



February 13, 2020

Jeremy Shell  
RESPEC  
5971 Jefferson St. NE Suite 101  
Albuquerque, NM 87109

**Re: US Eagle FCU Juan Tabo**  
**1955 Juan Tabo Blvd. NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 11-21-2019 (H21D029)

Dear Mr. Shell,

Based upon the information provided in your submittal received 02-07-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces including bicycle and motorcycle parking required by the zoning code.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs. Please include the detailed sheet.
3. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. ADA curb ramps must be updated to current standards and have truncated domes installed.
5. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
6. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.

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7. Bicycle racks shall be sturdy and anchored to a concrete pad.
8. A 1-foot clear zone around the bicycle parking stall shall be provided.
9. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
10. The 9' drive-thru lane is too narrow.
11. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
12. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; **provide a copy of refuse approval.**
13. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
14. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
15. The alley needs to be improved.
16. Work within the public right of way requires a work order with DRC approved plans.
17. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
18. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

# CITY OF ALBUQUERQUE



Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

PO Box 1293

\MM via: email  
C: CO Clerk, File

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NAME: G:\Shared drives\NMP\Projects\03878 US Eagle FCU\3. DWG\Sheets\03878-Site Plan.dwg PLOT DATE: Feb.06. 2020 3:49pm

**SITE INFORMATION**

PROJECT NAME: US EAGLE FEDERAL CREDIT UNION  
MUNICIPALITY: CITY OF ALBUQUERQUE

PROJECT ADDRESS: 1955 JUAN TABO BLVD NE ALBUQUERQUE, NM 87112

ACRE / AREA: 0.70 ACRES

ZONE: MX-L

ADJACENT ZONING: MX-L; R-1B  
USES: LOW INTENSITY MIXED-USE; SINGLE-FAMILY (MEDIUM LOT) RESIDENTIAL  
SETBACKS:

FRONT YARD: 5 FT.  
SIDE YARD: 5 FT.  
REAR YARD: 15 FT.

