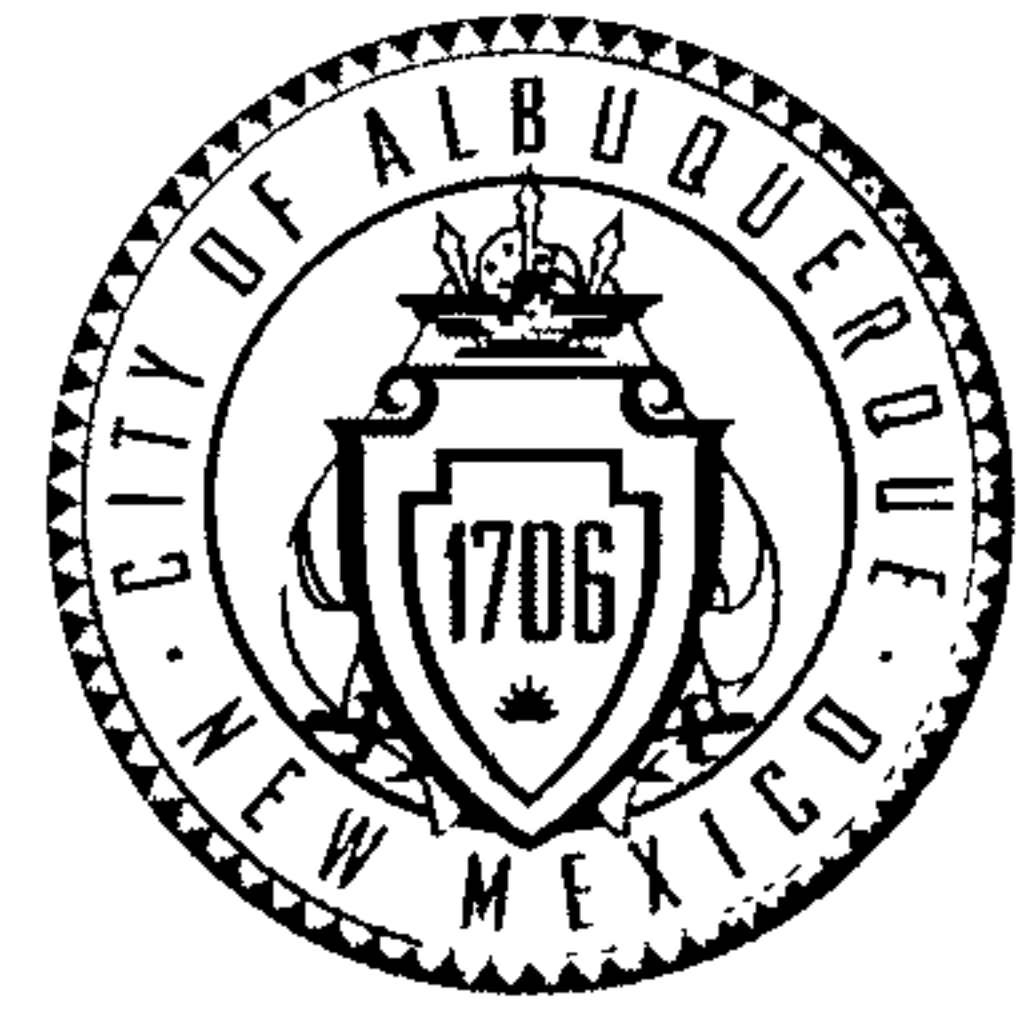


CITY OF ALBUQUERQUE



August 8, 2013

Scott McGee, P.E.
SMM PE, LLC
9700 Tanoan Dr NE
Albuquerque, NM 87111

scottmmcgee@gmail.com

**Re: Montessori on the Rio Grande Charter School, 1650 Gabaldon Dr NW,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 2-27-12, (H12/D008A)
Certification dated: 8-8-13**

Dear Mr. McGee,

Based upon the information provided in the Certification received 8-8-13, the above referenced Certification is acceptable for a release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File



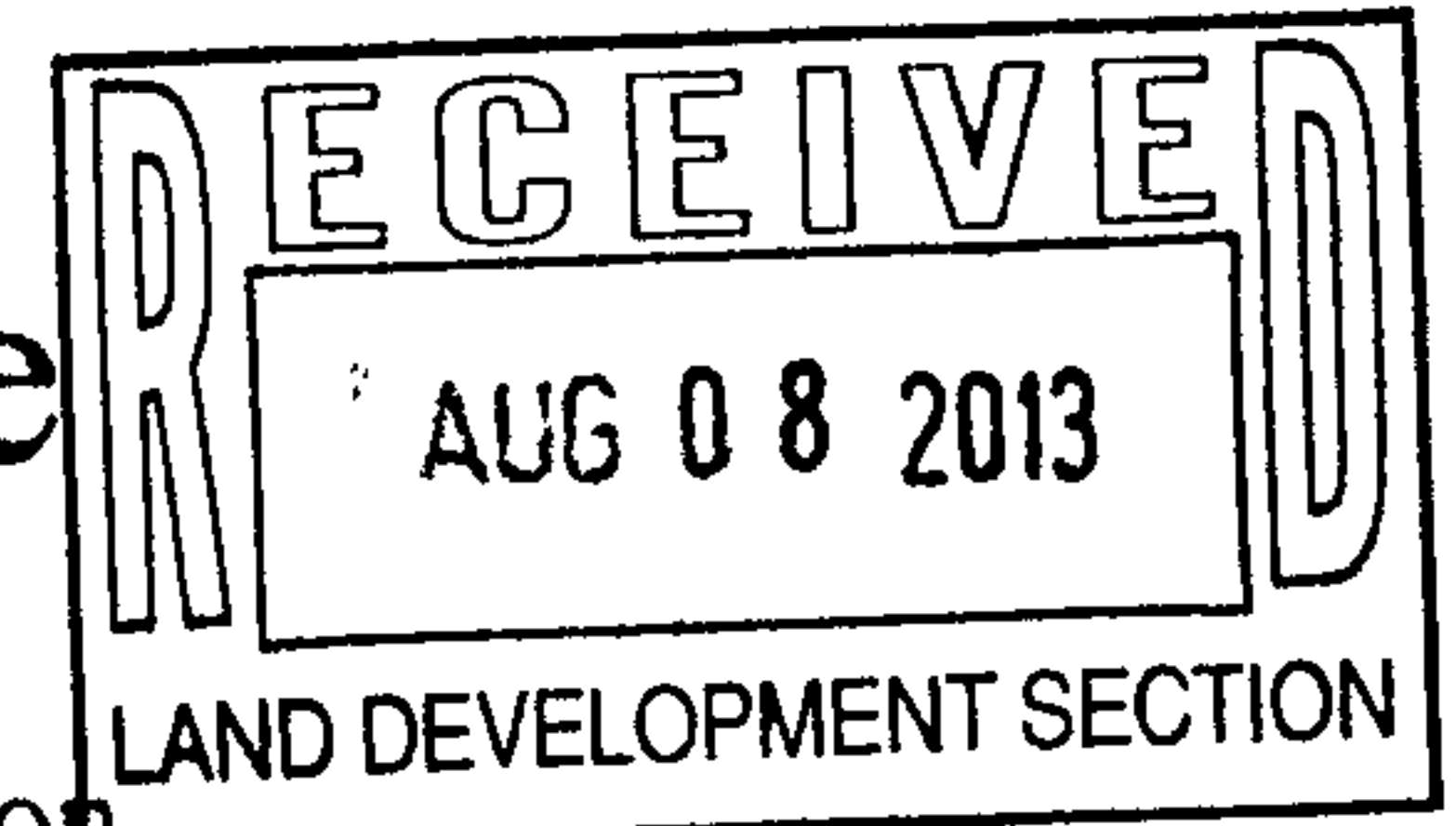
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Project Title: MONTESORRI ON THE RIO GRANDE CHARTER SCHOOL City Drainage #: H-12/D08A
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT A LANDS OF AMRISTAR ACADEMY & TRACTS B & C, LANDS OF
City Address: 1650 GABALDON DR NW CINDY CHAVEZ
Engineering Firm: SMM PE, LLC Contact: SCOTT MCGEE
Address: 9700 TANDAN DR NE ABQ, NM 87111
Phone#: 263-2905 Fax#: _____ E-mail: scottm.mcgee@gmail.com
Owner: APS Contact: DAVID RITCHIE
Address: 915 LOCUST SE
Phone#: 848-8817 Fax#: _____ E-mail: _____
Architect: DON DUDLEY ARCHITECT Contact: DON DUDLEY
Address: 400 GOLD AVE SW, STE. 850
Phone#: 243-8106 Fax#: _____ E-mail: _____
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT-APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 8/08/13

By: SCOTT MCGEE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Montessori of the Rio Grande Charter School ZONE MAP: H-12/D008A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A Lands of Amristar Academy and Tracts B & C, Lands of Cindy Chavez
CITY ADDRESS: 1650 Gabaldon Drive NW, ABQ, NM

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: A P S CONTACT: David Ritchie
ADDRESS: 1650 Gabaldon Drive NW PHONE: 243-1559
CITY, STATE: ABQ, NM ZIP CODE: 87104

ARCHITECT: Donald Dudley Architect CONTACT: Don Dudley
ADDRESS: 400 Gold Avenue SW, Studio 850 PHONE: 243-8100
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Wilson & Co. CONTACT: _____
ADDRESS: 4900 Lang Ave NE PHONE: 348-4000
CITY, STATE: ABQ, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
XX ____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
XX ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

