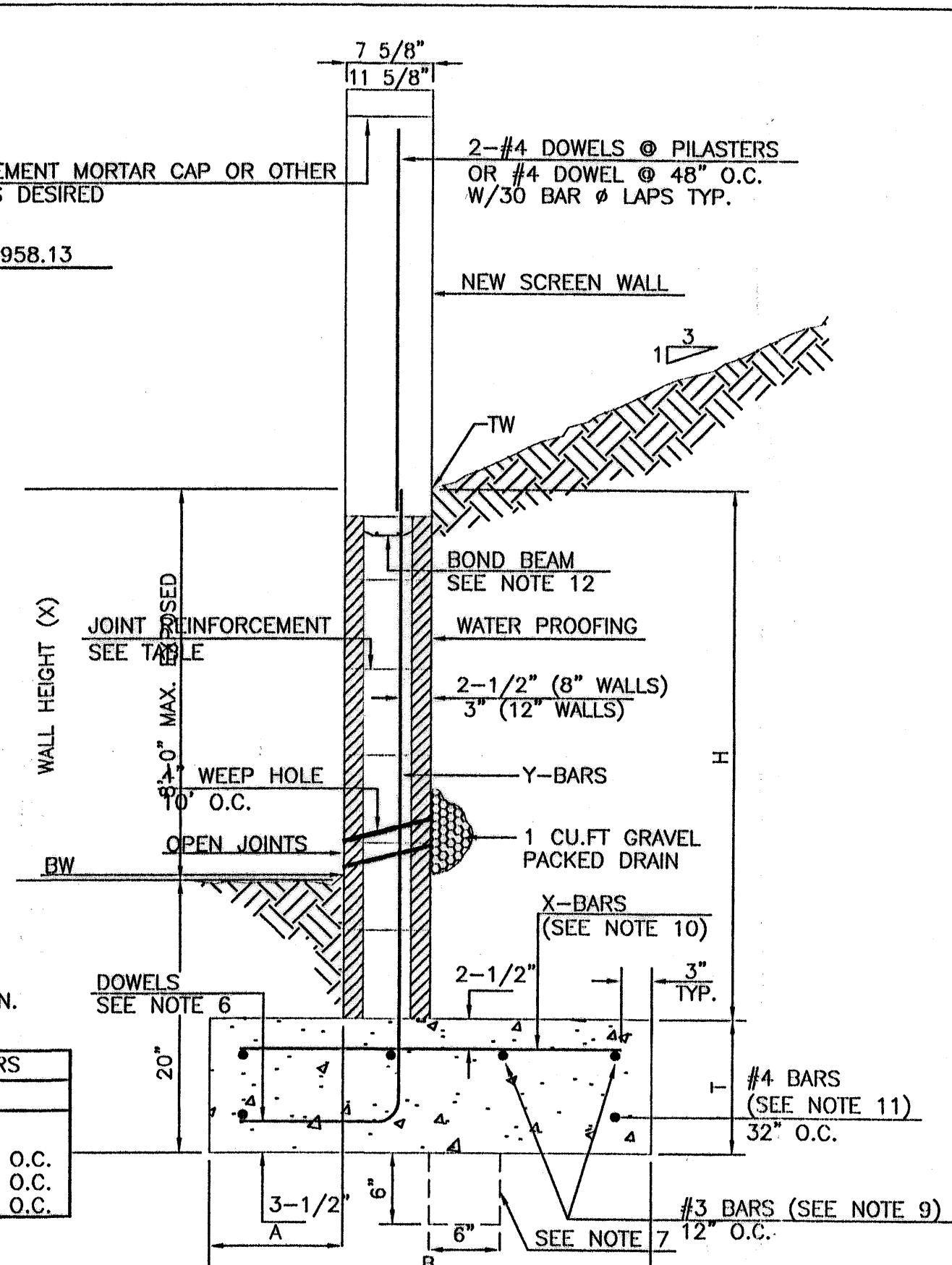
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SECTION B-B
NTS

