

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

January 13, 2022

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Lot 4 Riverview Acres
3401 Calle Facio NW
Grading and Drainage Plan
Engineers Stamp Date 12/14/2020 (H12D003B)
Pad Certification Date 4/1/2021
CO Certification Dated: 1/10/2022**

PO Box 1293

Mr. Soule

Albuquerque

Based on the Certification received on 1/12/2022, the site is acceptable for release of Certificate of Occupancy by Hydrology.

NM 87103

Sincerely,

www.cabq.gov

A handwritten signature in purple ink that reads "Renée C. Brissette".

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

RR/RB
C: File H12D003B



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 3401 CALLE FACIO NW **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 4 RIVERVIEW ACRES
City Address: 3401 CALLE FACIO NW

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ___ PLAT RESIDENCE ___ DRB SITE ___ ADMIN SITE

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
___ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

___ BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG. PERMIT APPROVAL
___ FINAL PLAT APPROVAL

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
___ PAD CERTIFICATION
___ CONCEPTUAL G & D PLAN
___ GRADING PLAN
___ DRAINAGE REPORT
___ DRAINAGE MASTER PLAN
___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
___ ELEVATION CERTIFICATE
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ TRAFFIC IMPACT STUDY (TIS)
___ STREET LIGHT LAYOUT
___ OTHER (SPECIFY) _____
___ PRE-DESIGN MEETING?

___ SIA/ RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO-19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING/ PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR
___ FLOODPLAIN DEVELOPMENT PERMIT
___ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes ___ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Basin	Area (sq ft)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (inch)	Volume (cu ft)	Flow (cfs)	Volume (cu ft)		
ADJ ROAD	3177.00	0.073	0%	0%	0.004	10%	0.007	85%	1.954	0.012	0.32	0.014
PROPOSED	22105.00	0.507	0%	0%	0.112	38%	0.183	40%	0.203	1.449	0.091	0.088

Equation: $Weighted\ E = E^*A^a + E^b*Ab + E^c*Ac + E^d*Ad / (Total\ Area)$

Volume = Weighted E * Total Area

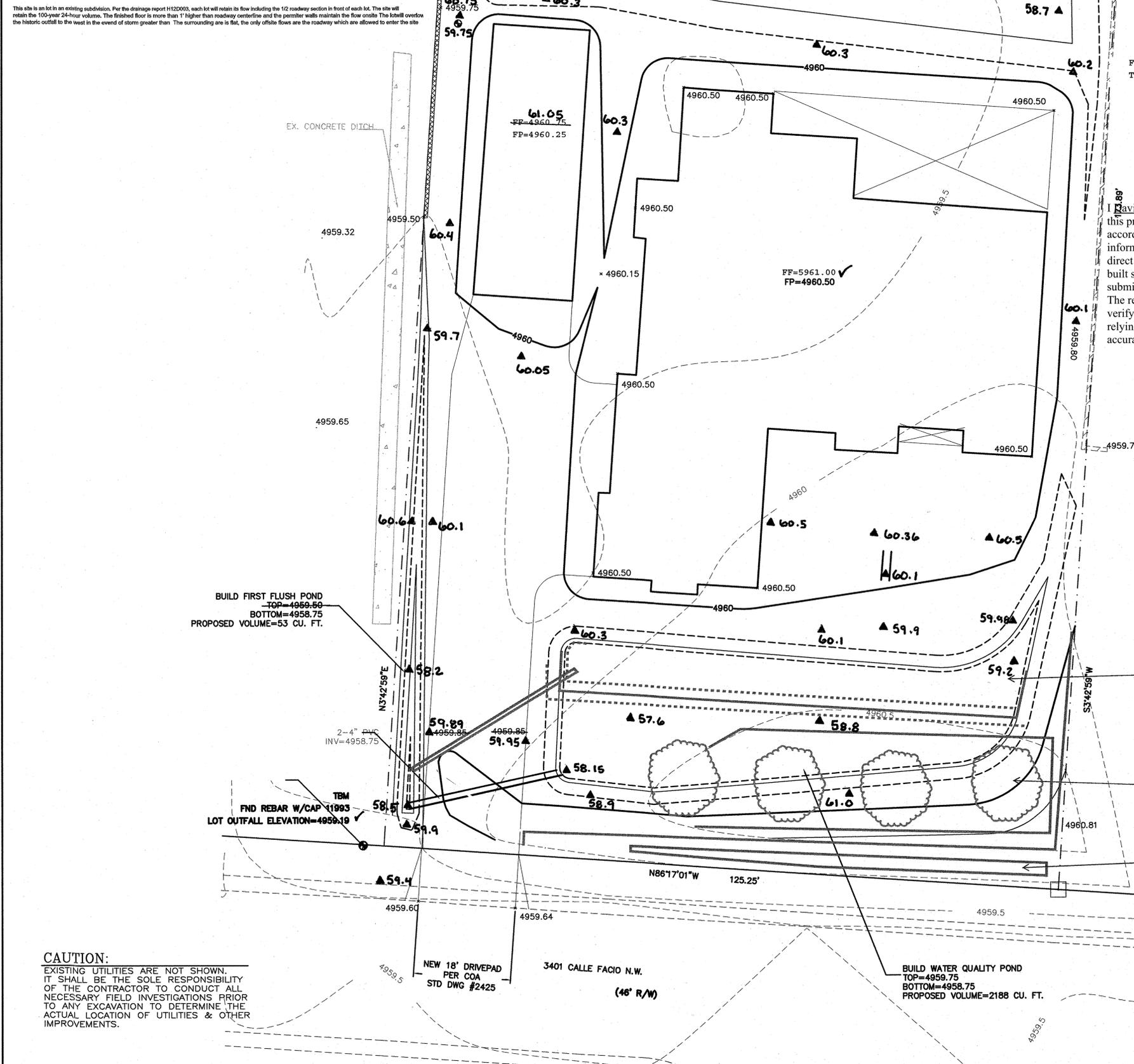
Flow = $Q^a * A^a + Q^b * Ab + Q^c * Ac + Q^d * Ad$