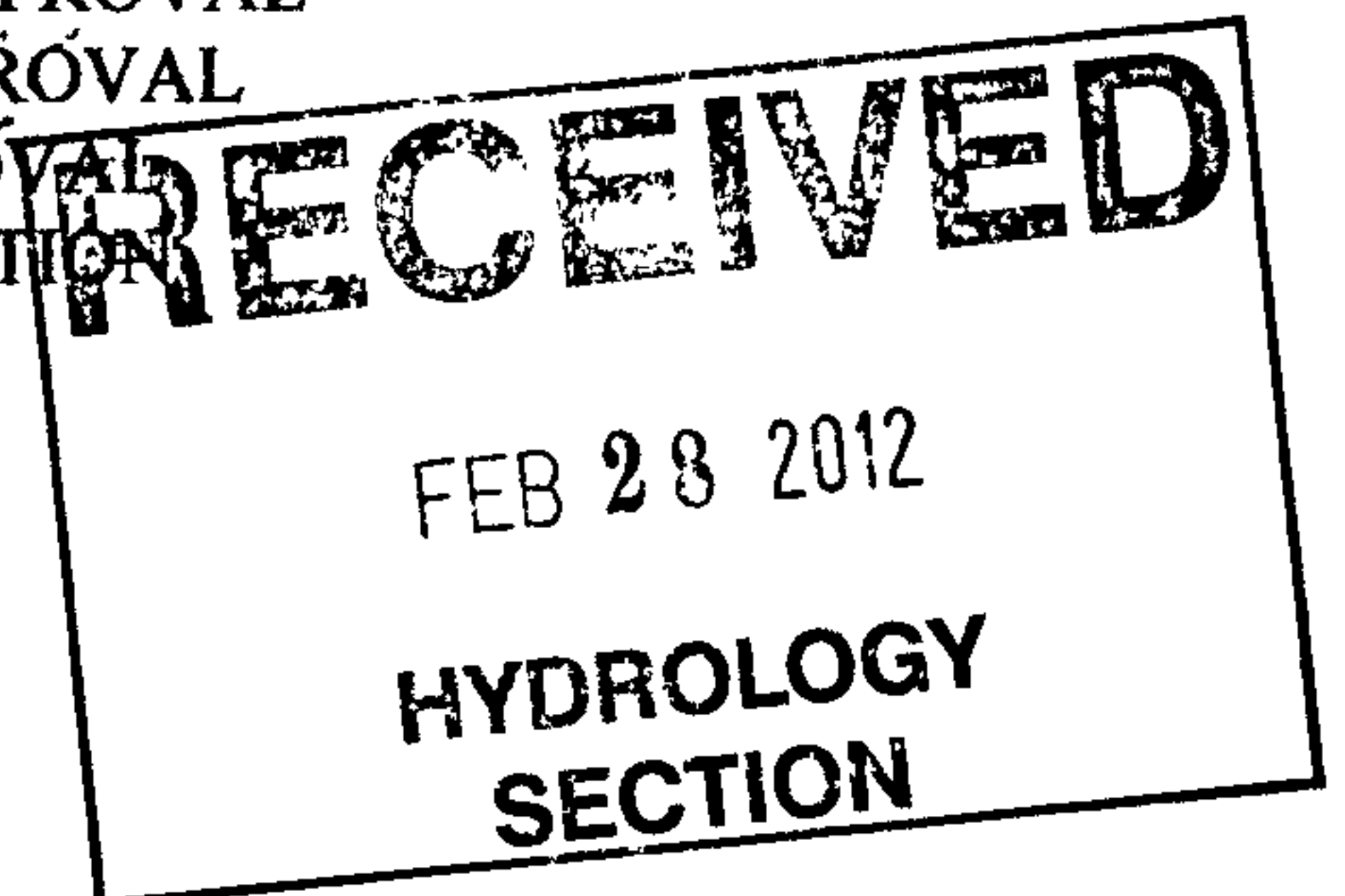
____ YES
____ NO
____ COPY PROVIDED

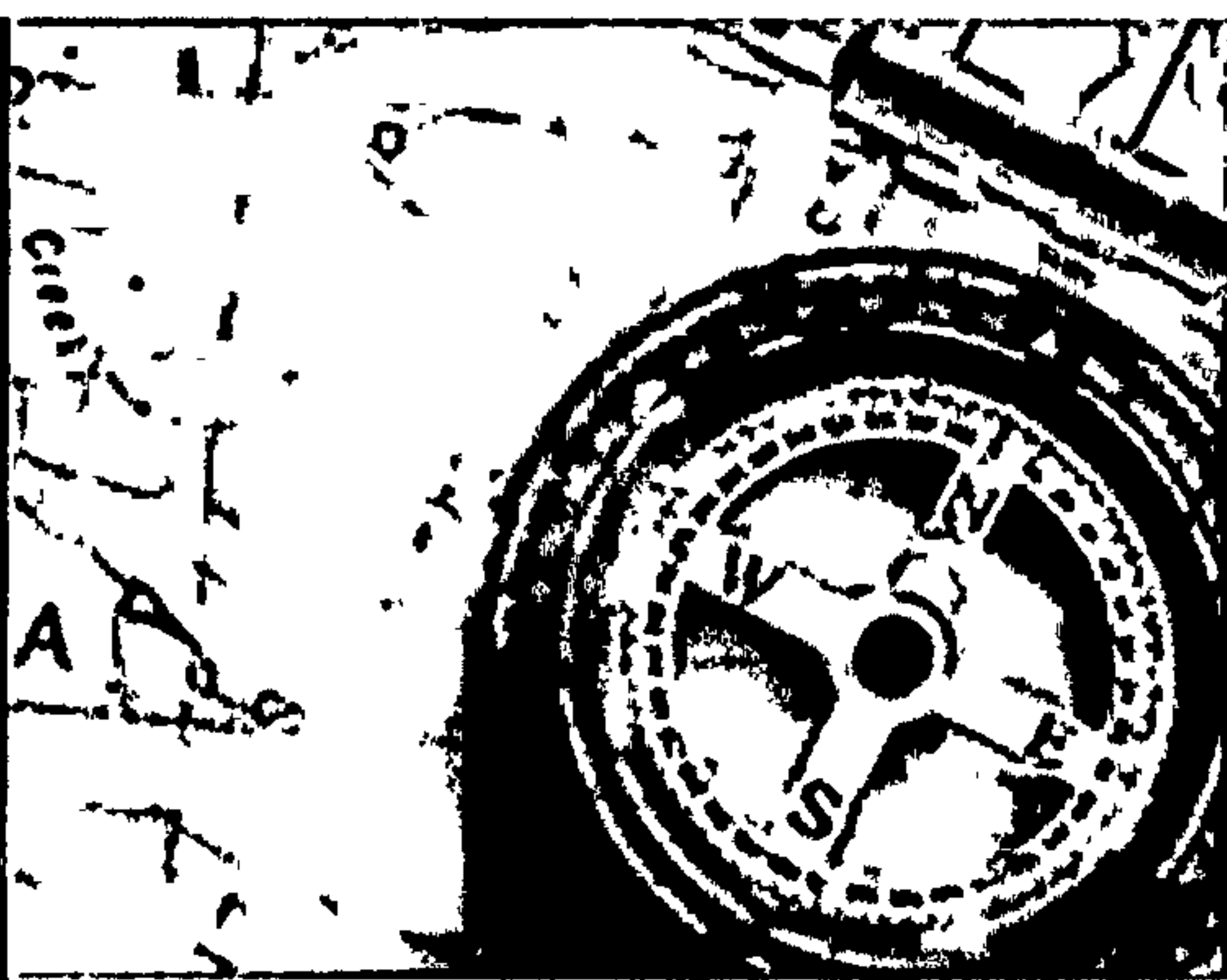
RESUBMITTAL ←

DATE SUBMITTED: 2/28/2012 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





SCOTT M MCGEE PE, LLC

CIVIL ENGINEER

FROM PROJECT INCEPTION TO
CONSTRUCTION COMPLETION

February 28, 2012

Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
Albuquerque, NM 87103

RE: Montessori of the Rio Grande Charter School (H12/ D008A)

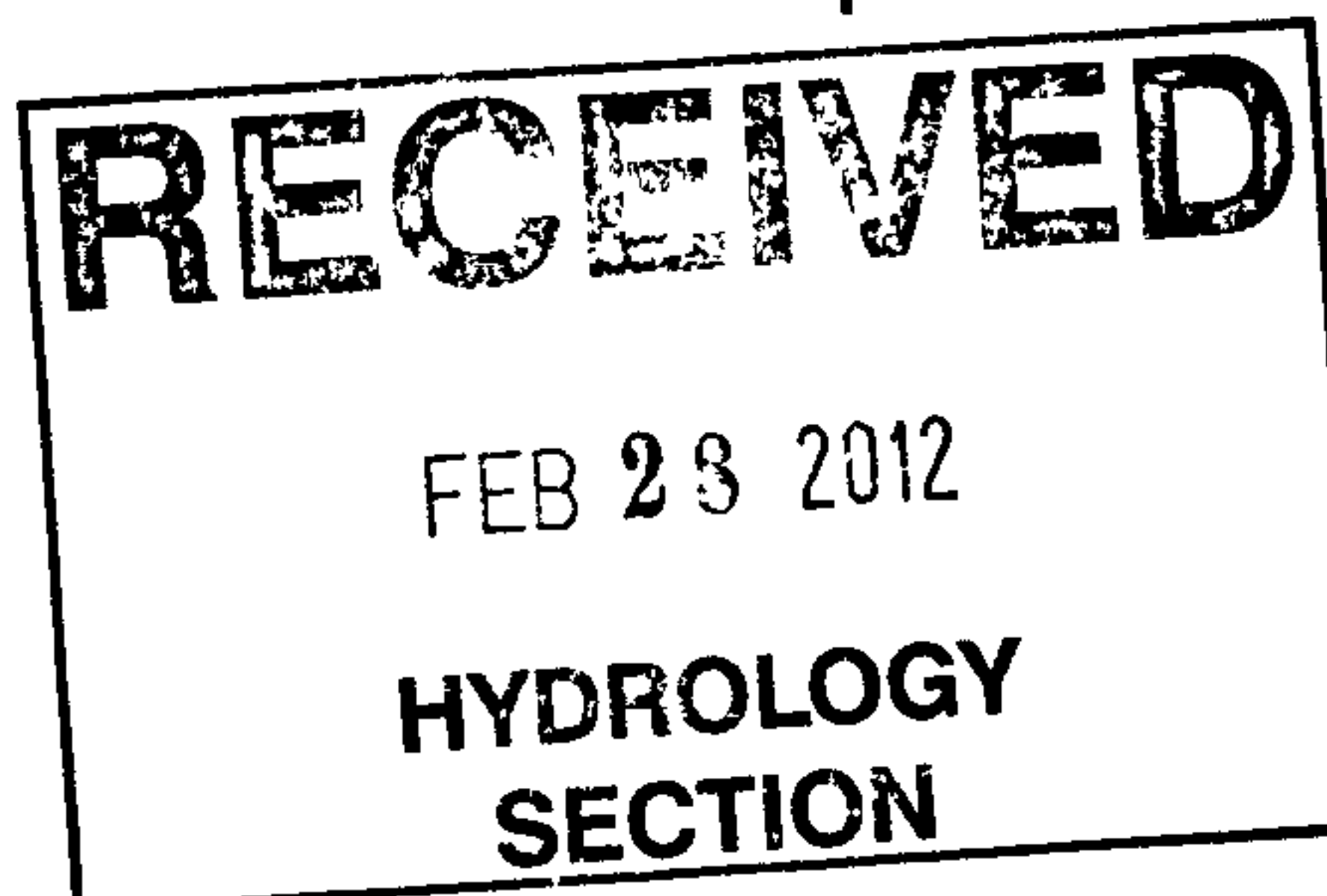
Dear Mr. Biazar,

I am submitting the revised Grading plan for the school addition project. Your review comments of February 2 have been addressed as follows:

- < The Vicinity Map has been revised.
- < The site is not being replatted or rezoned. The State Board of Education owns the land and is not subject to City zoning requirements.
- < Additional spot elevations have been added.
- < The emergency access road has proposed spot elevations.
- < There isn't an irrigation ditch on the property—MRGCD approval isn't required.
- < Offsite flow enters the property from Leonora and flows along the east side of the site where it exits to Leopoldo Road. The drainage text now addresses this.
- < With respect to impervious area—the change to the west parking is minor.
- < Landscaped areas are existing in the west basin area which limits regrading.
- < The sidewalk south of the parking entry drains west. The landscaping in this area is existing.
- < The spot elevation has been revised.
- < A basin boundary line has been added to the plan.
- < Pond volumes have been calculated and are shown in brackets in the plan text.

