CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

February 8, 2021

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 15 Block 9 Unit 22 SAD 228**
3300 Calle Facio NW
Volcano Cliffs Subdivision
Grading and Drainage Plan
Engineers Stamp Date 1/28/2021 (H12D003C)

Dear Mr. Soule,

Based upon the information provided in your submittal received 1/29/2020, this plan is approved for Grading Permit.

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed the grading and drainage plan will change and will need to be resubmitted.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist is required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Weighted E Method

													100-Year, 6-hr.			100 yr 24-HOUR
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
ADJ ROAD	4120.00	0.095	0%	0	5%	0.005	15%	0.014	80%	0.076	1.905	0.015	0.41	0.018
PROPOSED	27665.00	0.635	0%	0	36%	0.229	40%	0.254	24%	0.152	1.242	0.066	2.04	0.071

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

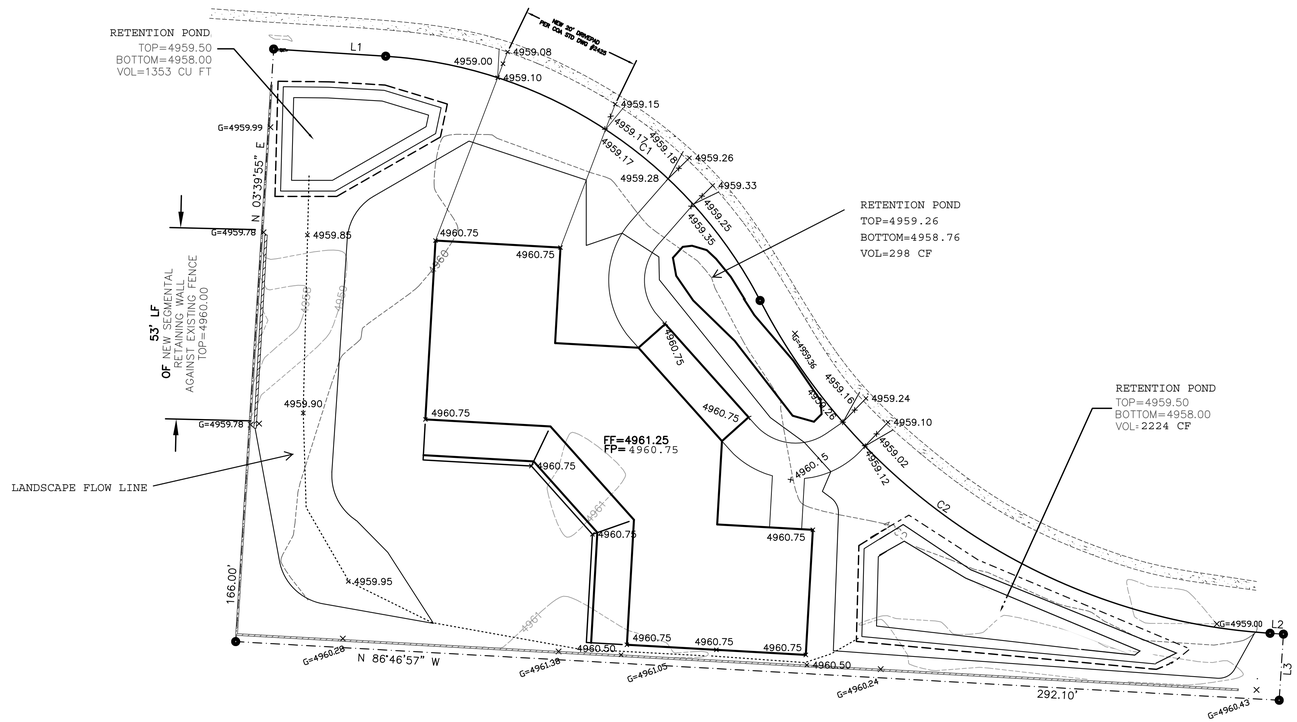
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.53 Qa= 1.56
Eb= 0.78 Qb= 2.28
Ec= 1.13 Qc= 3.14
Ed= 2.12 Qd= 4.7

Developed Conditons	TOTAL VOLUME
STREET DISCHARGE	763.75
PROPOSED DISCHARGE	3083.73
REQUIRED STORMWATER STORAGE	3847
PROVIDED STORMWATER STORAGE	3875

This site is an lot in an existing subdivision. Per the drainage report H12D003, each lot will retain its flow including the 1/2 roadway section in front of each lot. The site will retain the 100-year 24-hour volume. The finished floor is more than 1' higher than roadway centerline and the permiter walls maintain the flow onsite The lotwill overlow the historic outfall to the west in the evend of storm greater than The surrounding are is flat, the only offsite flows are the roadway which are allowed to enter the site



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

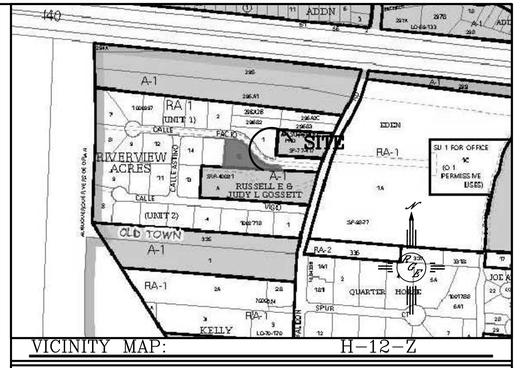
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

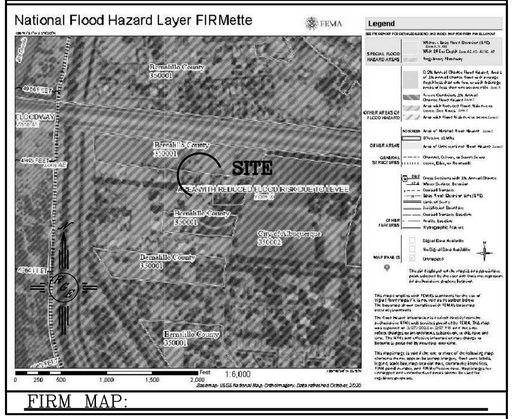
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: H-12-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 16, RIVERVIEW ACRES UNIT 2

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

- XXXX — EXISTING CONTOUR
- XXXX — EXISTING INDEX CONTOUR
- XXXX — PROPOSED CONTOUR
- XXXX — PROPOSED INDEX CONTOUR
- SLOPE TIE
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWAEL
- EXISTING CURB AND GUTTER
- PROPOSED SEGEMENTAL RETAINING WALL-DESIGN BY OTHERS

SCALE: 1"=20'

ENGINEER'S SEAL

DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER

1/28/21

DAVID SOULE
P.E. #14522

3300 CALLE FACIO

LOT 16 RIVERVEIW ACRES UNIT 2

GRADING AND DRAINAGE PLAN

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

DRAWN BY WCWJ

DATE 1-28-21

210210010-LAYOUT-1-28-21

SHEET # —

JOB # 210210010