Where for 100-year, 6-hour storm (zone 2):
 $Q^a = 1.58$
 $E^a = 0.53$
 $E^b = 0.78$
 $E^c = 1.13$
 $E^d = 2.12$

Developed Conditions TOTAL VOLUME

STREET DISCHARGE	607.34
PROPOSED DISCHARGE	2963.91
REQUIRED STORMWATER STORAGE	3571
PROVIDED STORMWATER STORAGE	4990

This site is an lot in an existing subdivision. Per the drainage report H122003, each lot will retain its flow including the 1/2 roadway section in front of each lot. The site will retain the 100-year 24-hour volume. The finished floor is more than 1' higher than roadway centerline and the perimeter walls maintain the flow onsite. The lot will overflow the historic outfall to the west in the event of storm greater than. The surrounding area is flat, the only off-site flows are the roadway which are allowed to enter the site.



- ### EROSION CONTROL NOTES:
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 12/14/20. FRONT YARD PONDING WAS REVISED TO MAINTAIN EXISTING MATURE COTTONWOOD TREES. NEIGHBORHOOD ASSOCIATION IS STATING THEY CAN NOT BE REMOVED



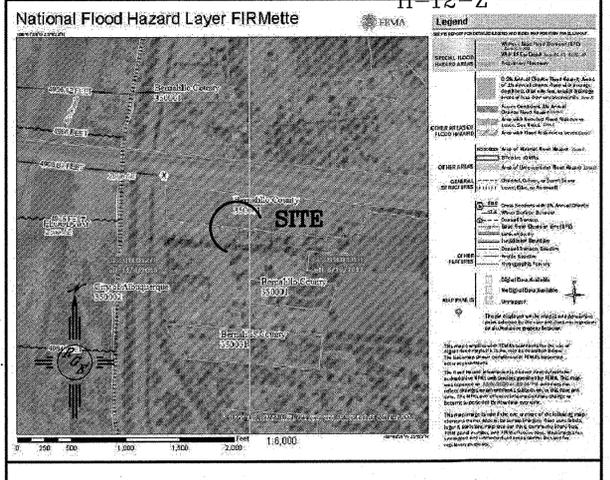
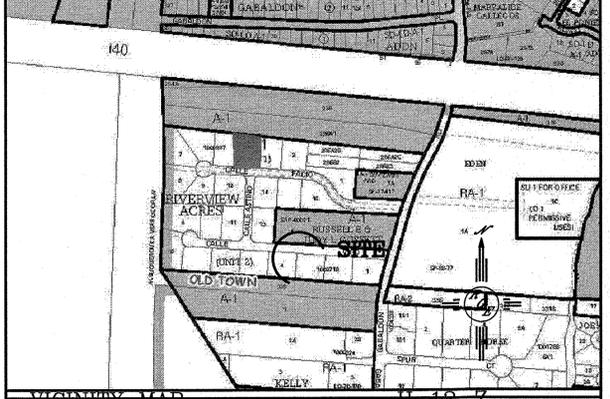
4/1/21
 I, David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 12/14/20. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



Asbuilt Lot 4 Riverview Acres

DATE	1/3/2022
CREW	JAK
DRAFTING	DKS
GPS	BABY 120921
JN	N942-04

Asbuilt Legend
 DG.1 ▲ SPOT ELEVATION



FIRM MAP:

LEGAL DESCRIPTION:
 LOT 4, RIVERVIEW ACRES

- NOTES:**
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 - ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

---XXX---	EXISTING CONTOUR
- - - - -	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
-----	PROPOSED INDEX CONTOUR
-----	SLOPE TIE
▲	EXISTING SPOT ELEVATION
▲	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED 4" PVC SD
-----	POOL DECK TRENCH DRAIN
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU RETAINING WALL--DESIGN BY OTHERS

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	3401 CALLE FACIO	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 11-16-20
		2102098-LAYOUT-11-16-20
12/14/20	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0999	SHEET #
DAVID SOULE P.E. #14522		JOB # 2102098