I can be reached either by phone or e-mail if needed to answer questions. Thank you.

Scott M McGee PE



CITY OF ALBUQUERQUE



March 9, 2012

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

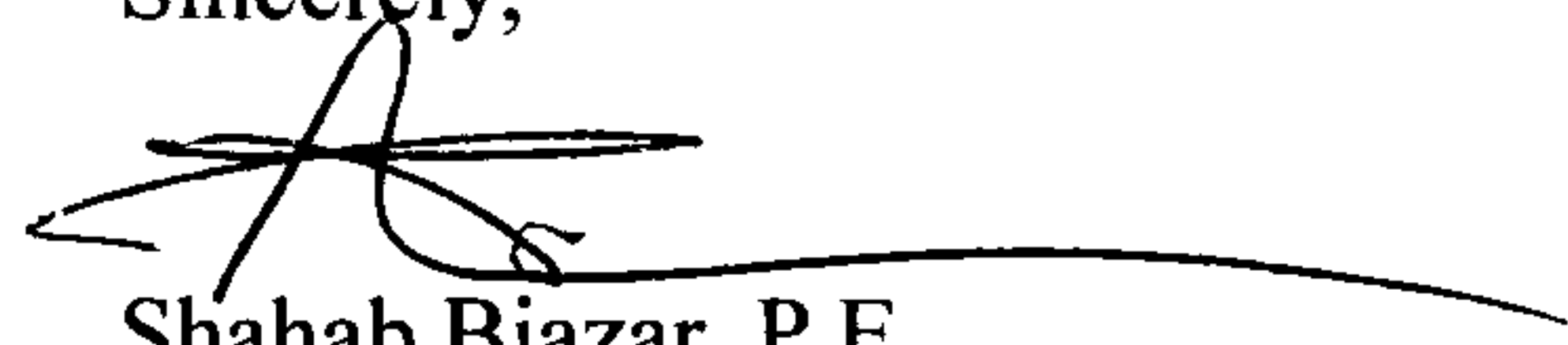
**Re: Montessori Of The Rio Grande Charter School
Grading and Drainage Plan
Engineer's Stamp Date 2/27/2012 (H12/D008A)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 2-28-2012, the Grading and Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM will be required

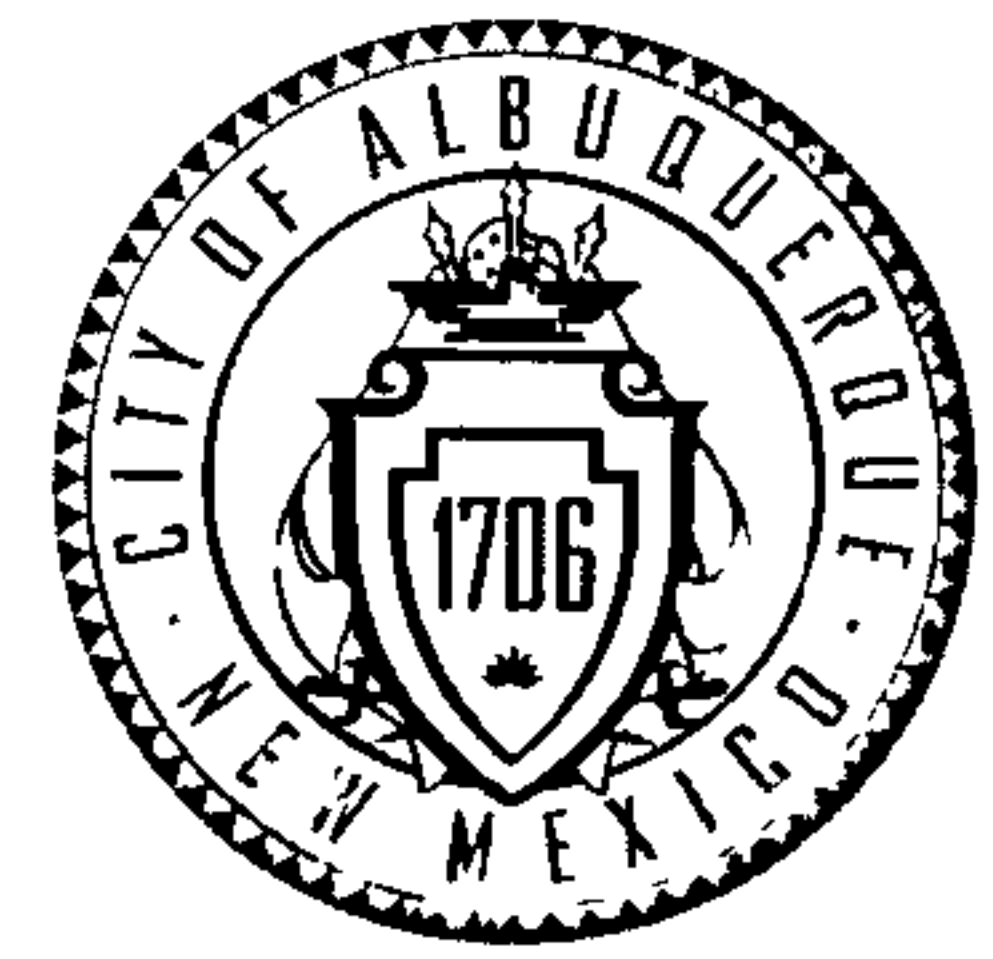
If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

CITY OF ALBUQUERQUE



February 02, 2012

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Montessori Of The Rio Grande Charter School
Grading and Drainage Plan
Engineer's Stamp Date 1/09/2012 (H12/D008A)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 1-19-2012, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

- Limits of the project are not fully reflected on the Vicinity Map.
- Lots B and C are zoned RA-1 and Lot A is zoned SU-1. Is the site being re-platted and rezoned? If so, please provide a copy of the preliminary plat.
- Provide more spot elevations along the boundary of Lots B and C. Increase the text size.
- How is the emergency access road being graded? Will it be super elevated? Provide spot elevations for this road.
- Clearly show the limits of the irrigation ditch on the plans. MRGCD approval will be required for any changes to the existing irrigation ditch.
- Are there any offsite runoff entering this site?
- It is mentioned on the plan that the changes to the parking lot are minor. Losing +/- 18 parking spaces does not appear to be minor changes.
- West basin runoff was increased slightly. Please depress the landscaping areas to retain portion of the runoff to match the exiting runoff.
- The area just south of the entrance appears to drain over the sidewalk. Please depress the landscaping to retain portion of the runoff. Please make sure that runoff does not drain to the property located south of the driveway.
- There are two spot elevations that are at 65.00 on the south side of the driveway. Please correct the elevations.
- Show the basin layout on the plan.
- Provide pond calculations for the existing pond and proposed ponds.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

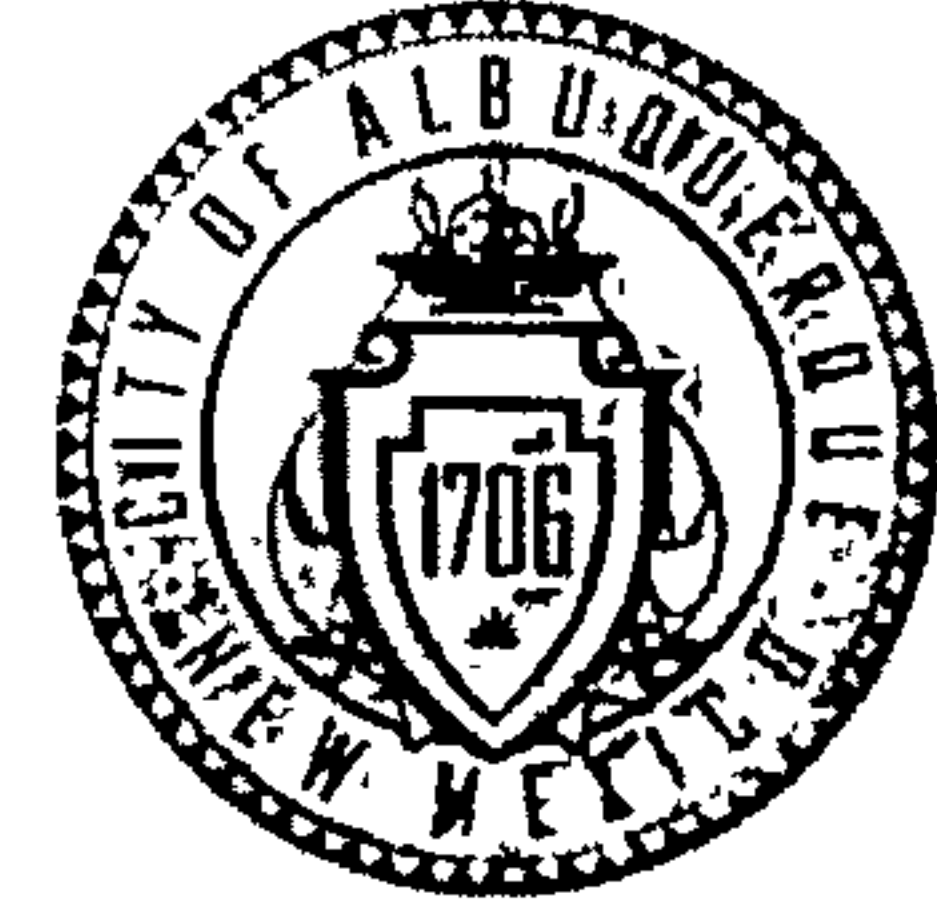
If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