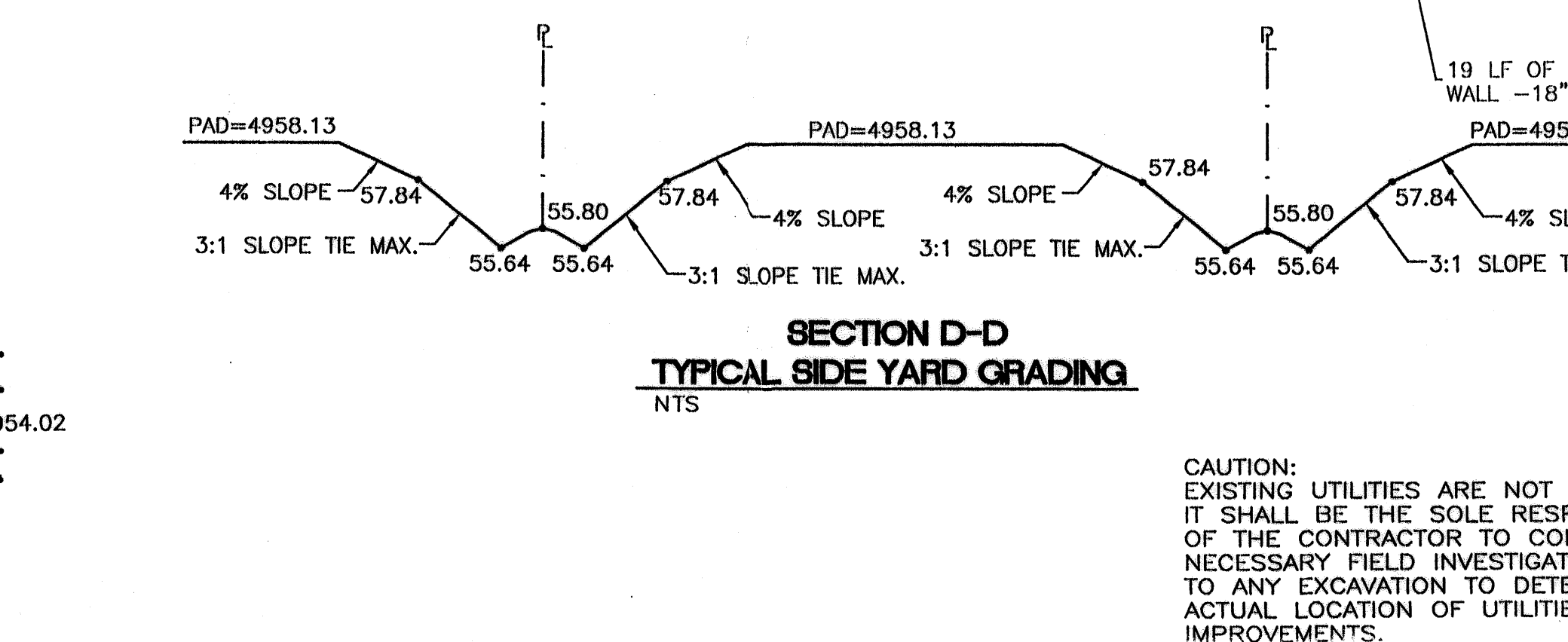
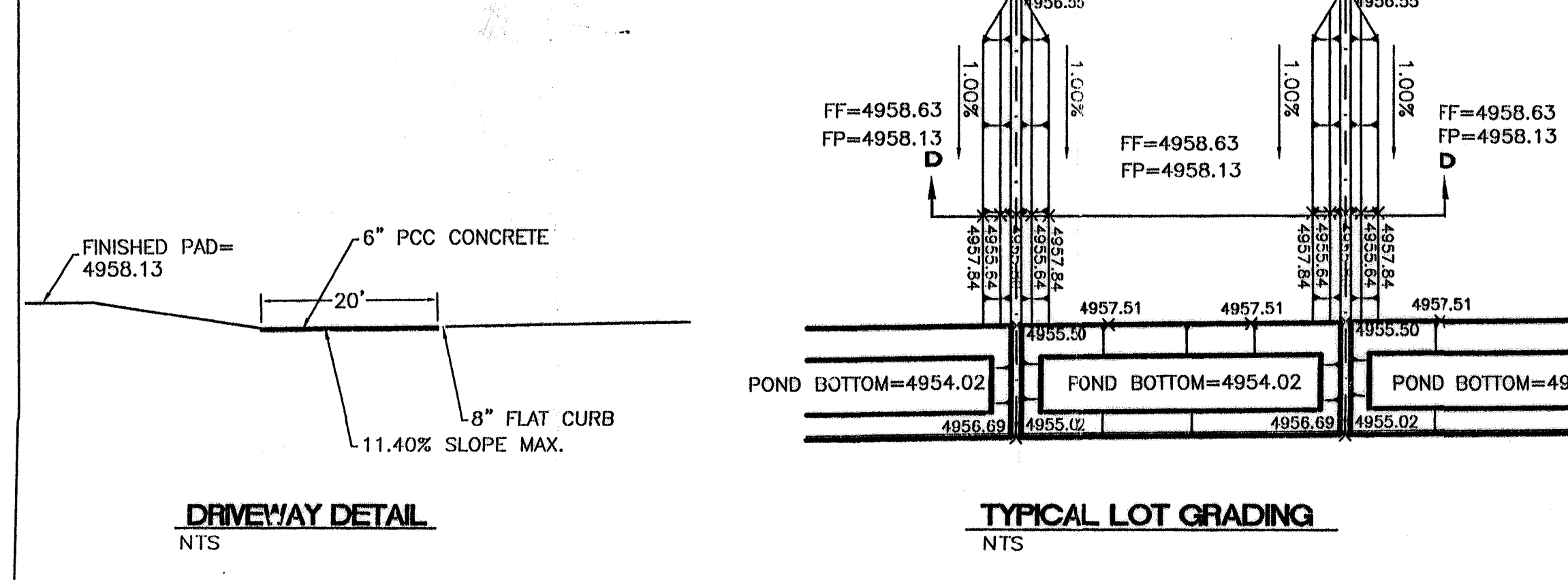
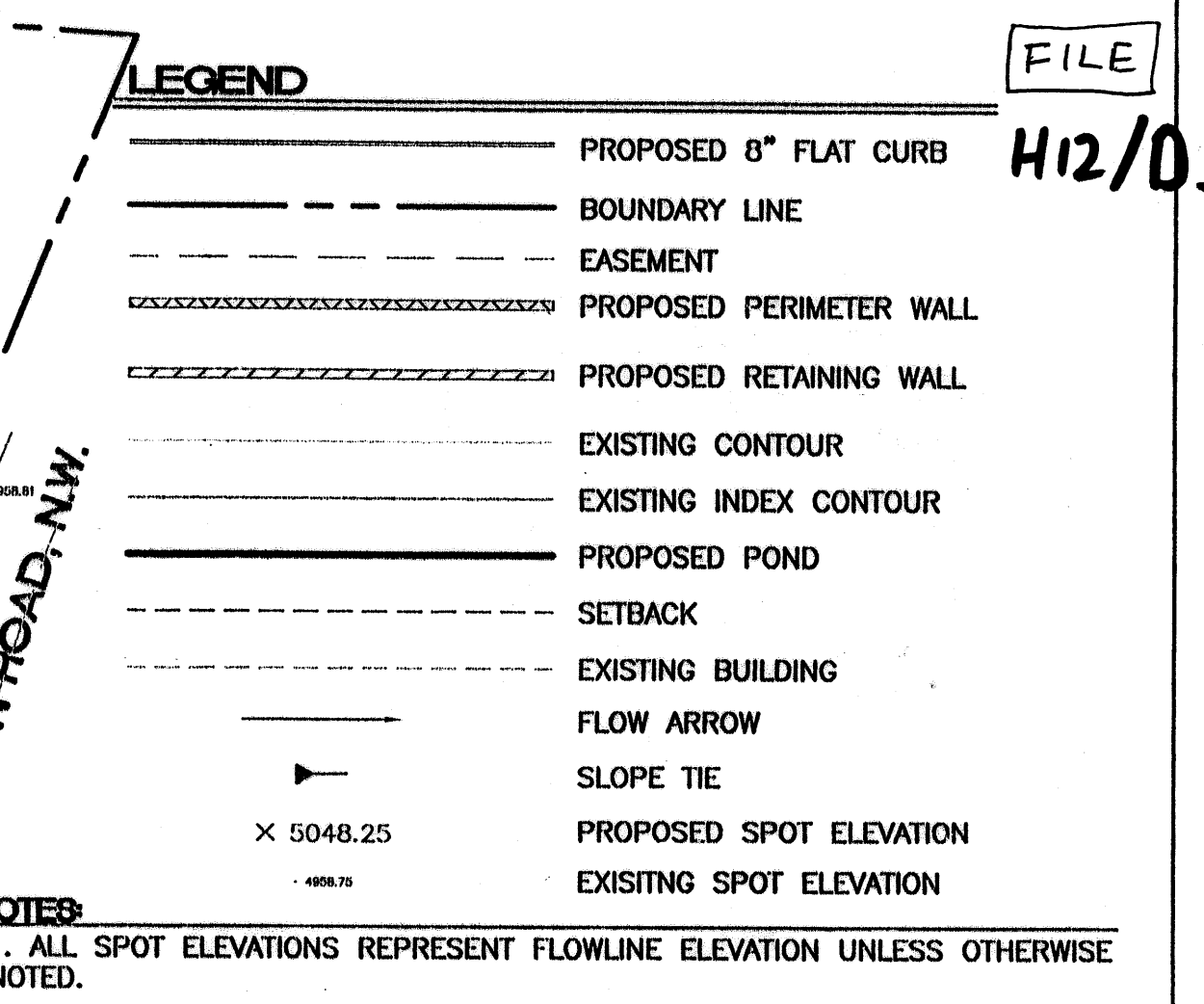
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8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-6"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
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ROUGH GRADING APPROVAL

