

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Interim Director



*Mayor Timothy M. Keller*

January 13, 2022

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: Lot 4 Riverview Acres  
3401 Calle Facio NW  
Grading and Drainage Plan  
Engineers Stamp Date 12/14/2020 (H12D003B)  
Pad Certification Date 4/1/2021  
CO Certification Dated: 1/10/2022**

PO Box 1293

Mr. Soule

Albuquerque

Based on the Certification received on 1/12/2022, the site is acceptable for release of Certificate of Occupancy by Hydrology.

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

RR/RB  
C: File H12D003B



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 3401 CALLE FACIO NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 4 RIVERVIEW ACRES  
**City Address:** 3401 CALLE FACIO NW

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**  
☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

\_\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

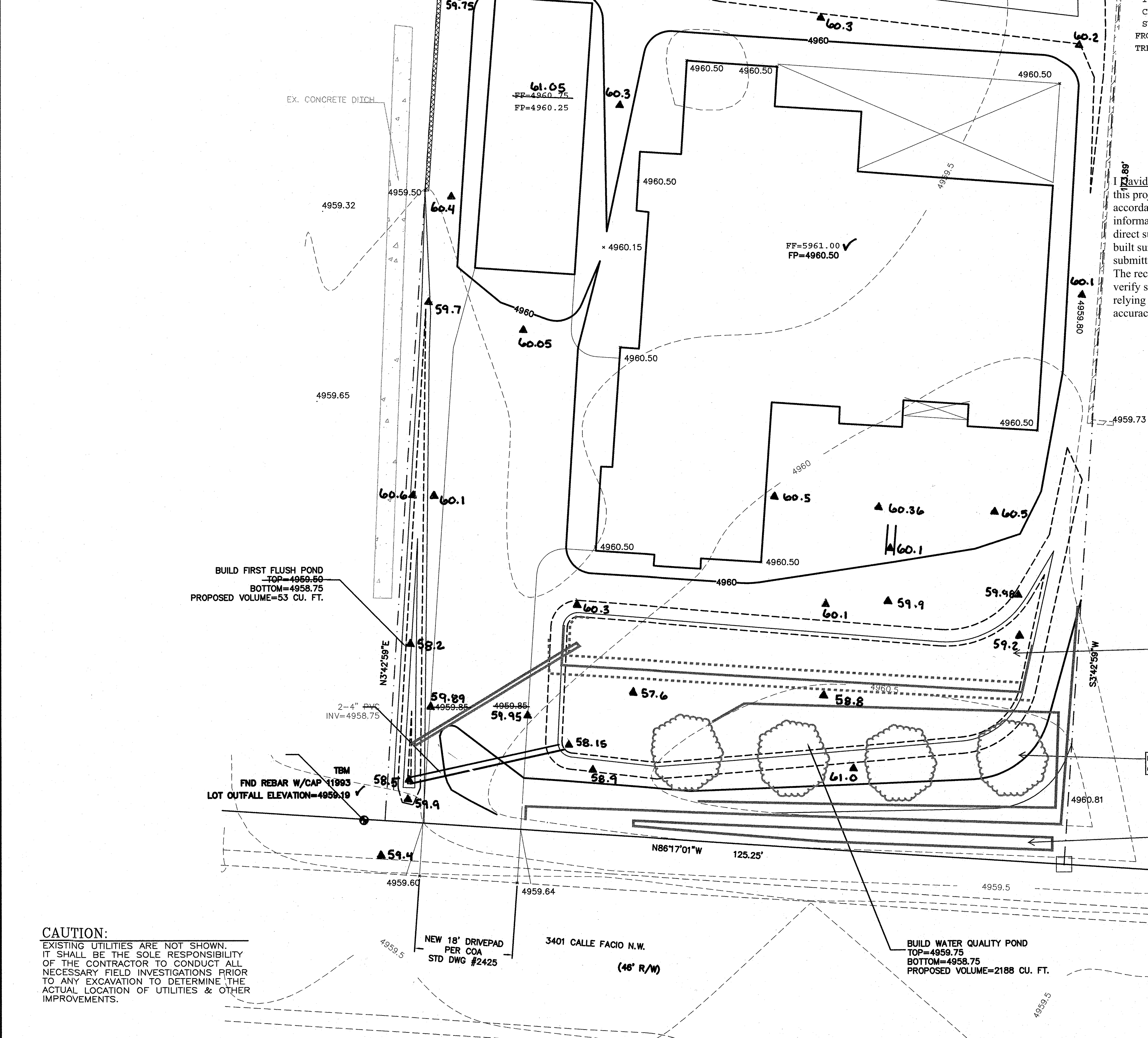
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method										
Basin	Area	Area	Treatment A	Treatment B	Treatment C	Treatment D	Weighted E	Volume	Flow	Volume
(sq)	(acres)	(sq)	% (acres)	% (acres)	% (acres)	% (acres)	(ac-ft)	(cu-ft)	(cfs)	(cu-ft)
ADJ ROAD	3177.00	0.073	0%	0%	0.004	10%	0.007	1.954	0.012	0.32
PROPOSED	22105.00	0.507	0%	0%	0.112	38%	0.183	40%	0.203	1.449
Equations:										
Weighted E = Ea*As + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)										
Volume = Weighted E * Total Area										
Flow = Qa * As + Qb * Ab + Qc * Ac + Qd * Ad										
Where for 100-year, 6-hour storm (zone 2)										
Qa= 1.58 Eb= 0.53 Qb= 2.28 Ec= 1.13 Ed= 2.12										
Developed Conditions										
TOTAL VOLUME										
STREET DISCHARGE 607.34										
PROPOSED DISCHARGE 2963.91										
REQUIRED STORMWATER STORAGE 3571										
PROVIDED STORMWATER STORAGE 4590										

This site is an lot in an existing subdivision. Per the drainage report H122003, each lot will retain its flow including the 1/2 roadway section in front of each lot. The site will retain the 100-year 24-hour volume. The finished floor is more than 1' higher than roadway centerline and the perimeter walls maintain the flow onsite. The lot will overflow the historic outfall to the west in the event of storm greater than The surrounding are flat, the only offsite flows are the roadway which are allowed to enter the site



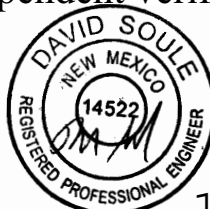
## EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 12/14/20. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE AS-BUILT SURVEY WAS PROVIDED BY THOMAS PATRICK NMPS 12651. THE CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



I, David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 12/14/20. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



1/10/22

Asbuilt	
Lot 4	
Riverview Acres	
DATE	1/3/2022
CREW	JAK
DRAFTING	DKS
GPS	BABY 120921
JN	N942-04
Asbuilt Legend	
OG.1 ▲ SPOT ELEVATION	

## LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- POOL DECK TRENCH DRAIN
- EXISTING CURB AND GUTTER
- PROPOSED CMU RETAINING WALL-DESIGN BY OTHERS

ENGINEER'S SEAL	3401 CALLE FACIO	DRAWN BY WCVJ
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 11-16-20
12/14/20	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0999	2102098-LAYOUT-11-16-20
DAVID SOULE P.E. #14522		SHEET # JOB # 2102098