February 02, 2012

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Montessori Of The Rio Grande Charter School
Grading and Drainage Plan
Engineer's Stamp Date 1/09/2012 (H12/D008A)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 1-19-2012, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

- 1 • Limits of the project are not fully reflected on the Vicinity Map.
- 2 • Lots B and C are zoned RA-1 and Lot A is zoned SU-1. Is the site being re-plated and rezoned? If so, please provide a copy of the preliminary plat.
- 3 • Provide more spot elevations along the boundary of Lots B and C. Increase the text size.
- 4 • How is the emergency access road being graded? Will it be super elevated? Provide spot elevations for this road.
- 5 • Clearly show the limits of the irrigation ditch on the plans. MRGCD approval will be required for any changes to the existing irrigation ditch.
- 6 • Are there any offsite runoff entering this site?
- 7 • It is mentioned on the plan that the changes to the parking lot are minor. Losing +/- 18 parking spaces does not appear to be minor changes.
- 8 • West basin runoff was increased slightly. Please depress the landscaping areas to retain portion of the runoff to match the exiting runoff.
- 9 • The area just south of the entrance appears to drain over the sidewalk. Please depress the landscaping to retain portion of the runoff. Please make sure that runoff does not drain to the property located south of the driveway.
- 10 • There are two spot elevations that are at 65.00 on the south side of the driveway. Please correct the elevations.
 - Show the basin layout on the plan.
 - Provide pond calculations for the existing pond and proposed ponds.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

Biazar, Shahab

From: scott mcgee [scottmmcgee@gmail.com]
Sent: Thursday, February 23, 2012 9:47 AM
To: Biazar, Shahab
Subject: Fwd: Emailing: H12D008A HYD LTR 2_02_2012
Attachments: H12D008A HYD LTR 2_02_2012.pdf

Shahab,

I received the attached review comment letter a week and a half after it was written? Did it get e-mailed to a different address?

I did want to ask if you could clarify the 9th and 10th comments regarding the area to the south of the driveway. The sidewalk along the south side of the entry drains to the west. The landscaped area south of the sidewalk is existing and regrading could only be minimal to not interfere with existing tree roots.

With regard to your last comment, I can't provide volume calcs for the existing wetland as I don't know the topography of the pond bottom? The cistern addresses the LEED stormwater detention requirement and any overflow is directed away from the building to the wetand area.

Scott McGee PE
263-2905

----- Forwarded message -----

From: Sims, Timothy E. <tsims@cabq.gov>
Date: Mon, Feb 13, 2012 at 11:11 AM
Subject: Emailing: H12D008A HYD LTR 2_02_2012
To: scott mcgee <scottmmcgee@gmail.com>

<<H12D008A HYD LTR 2_02_2012.pdf>>

↓
Water Elev.

Non-Swiffed
To Top.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Montessori of the Rio Grande Charter School _____ ZONE MAP: H-12/D 008A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A Lands of Amristar Academy and Tracts B & C, Lands of Cindy Chavez
CITY ADDRESS: 1650 Gabaldon Drive NW, ABQ, NM

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: A P S CONTACT: David Ritchie
ADDRESS: 1650 Gabaldon Drive NW PHONE: 243-1559
CITY, STATE: ABQ, NM ZIP CODE: 87104

ARCHITECT: Donald Dudley Architect CONTACT: Don Dudley
ADDRESS: 400 Gold Avenue SW, Studio 850 PHONE: 243-8100
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Wilson & Co. CONTACT: _____
ADDRESS: 4900 Lang Ave NE PHONE: 348-4000
CITY, STATE: ABQ, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
XX ____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

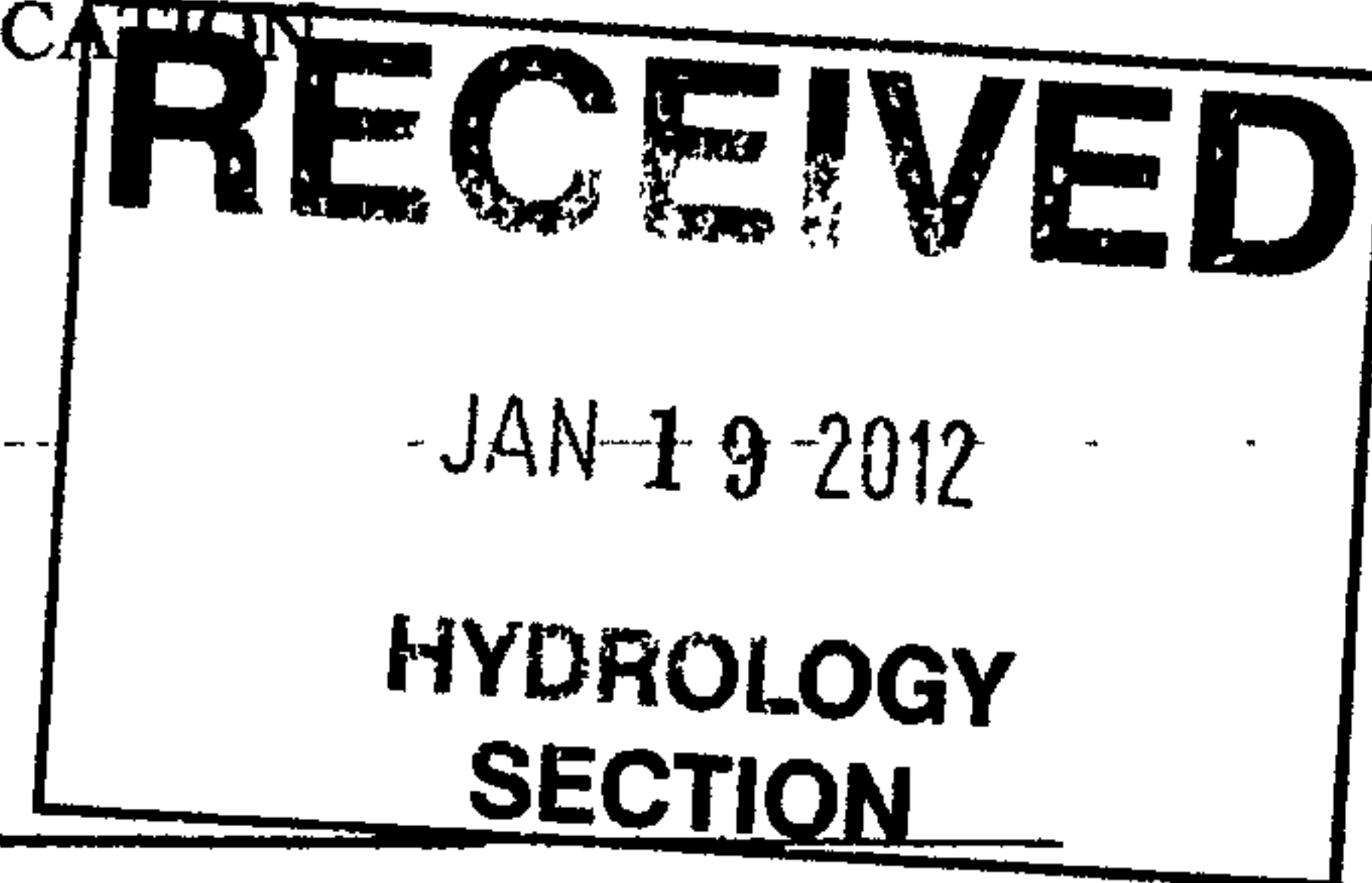
CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
XX ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

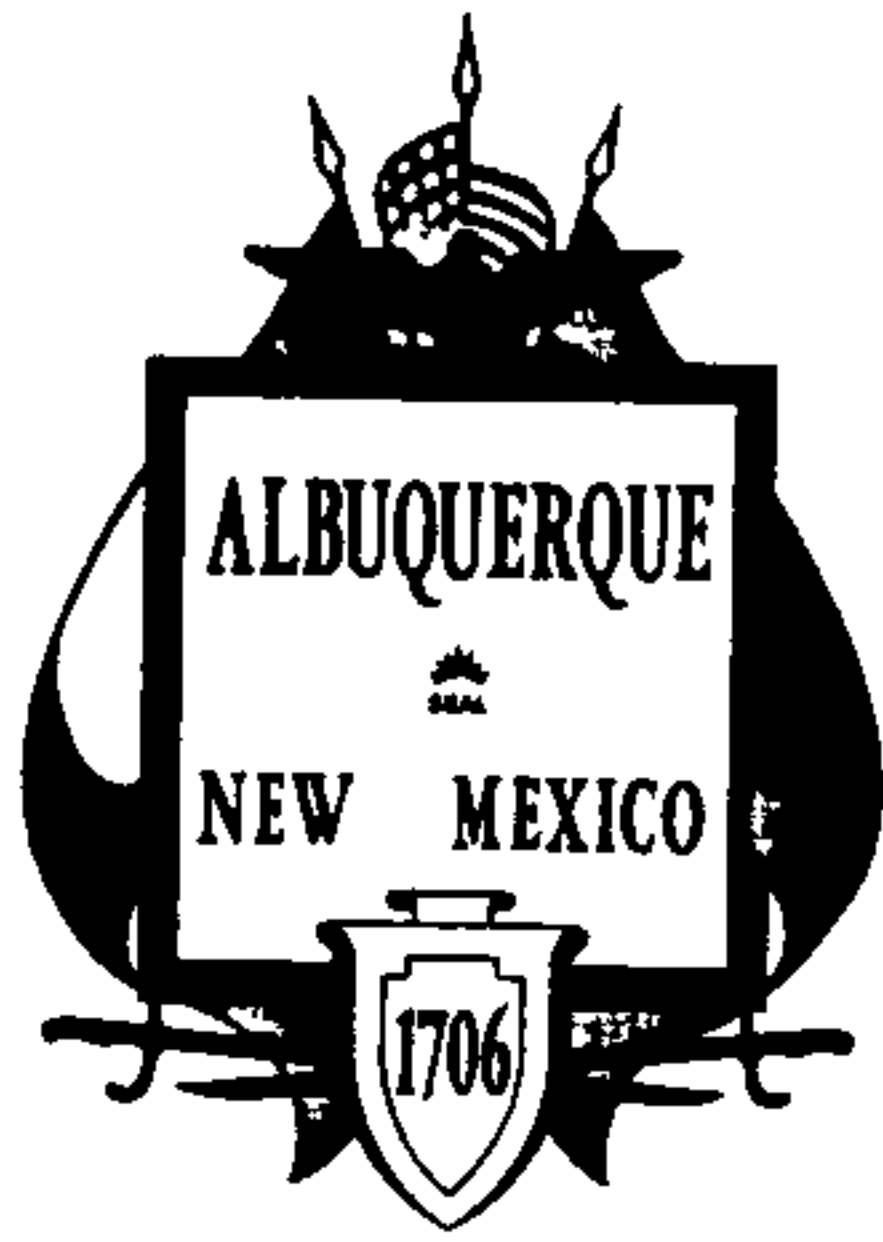
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 1/19/2012 BY: SMM