Handwritten signature: Ron R. Bohannon **DATE: 2/3/04**

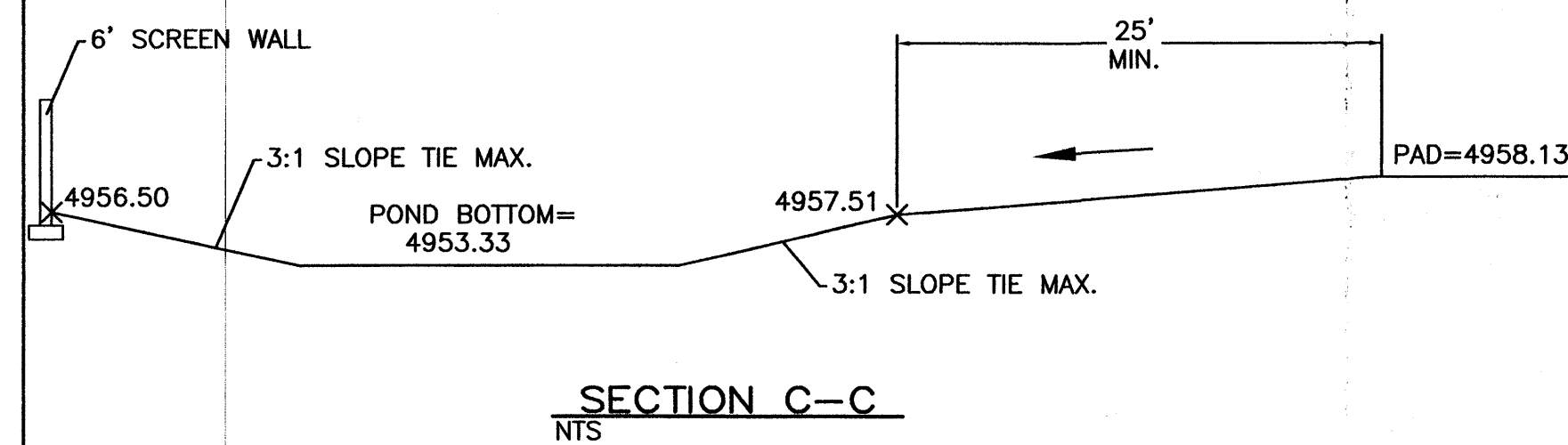
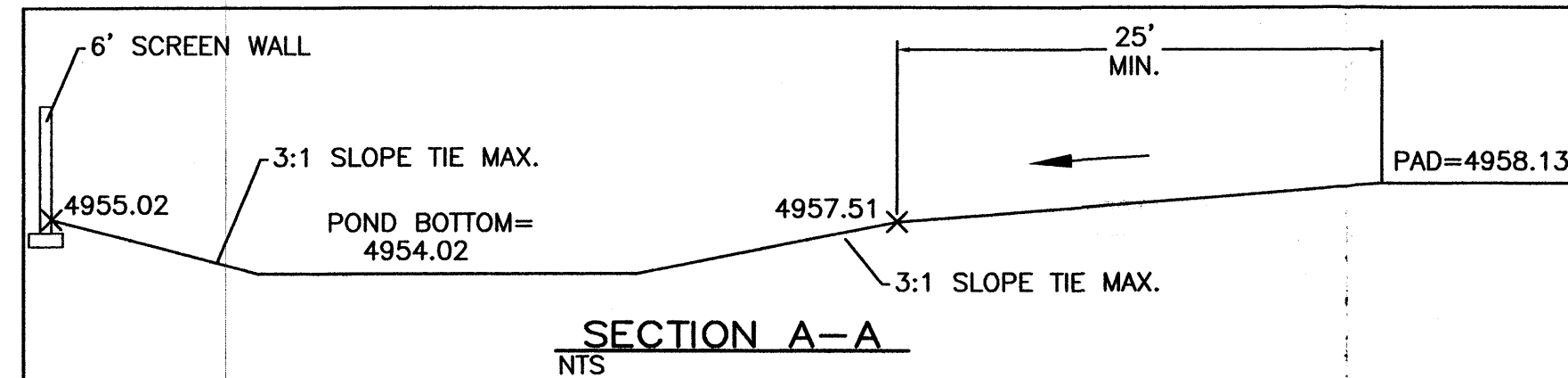
ENGINEER'S SEAL

RIVERVIEW ACRES SUBDIVISION

GRADING AND DRAINAGE PLAN

TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: WCUJ
DATE: 10-06-03
2090GR.DWG
SHEET #
JOB # 200090



LOT/POND INFORMATION CHART				
LOT #	MAXIMUM PAD SIZE	POND SF	POND AC-FT	WESL
LOT 14	6,599 SF	4276 SF	.331 AC-FT	4951.94
LOT 15	5,596 SF	4033 SF	.279 AC-FT	4953.50
LOT 16	8,335 SF	4017 SF	.280 AC-FT	4953.20
LOT 17	13,449 SF	7112 SF	.501 AC-FT	4953.03
LOT 18	9,538 SF	3763 SF	.255 AC-FT	4953.72
LOT 19	7,654 SF	5442 SF	.374 AC-FT	4953.33
LOT 20	7,786 SF	5365 SF	.369 AC-FT	4953.34
LOT 21	7,799 SF	5329 SF	.366 AC-FT	4953.35
LOT 22	5,823 SF	5294 SF	.387 AC-FT	4953.36
LOT 23	5,453 SF	5258 SF	.393 AC-FT	4953.60
LOT 24	5,488 SF	5238 SF	.401 AC-FT	4953.91
LOT 25	5,710 SF	5106 SF	.363 AC-FT	4954.46

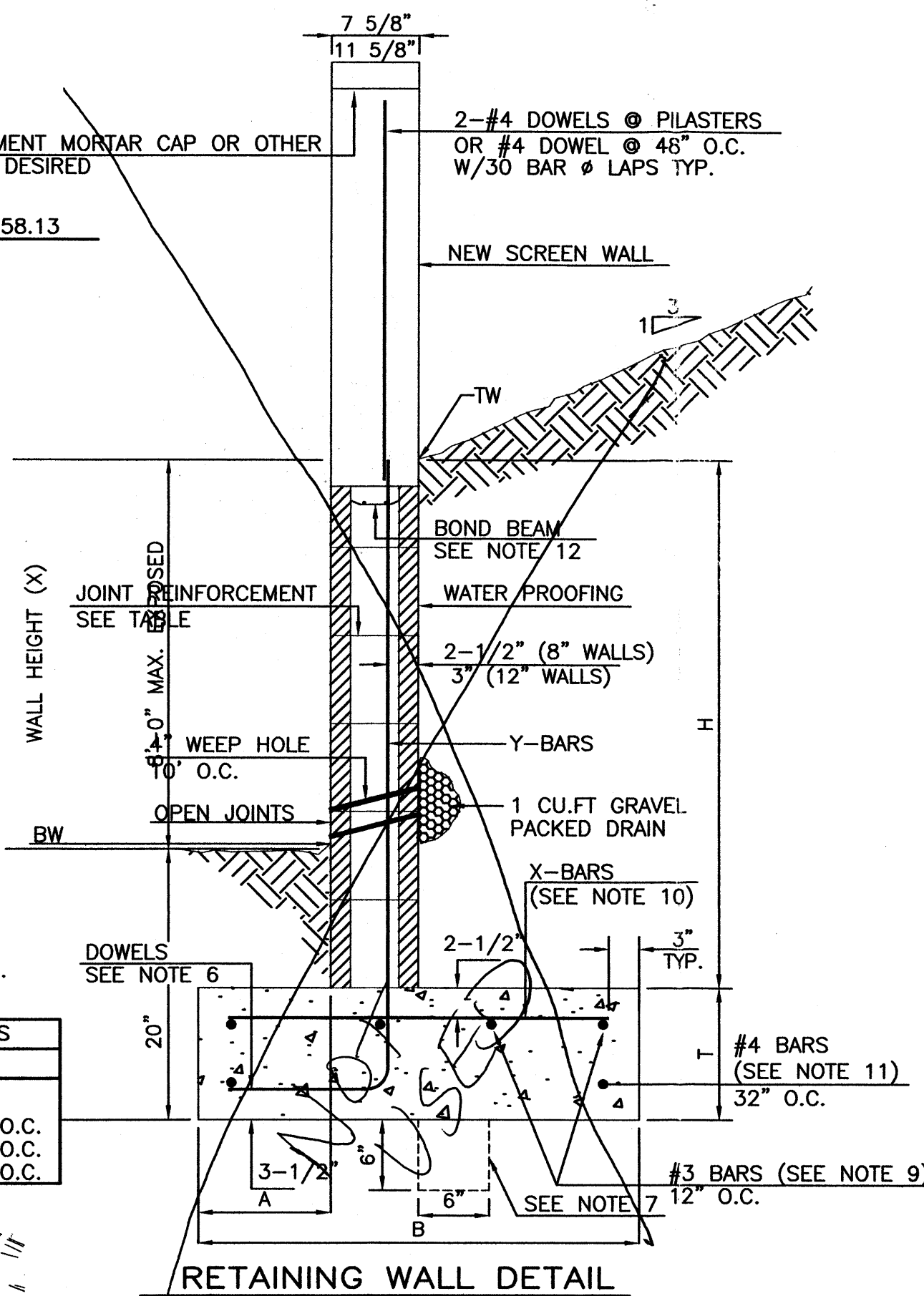
SECTION B-B

GENERAL RETAINING WALL NOTES:

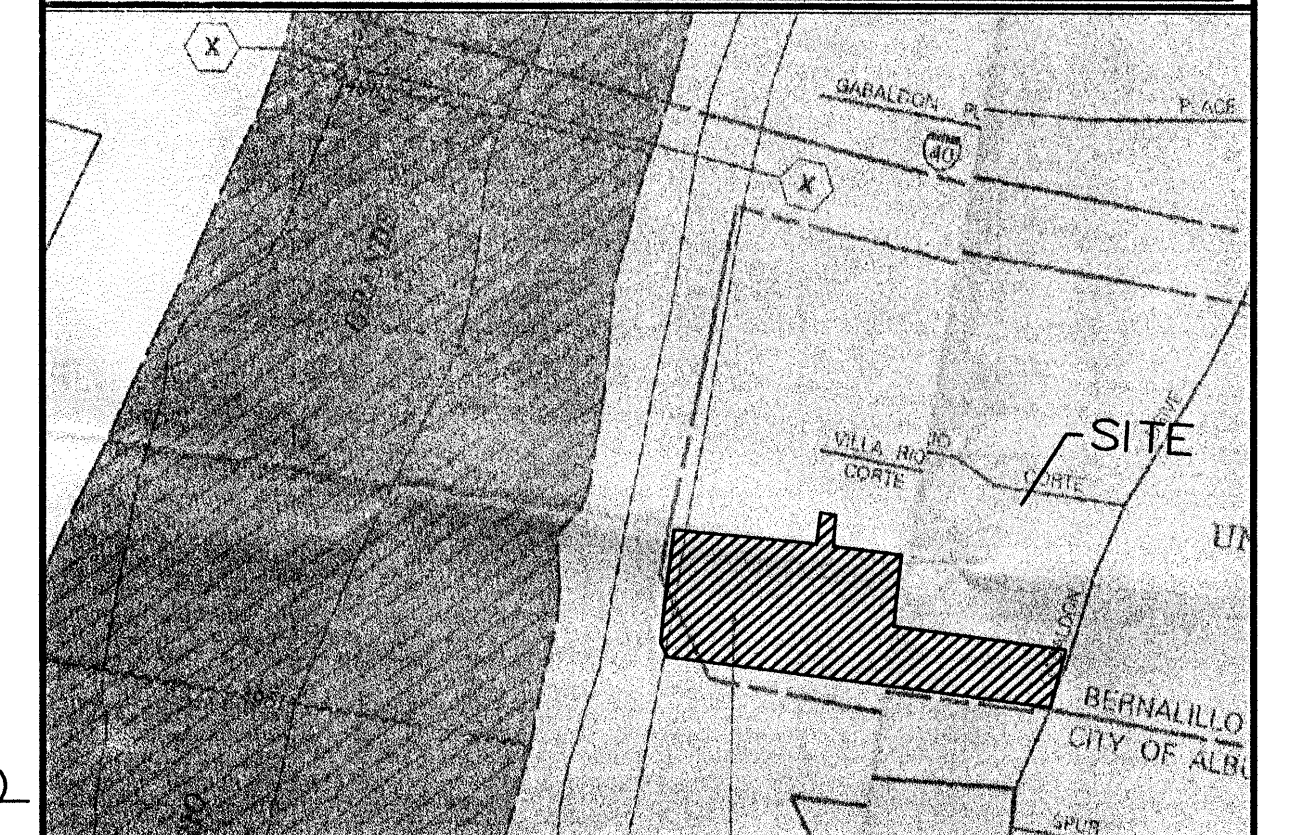
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
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- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
- TW - DESIGNATES FINISHED GRADE @ TOP OF RETAINING WALL
BW - DESIGNATES FINISHED GRADE @ BOTTOM OF WALL
BOTTOM OF FOOTING IS 20" BELOW THE DESIGNATED BW ELEVATION.

8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.