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 8, 2002

Billy McCarty, P.E.
BEAM Designs
855 Polaris Blvd SE
Rio Rancho, New Mexico 87124

RE: MONTESSORI ON THE RIO GRANDE- Classroom Addition (H-12/D8A)
(1650 Galbadon NW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 8/24/2001
ENGINEERS CERTIFICATION DATED 1/7/2002

Dear Mr. McCarty:

Based upon the information provided in your Engineers Certification submittal dated 1/7/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

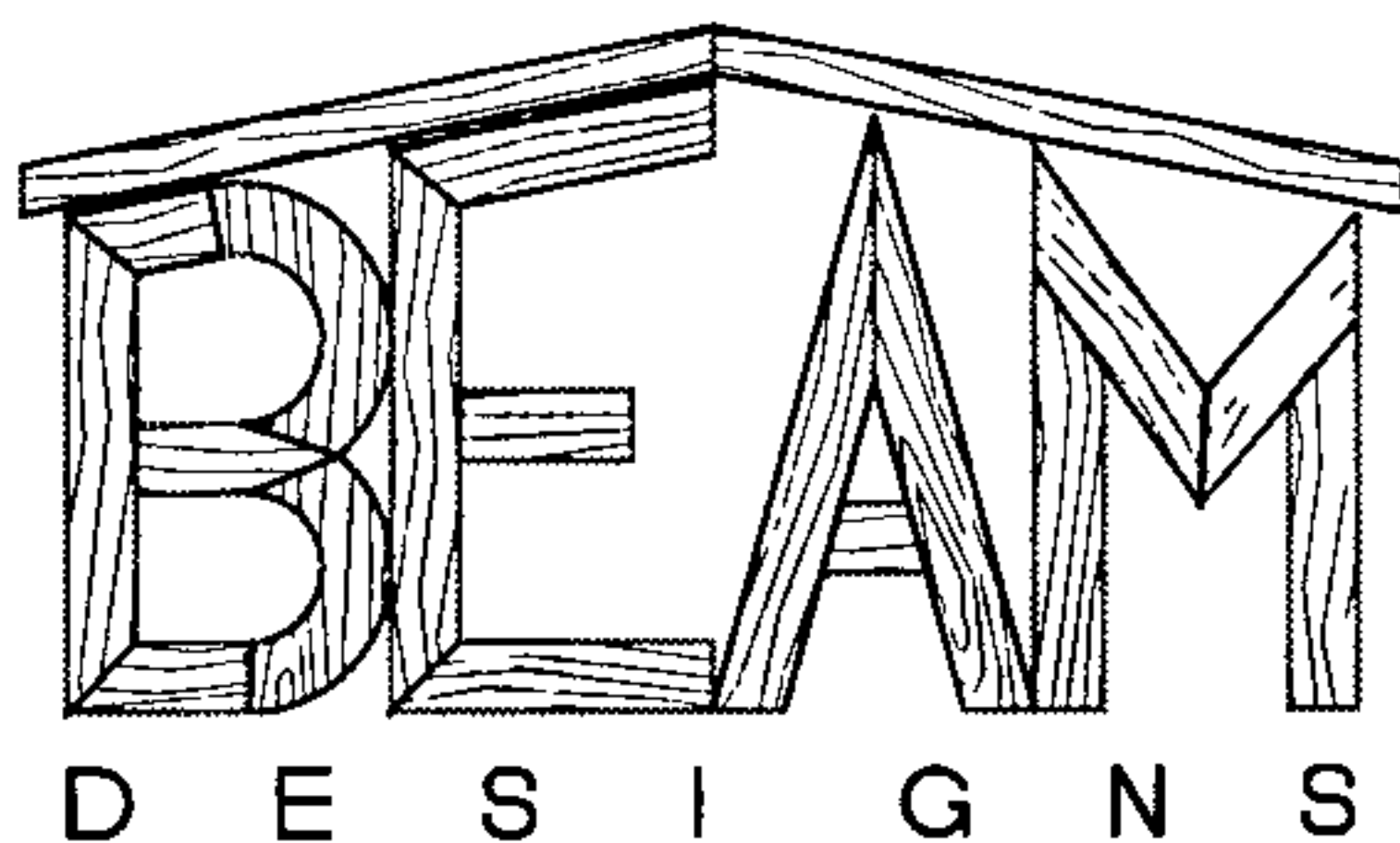
If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Teresa A. Martin
Hydrology Plan Checker
Public Works Department
BLB

C: Vickie Chavez, COA
✓ drainage file
approval file

BUILDING
ENGINEERING
AND
MUNICIPAL
DESIGNS



855 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 896-0391
FAX (505) 994-3952
beamdesigns@qwest.net

January 7, 2002

City of Albuquerque Hydrology Dept.
P.O. Box 1293
Albuquerque, NM 87103

RE: GRADING AND DRAINAGE CERTIFICATION FOR MONTESSORI OF THE RIO GRANDE (H12/D8A)

This certification supercedes the ones dated November 30, 2001 and January 4, 2002. It is based on as-built spot elevations provided by BEAM Designs and a personal site investigation at the end of construction. BEAM Designs only certifies drainage for the current construction and does not assume any responsibility for drainage around existing structures. Modifications made to the existing parking lot were not performed under the direction of BEAM Designs and therefore must be certified separately by the architect.

The Traffic Circulation Plan prepared by BEAM Designs indicated that no improvements would be made to the existing parking lot. However, the plans approved for the building permit included a new dumpster pad within the existing asphalt parking lot, reconstructed ADA ramps, and wheel stops to create asphalt walk ways. These modifications were all constructed within existing impervious areas and therefore do not alter the existing drainage pattern.

Since the first certification submittal, the contractor has regraded the swales according to the approved grading plan. In doing so, the concern for cross-lot-drainage has been eliminated. Therefore, please process this certification and issue the Certificate of Occupancy for the classroom addition.

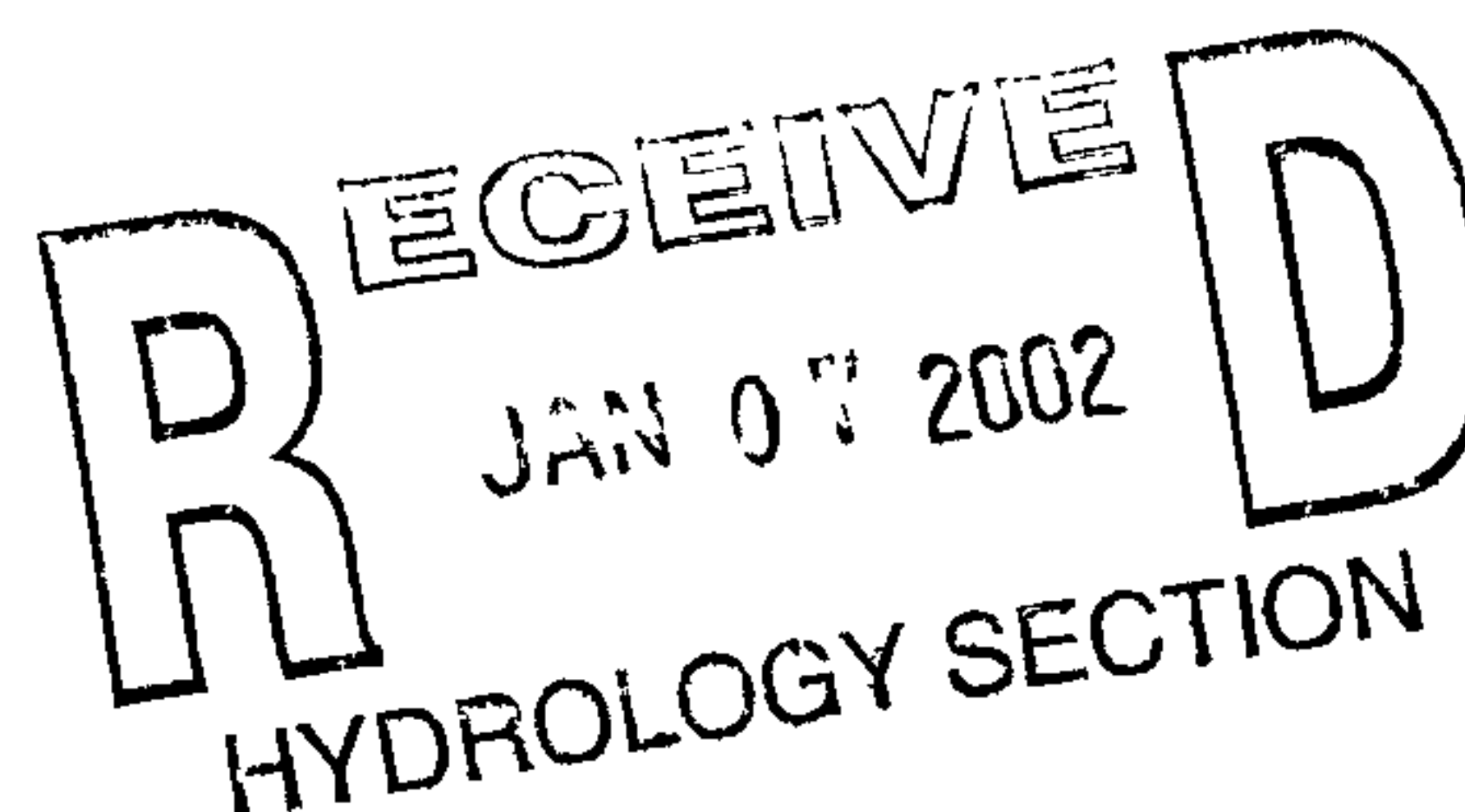
BEAM Designs is recommending approval of the as-built plans with the changes noted above for the issuance of the Certificate of Occupancy. If you have any questions, please call me at 896-0391.



Sincerely,

A handwritten signature in black ink that reads "Billy O. McCarty".

Billy O. McCarty, P.E.
Principal Engineer





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 31, 2001

Billy O. McCarty, P.E.
BEAM Designs
855 Polaris Blvd. SE
Rio Rancho, NM 87124

**Re: Classroom Addition – Montessori on the Rio Grande (H12/D8A) Grading & Drainage Plan,
Engineer's stamp dated 8-24-01**

Dear Mr. McCarty,

Based on the information provided in your submittal dated August 24, 2001, the above-referenced project is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer's Certification of the grading and drainage plan per the DPM checklist will be required.