VICINITY MAP:



FIRM MAP: 35001C0327 D/35001C0351 D

LEGAL DESCRIPTION:

LOTS 33482A, 33482B & 33481; MRCD MAP#35

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

	PROPOSED 8' FLAT CURB
	BOUNDARY LINE
	EASEMENT
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED POND
	SETBACK
	EXISTING BUILDING
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL CURB TO BE 8" FLAT CURB UNLESS OTHERWISE NOTED.
- ALL LOTS TO HAVE 20' DRIVEPAD WITH AN 12" CMP CULVERT FOR BAR DITCH CROSSING. (SEE DETAIL THIS SHEET)
- ALL SLOPE TIE TO BE 3:1 MAX. UNLESS OTHERWISE NOTED.

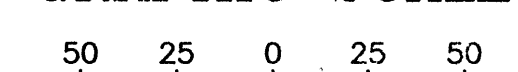
ROUGH GRADING APPROVAL

ENGINEER'S SEAL	RIVERVIEW ACRES SUBDIVISION - PHASE 2	DRAWN BY MP
	GRADING AND DRAINAGE PLAN	DATE 4-26-2004
		2304GRE-030204X.DWG
		SHEET #
		JOB # 230004

RONALD R. BOHANNAN
P.E. #7368

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

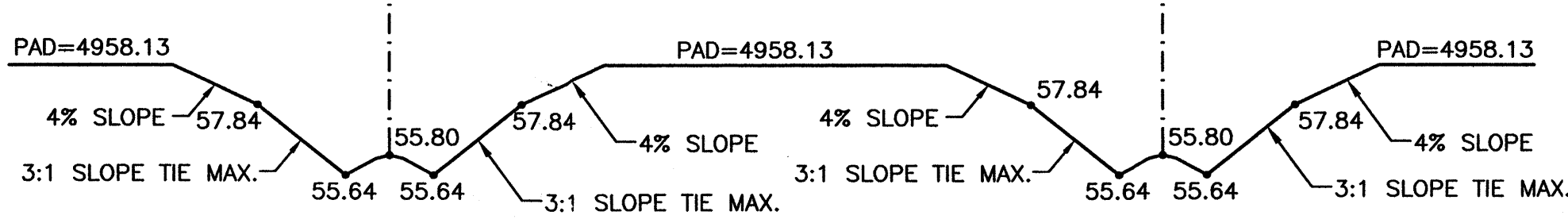
GRAPHIC SCALE



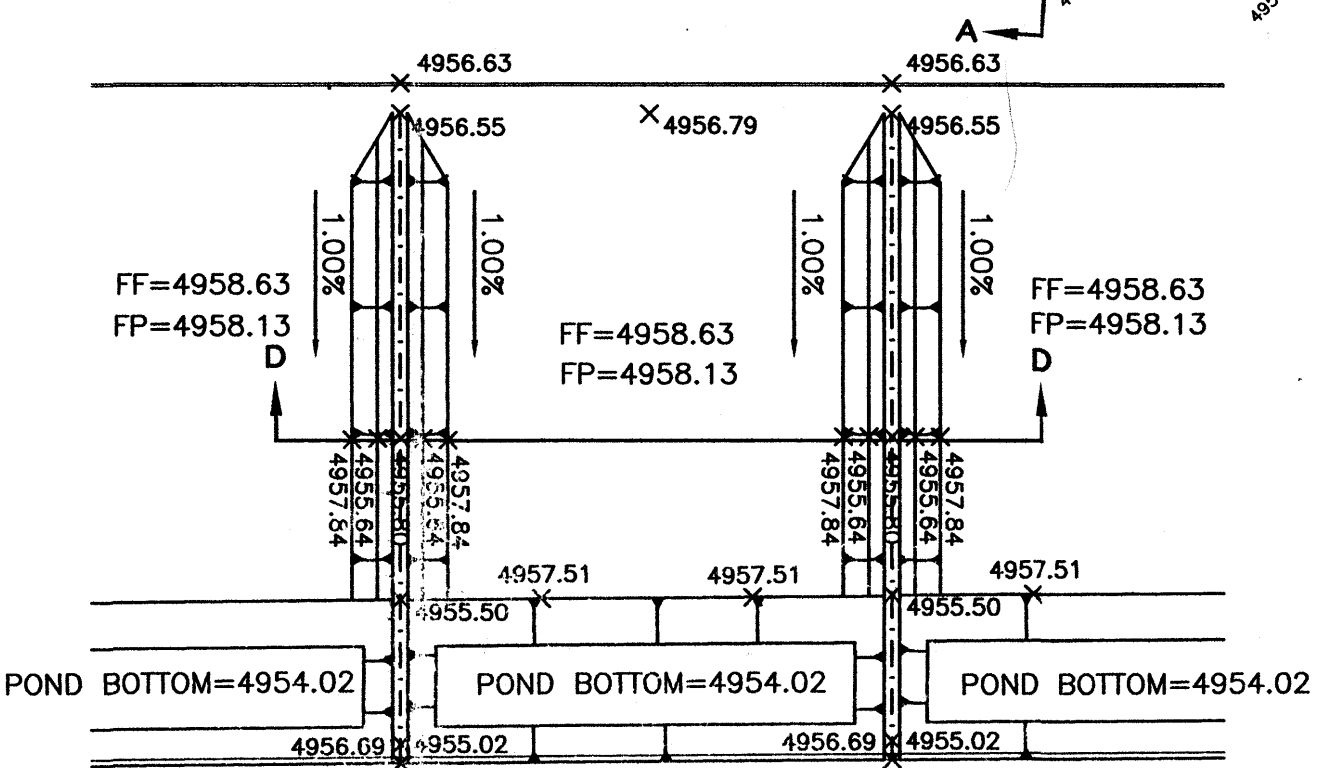
SCALE: 1"=50'

CAUTION:
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ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