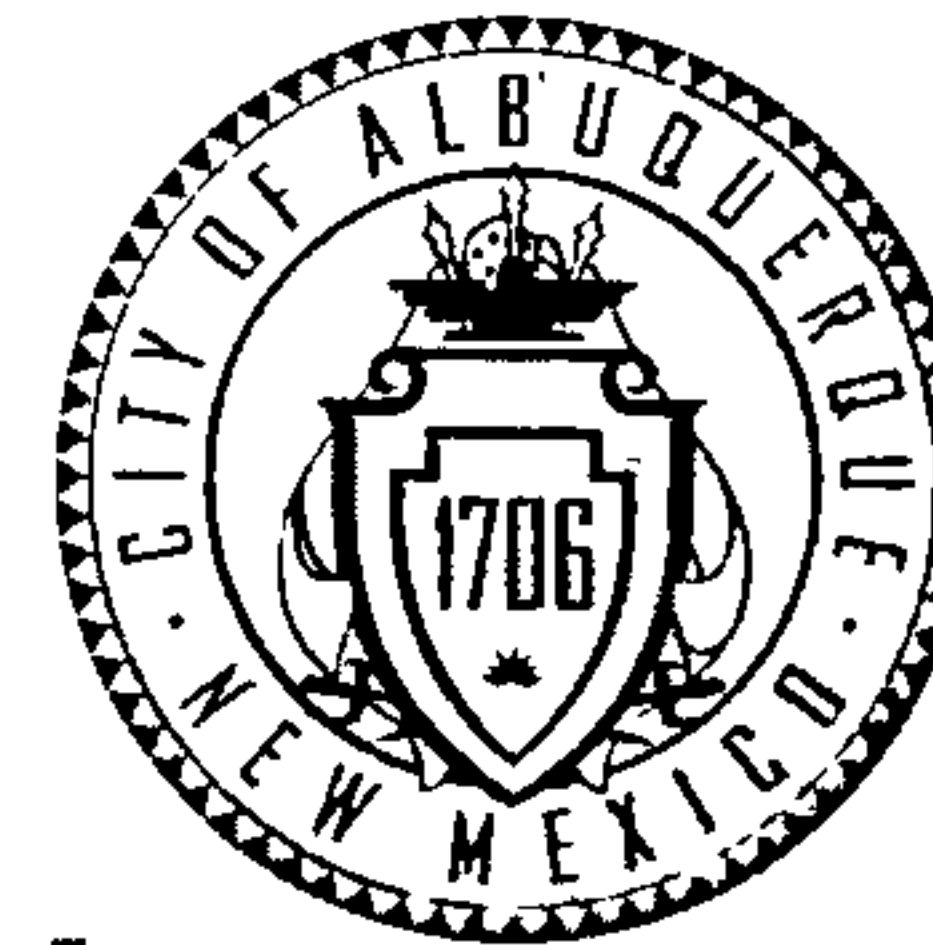
If you have any questions, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.
Hydrology/Utility Development
City of Albuquerque Public Works

xc: Terri Martin – COA Hydrology
File

CITY OF ALBUQUERQUE



June 27, 2011

Denise N. Peralta, PE
Wilson & CO.
4900 Lang Ave. NE
Albuquerque, NM 87109

Re: Montessori Of The Rio Grande Charter School
Grading and drainage Plan
Engineer's Stamp dated: 5-16-11 (H-12/D008A)

Dear Mrs. Peralta,

Based upon the information provided in your submittal received 6/03/11, the above referenced plan cannot be approved for Grading Permit until the following comments are addressed.

- Depress landscaped areas where feasible to retain the first 1/2" of flow. This would also aid in water harvesting and reduce offsite flows.
- The flows leaving the site need to be at or below historic flows leaving the site.
- Please place Grading and Drainage plans G1 and A1 on separate pages. Some of the notes for G1 are missing or partial. Provide surrounding areas and sites where buildings are being moved from if in watershed.
- Address erosion concerns for the swale.
- Which direction are the flows headed on plan G1?

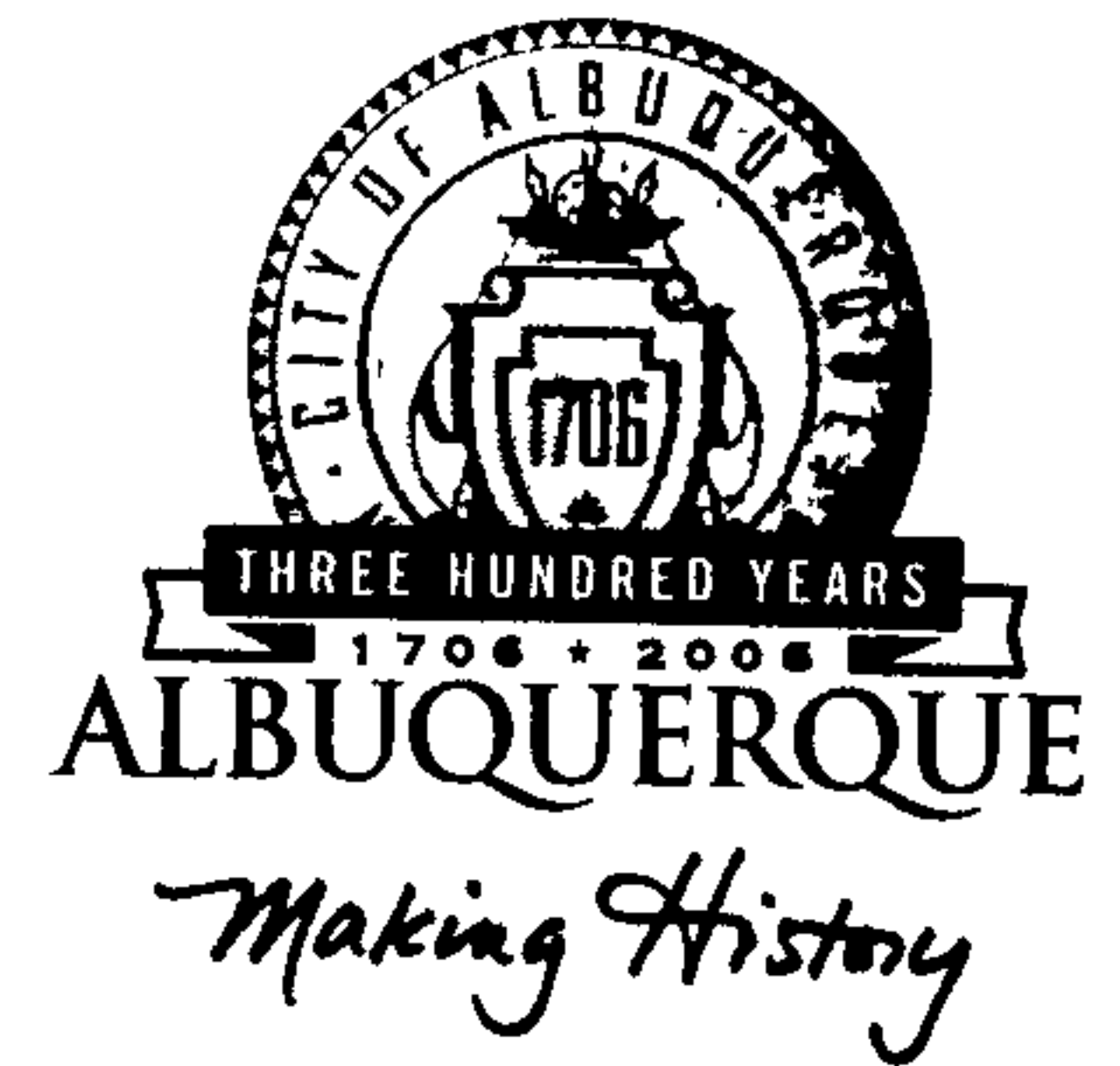
If you have any questions, you can contact me at 924-3421 or Rudy Rael @ 924-3977.

Sincerely,

Paul Olson, PE, CFM.
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/PLO
File

CITY OF ALBUQUERQUE



November 30, 2004

Billy McCarty, P.E.
BEAM Designs
855 Polaris Blvd. SE
Rio Rancho, NM 87124

**Re: Montessori on the Rio Grande Portable Addition, 1650 Gabaldon Rd NW,
Grading and Drainage Plan
Engineer's Stamp dated 11-15-04 (H12-D8A)**

Dear Mr. McCarty,

Based upon the information provided in your submittal received 11-16-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: MONTROSSI ON THE RIO GRANDE
PORTABLE ADDITION
DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: 18 H-12/D8A
WORK ORDER#: _____