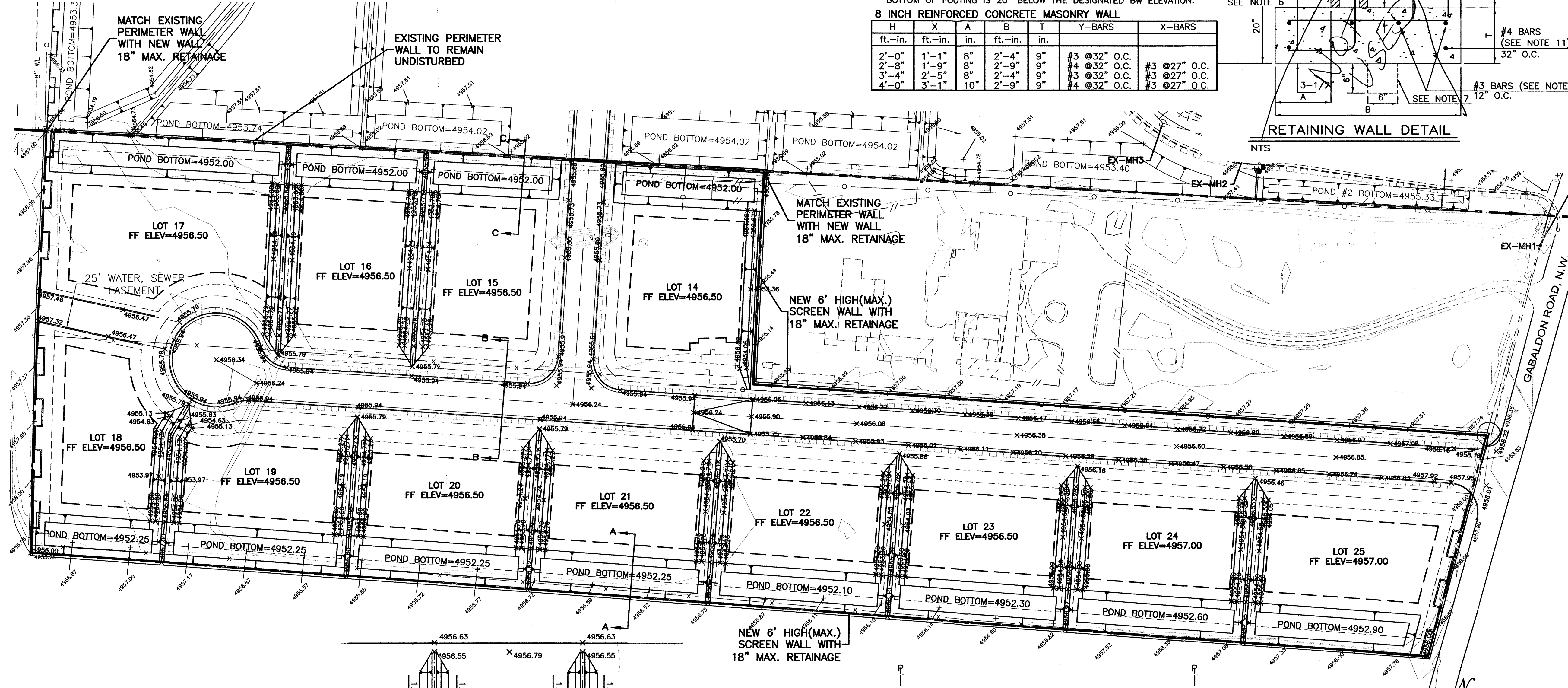
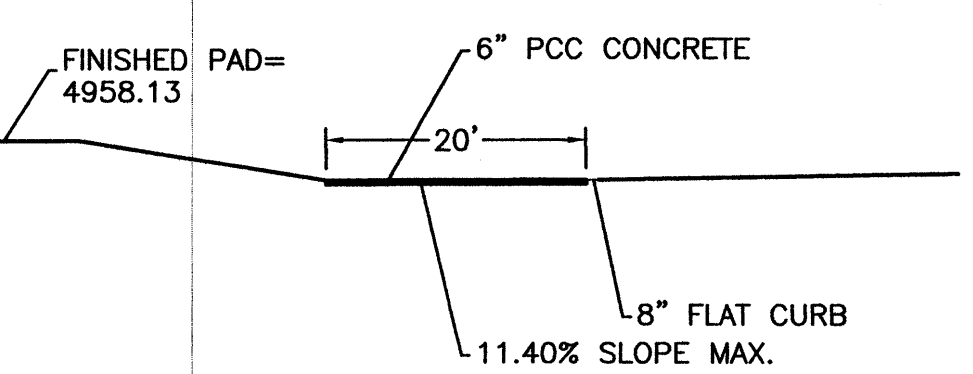
SECTION D-D TYPICAL SIDE YARD GRADING

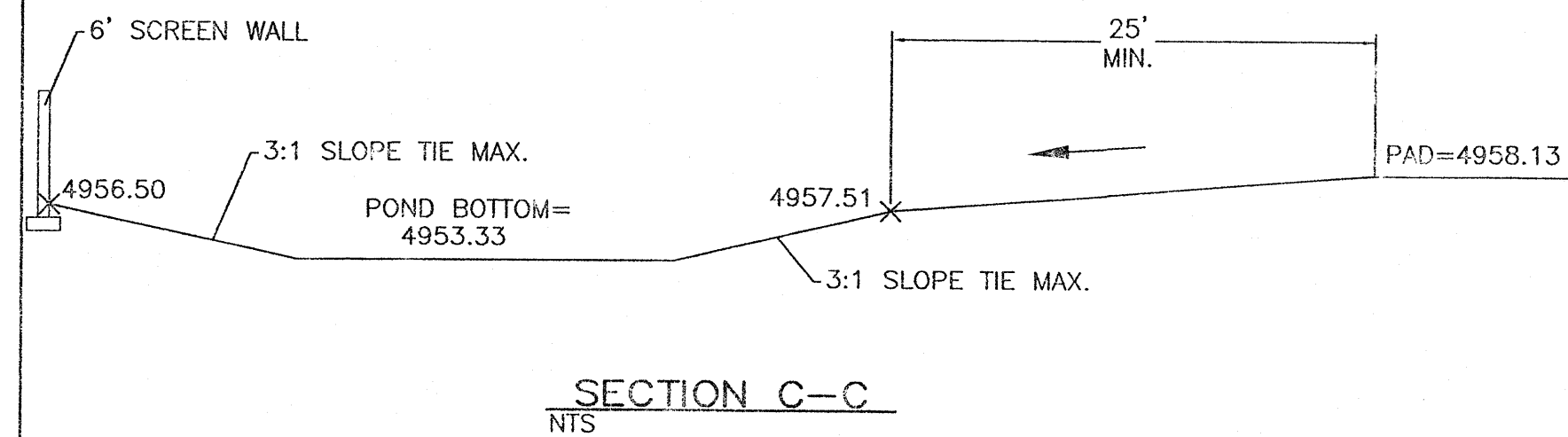
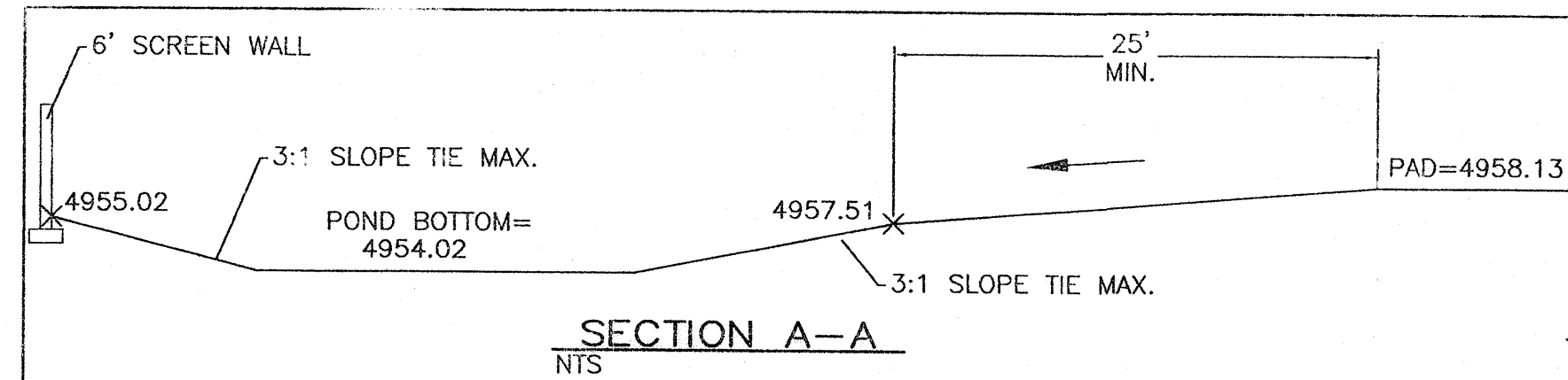