LEGAL DESCRIPTION: LOT A. AMRISTAR ACADEMY
CITY ADDRESS: 1650 GABALDON RD. NW

ENGINEERING FIRM: BEAM DESIGNS
ADDRESS: 855 POLARIS BLVD. SE
CITY, STATE: RIO RANCHO, NM

CONTACT: BILLY MCCARTY
PHONE: 896-0391
ZIP CODE: 87124

OWNER: MONTROSSI OF THE RIO GRANDE
ADDRESS: 1650 GABALDON RD., NW
CITY, STATE: ALBUQUERQUE, NM

CONTACT: LEON FUEMMELER
PHONE: 768-0878
ZIP CODE: 87104

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

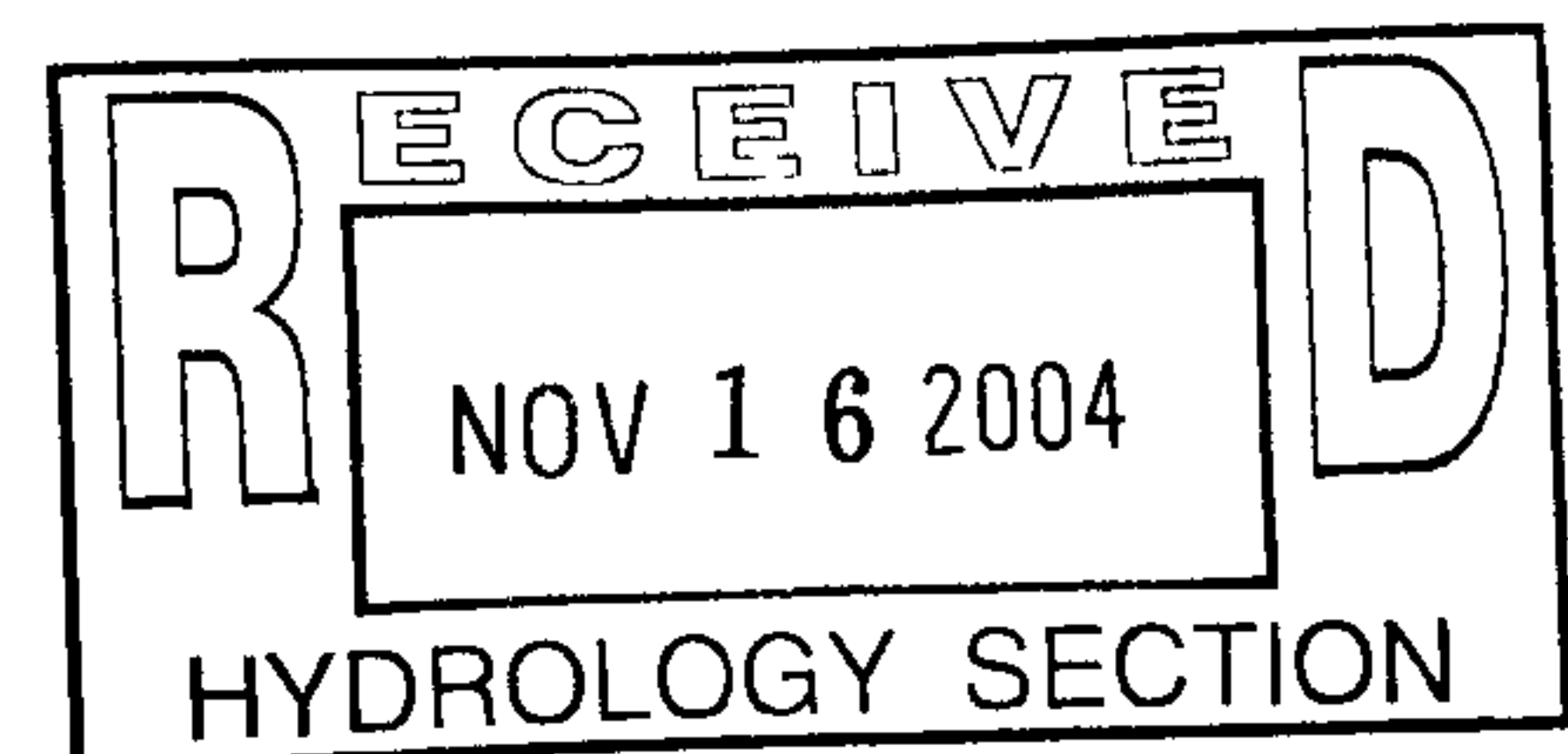
CHECK TYPE OF APPROVAL SOUGHT:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 11-16-04 BY: Billy O McCarty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 3, 1990

Dallas Donegon
Donegon & Associates, Inc.
Post Office Box 20127
Albuquerque, New Mexico 87154

RE: DRAINAGE PLAN FOR AMRISTAR ACADEMY PARKING
(H-12/D8) ENGINEER'S STAMP DATED MARCH 26, 1990

Dear Mr. Donegon:

Based on the information provided on your submittal of March 28, 1990, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie Montoya
for Fred J. Aguirre, P.E.
Hydrologist

FJA:BJM/bsj
(WP+1758)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: AMRITSAR ACADEMY PARKING ZONE ATLAS/DRNG. FILE #: H12-D8

LEGAL DESCRIPTION: TRACT "A", LANDS OF AMRITSAR ACADEMY (FORMERLY TRACTS 174-b, 173 & 186-A, MRGCD MAP NO. 35)

CITY ADDRESS: 1650 Gabaldon Road NW

ENGINEERING FIRM: Donegon & Associates, Inc. CONTACT: D. G. Donegon

ADDRESS: P. O. Box 20127 87154 PHONE: 292-1344

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Southwest Surveying Co., Inc. CONTACT: Frank Wilson

ADDRESS: 333 Lomas Blvd. NE 87102 PHONE: 247-4444

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

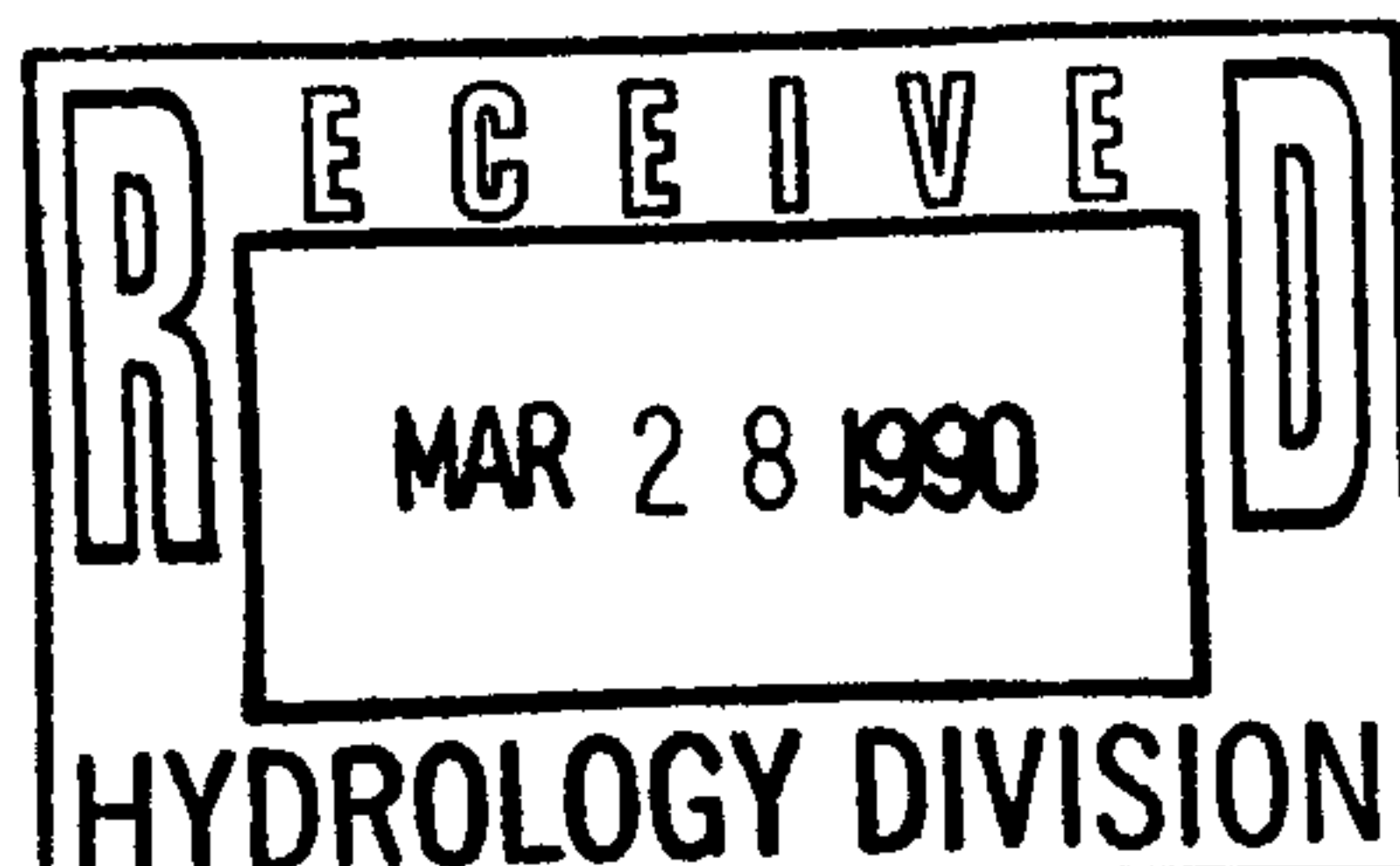
☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)



DATE SUBMITTED: _____

BY: D. G. Donegon

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: NR/D8 DATE: 3/15/90
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: AMITSAR ACADEMY (1650 GARDEN L.W.) paving
STREET ADDRESS: _____
LEGAL DESCRIPTION: Tract A of MRGCD

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
☒ GRADING/PAVING PERMIT _____ OTHER _____

	WHO	REPRESENTING
ATTENDANCE:	_____	_____
	_____	_____
	_____	_____

FINDINGS:

- Provide grading plan for the portion being modified by the REVISION site plan. Show enough OFF-SITE spot elevations to demonstrate how the new grades will match existing.
- Reiterate old (approved drainage concept) concept and how we are matching or improving by decreasing impervious area.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>[Signature]</u>	SIGNED: <u>[Signature]</u>
TITLE: _____	TITLE: _____
DATE: _____	DATE: _____

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

December 18, 2001

Gordon Hall, Registered Architect
11105 San Bernardino NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
Montessori on the Rio Grande, [H12 / D8A]
1650 Galbaldon RD. NW
Architect's Stamp Dated 12-13-01

Dear Mr. Hall:

The TCL / Letter of Certification submitted is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Leslie Romero
Engineering Associate
Development and Building Services
Public Works Department

c: Engineer
Terri Martin, Hydrology 1
Mike Zamora, Plan Checker

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

H-12/D8A

PROJECT TITLE: MONTROSSI on the Rio Grande ZONE MAP/DRG. FILE #: _____
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Beam Design
ADDRESS: 855 Polaris Blvd.
CITY, STATE: Rio Rancho, NM 87124

CONTACT: Billy D. McCarthy
PHONE: _____
ZIP CODE: _____

OWNER: Montrossi on the Rio Grande
ADDRESS: 1650 Gabeldon NW
CITY, STATE: Albuquerque, NM 87121

CONTACT: Leon Fuenmole
PHONE: 768-0878
ZIP CODE: _____

ARCHITECT: Gordon Allen Hall Architects
ADDRESS: 11105 San Bernardino NE
CITY, STATE: Albuquerque NM 87122

CONTACT: Gordon Hall
PHONE: 450-4707
ZIP CODE: _____

SURVEYOR: Enterprise Builders
ADDRESS: P.O. Box 3917
CITY, STATE: Albuquerque NM 87190

CONTACT: Damian Chiment
PHONE: 857-0050
ZIP CODE: _____

CONTRACTOR: Same as above
ADDRESS: _____
CITY, STATE: _____

CONTACT: Damian Chiment
PHONE: 857-0050
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~TRAFFIC CIRCULATION LAYOUT (TCL)~~
☒ ~~ENGINEERS CERTIFICATION (TCL)~~
☒ ~~ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)~~
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ ~~BUILDING PERMIT APPROVAL~~
☒ ~~CERTIFICATE OF OCCUPANCY (PERM.)~~
☒ ~~CERTIFICATE OF OCCUPANCY (TEMP.)~~
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE-SUBMITTED: _____ BY: _____