TYPICAL LOT GRADING



DRIVEWAY DETAIL





LOT/POND INFORMATION CHART				
LOT #	MAXIMUM PAD SIZE	POND SF	POND AC-FT	WESL
LOT 14	6,599 SF	4276 SF	331 AC-FT	4951.94
LOT 15	5,596 SF	4033 SF	279 AC-FT	4953.50
LOT 16	8,335 SF	4017 SF	280 AC-FT	4953.20
LOT 17	13,449 SF	7112 SF	501 AC-FT	4953.03
LOT 18	9,538 SF	3763 SF	255 AC-FT	4953.72
LOT 19	7,654 SF	5442 SF	374 AC-FT	4953.33
LOT 20	7,786 SF	5365 SF	369 AC-FT	4953.34
LOT 21	7,799 SF	5329 SF	366 AC-FT	4953.35
LOT 22	8,823 SF	5294 SF	387 AC-FT	4953.36
LOT 23	5,453 SF	5258 SF	393 AC-FT	4953.60
LOT 24	5,488 SF	5238 SF	401 AC-FT	4953.91
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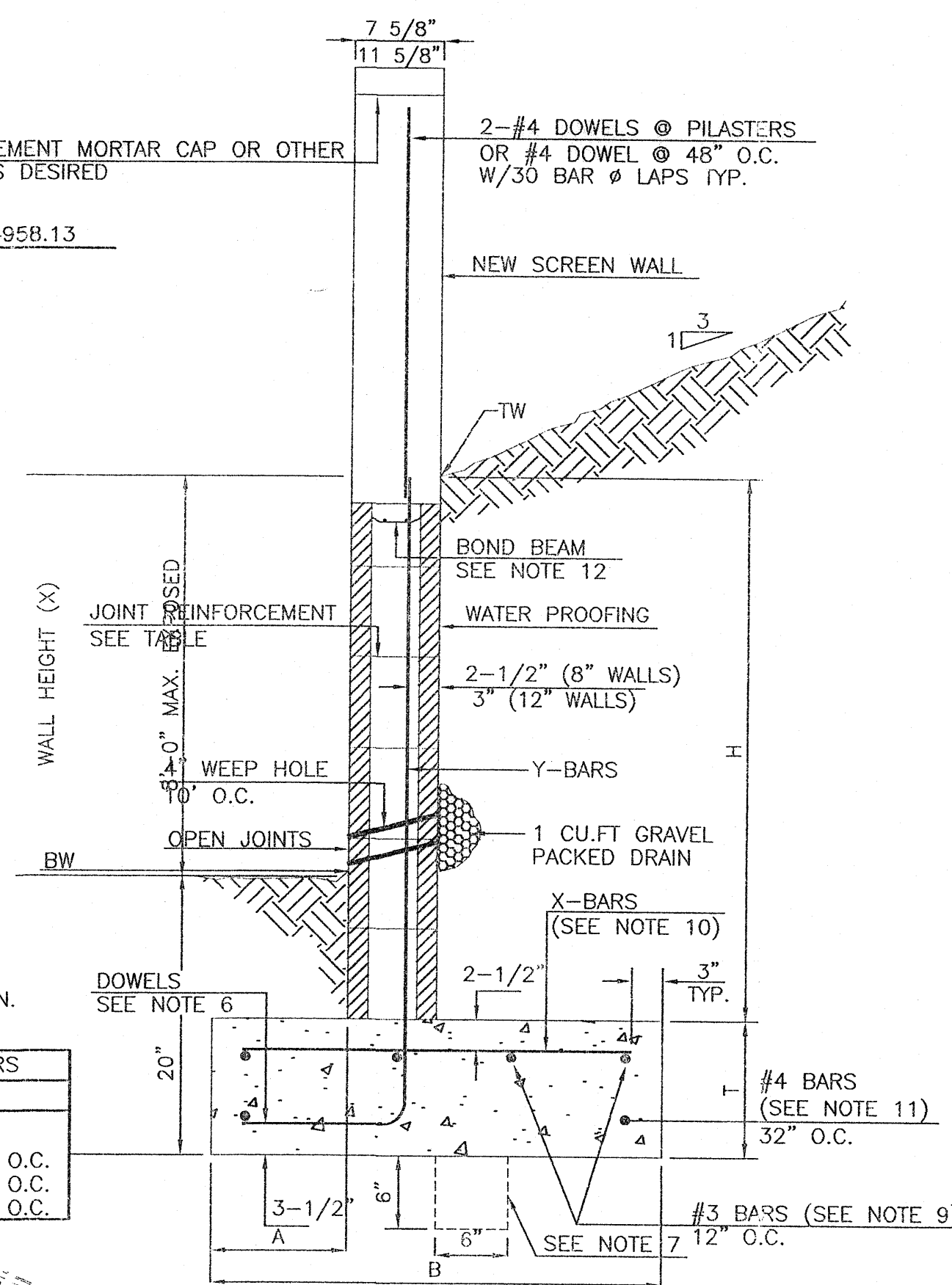
SECTION B-B

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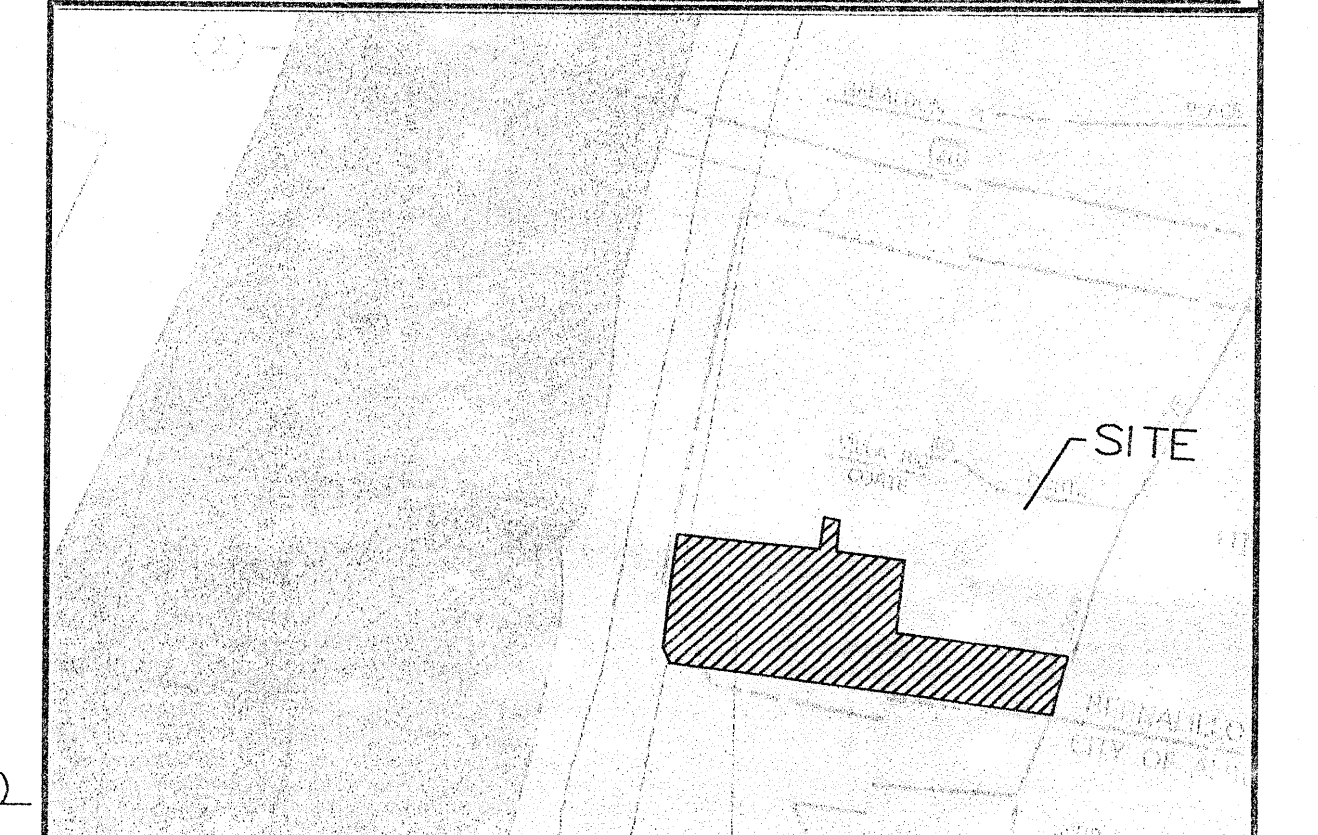
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VICINITY MAP



FIRM MAP: 35001C0327 D/35001C0331 D

LEGAL DESCRIPTION:

LOTS 334B2A, 334B2B & 334B1; MRCD MAP#35

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- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
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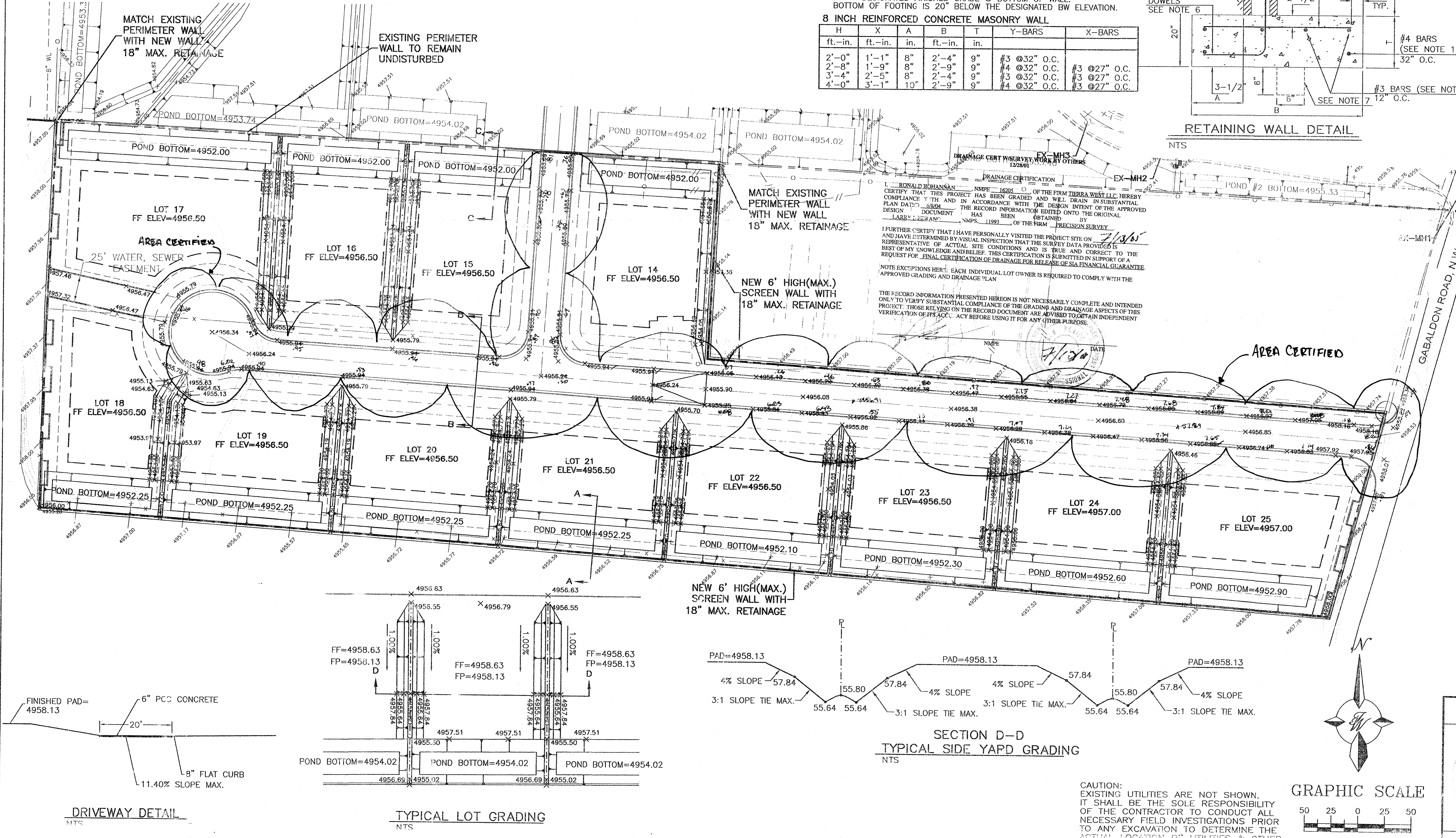
ROUGH GRADING APPROVAL

ENGINEER'S SEAL

RIVERVIEW ACRES
SUBDIVISION - PHASE 2
GRADING AND
DRAINAGE PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 852-7100

RECEIVED
JUL 15 2005
DRAWN BY MP
DATE 4-26-2004
2304GRE-030204X.DWG
SHEET #
3 OF 9



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