RECEIVED
DEC 14 2001
HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

DRB APPROVED - WILL APPROVE 12/18/01
see file downstairs
cc called WCC

**Gordon Hall, RA, CSI,
NCARB
Architect**

11105 San Bernardino NE
Albuquerque New Mexico
87122-2393

505-450-4707

Dec 13, 2001

Montessori Classroom Addition
1650 Gabaldon Rd NW
Albuquerque, New Mexico

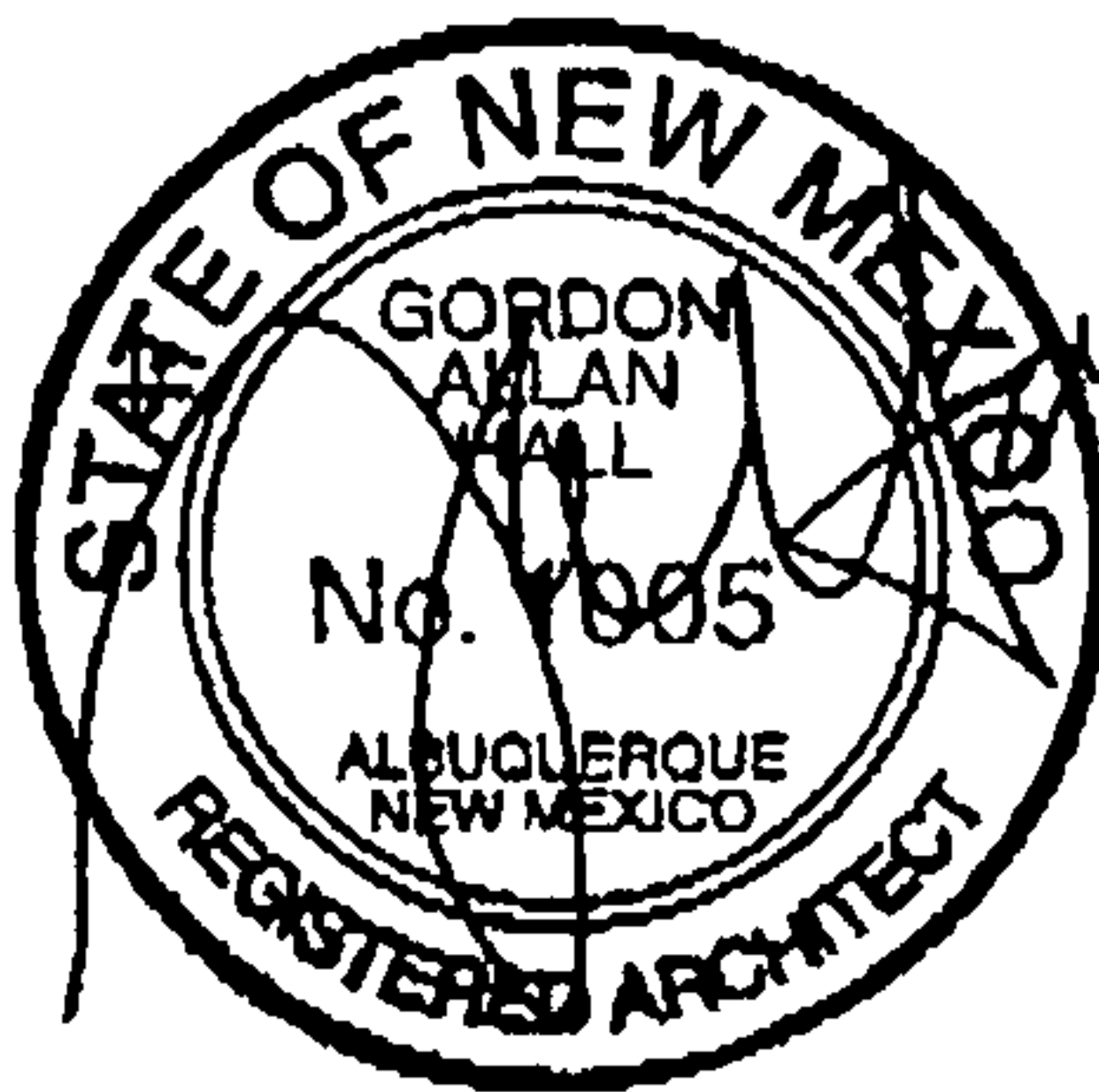
RE: ARCHITECT'S CERTIFICATION

Gentlemen.

I GORDON HALL, licensed under the laws of the State of New Mexico, do hereby certify that this project was constructed in substantial compliance with the improvements shown on the approved traffic circulation Layout for the Montessori Classroom addition at 1650 Gabaldon Rd NW. See attached site plan.

Sincerely,

Gordon Hall Architect



12-13-01

RECEIVED
DEC 14 2001
HYDROLOGY SECTION

BUILDING
ENGINEERING
AND
MUNICIPAL
DESIGNS



855 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 896-0391
FAX (505) 994-3952
beamdesigns@qwest.net

November 30, 2001

City of Albuquerque Hydrology Dept.
P.O. Box 1293
Albuquerque, NM 87103

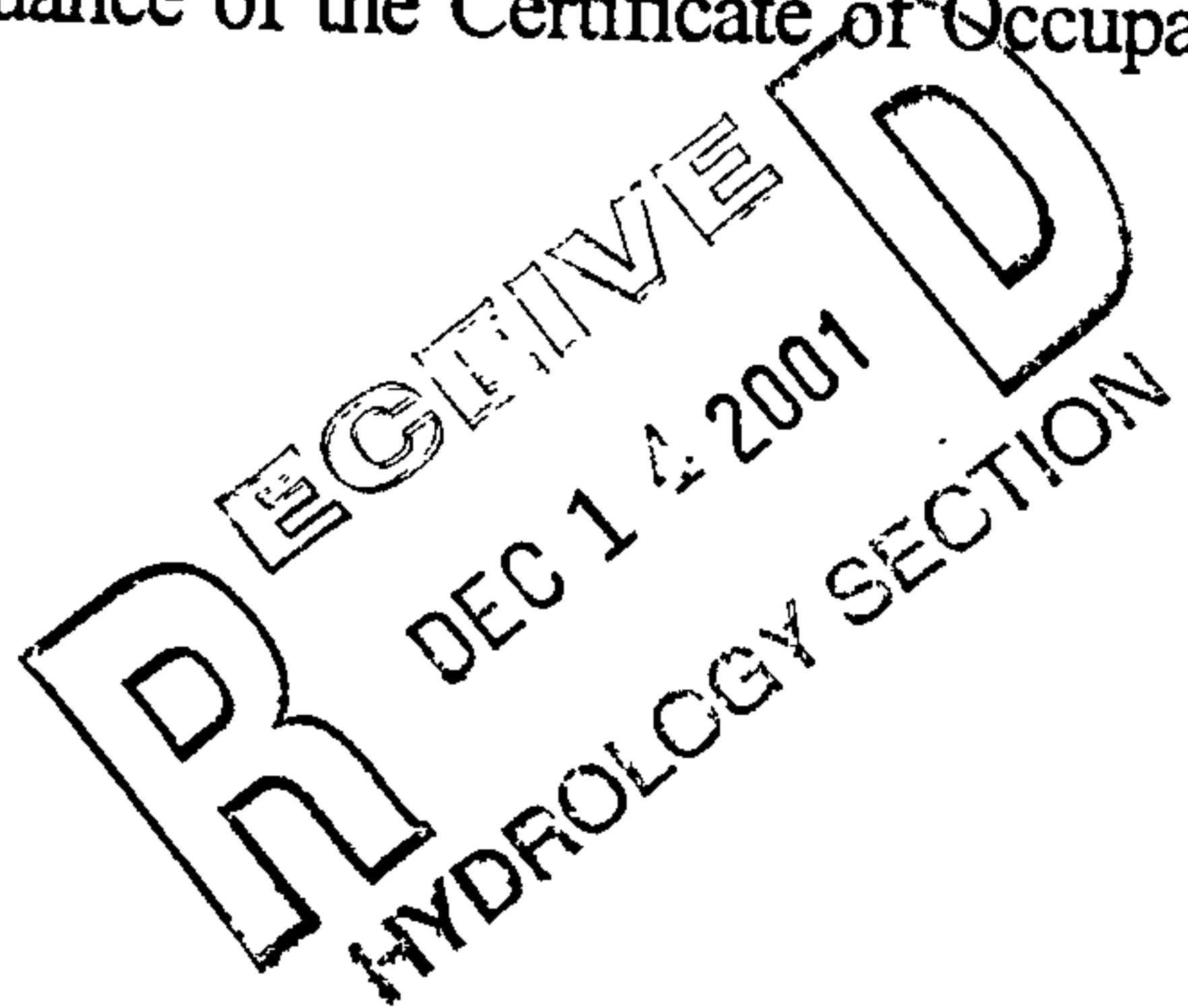
RE: GRADING AND DRAINAGE CERTIFICATION FOR MONTESSORI OF THE RIO GRANDE (H12/D8A)

This certification is based on as-built spot elevations provided by the contractor and a personal site investigation at the end of construction. BEAM Designs only certifies drainage for the current construction and does not assume any responsibility for drainage around existing structures. Modifications made to the existing parking lot were not performed under the direction of BEAM Designs and therefore must be certified separately by the architect.

The Traffic Circulation Plan prepared by BEAM Designs indicated that no improvements would be made to the existing parking lot. However, the plans approved for the building permit included a new dumpster pad within the existing asphalt parking lot, reconstructed ADA ramps, and wheel stops to create asphalt walk ways. These modifications were all constructed within existing impervious areas and therefore do not alter the existing drainage pattern.

The swales were constructed approximately 0.5' above the design elevations as noted by the contractor. This enables the new construction to drain to Leopoldo Road in accordance with the design and matches existing ground at the north end of the construction. However, there is a 16' fire lane on the north side of the structure that does not drain to Leopoldo Road. This area historically drains to the north property line where it ponds on both properties. Since the swale is not deep enough to intercept this area, it will continue to drain in its historic pattern. Although it does not eliminate cross-lot-drainage, the condition is not made worse by this construction. The adjacent property is undeveloped in this area and the contributing area is confined to the 16' unpaved fire lane. Therefore, runoff is minimal and will not harm any structures by letting it drain to its historic location.

BEAM Designs is recommending approval of the as-built plans with the changes noted above for the issuance of the Certificate of Occupancy. If you have any questions, please call me at 896-0391.



Sincerely,

A handwritten signature in cursive script that reads "Billy O. McCarty".

Billy O. McCarty, P.E.
Principal Engineer