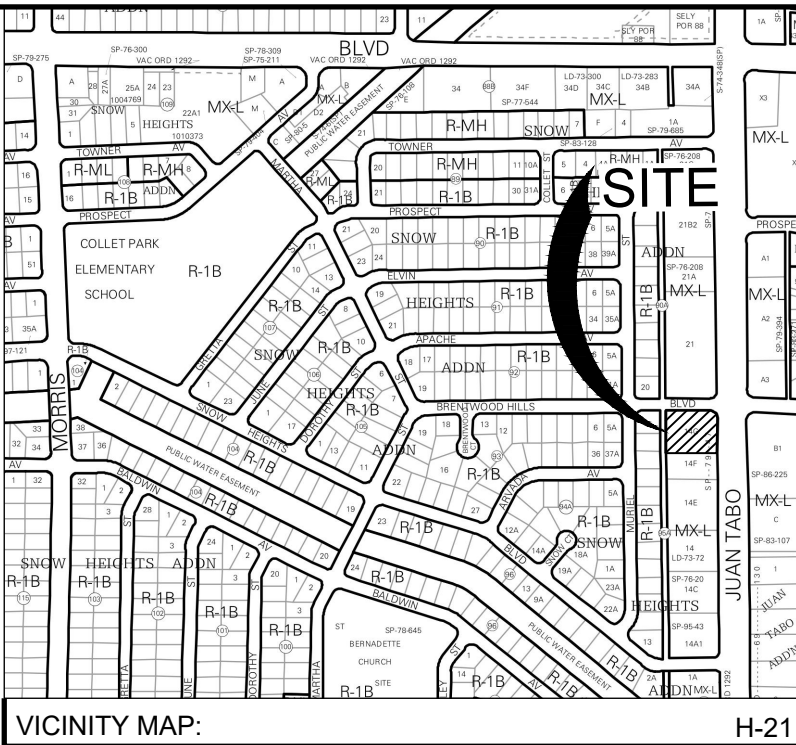
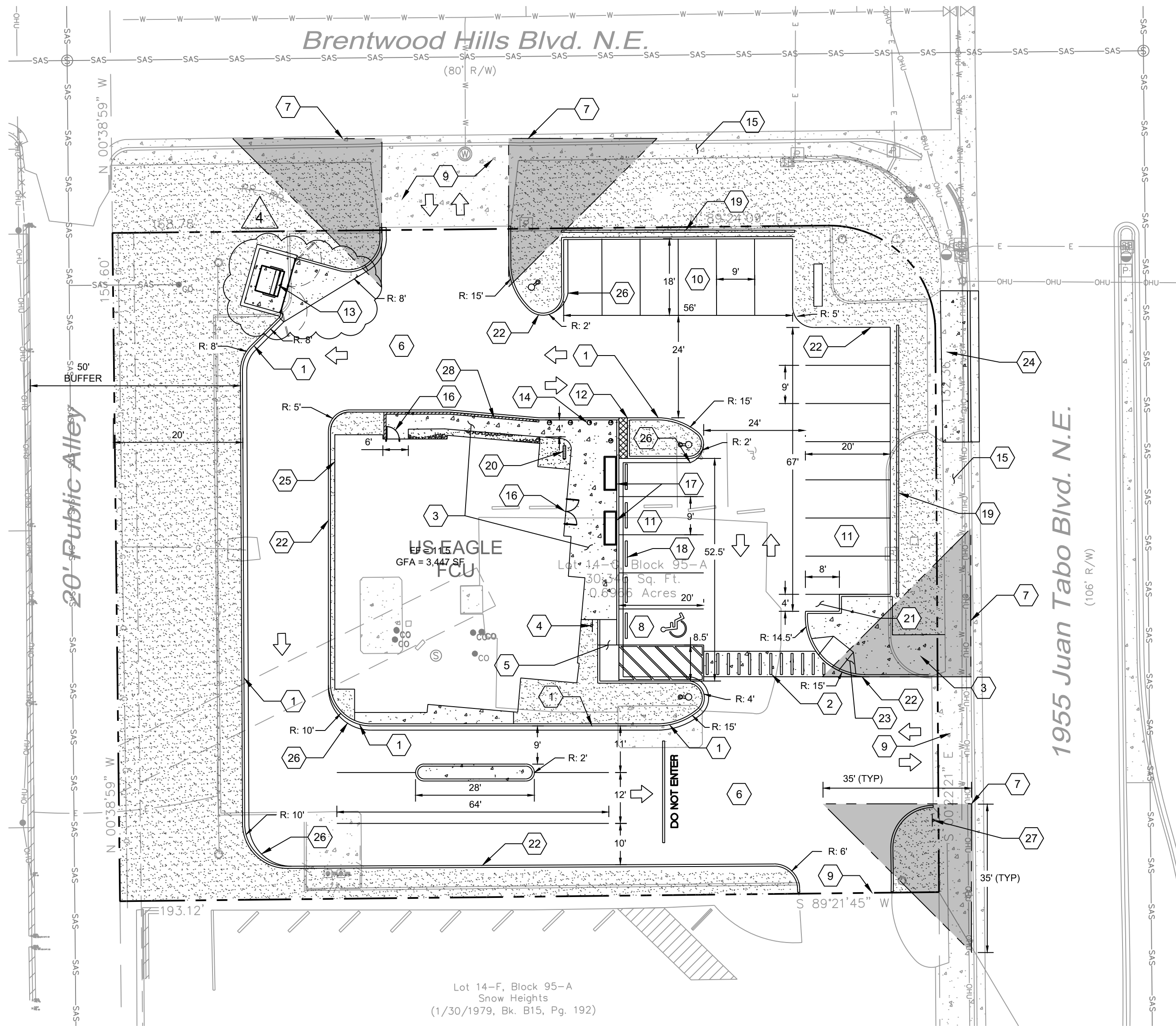
HEIGHT LIMIT: 35 FT.

PARKING: REQUIRED PROVIDED  
10 SPACES\* 18 SPACES  
\*(3 PER 1,000 SQ FT GFA)

LANDSCAPE REQUIRED PROVIDED  
15% NET LOT AREA 37% NET LOT AREA

OPEN SPACE REQUIRED PROVIDED  
N/A N/A

LEGAL: LOT 14-G, BLOCK 95-A, SNOW HEIGHTS



DESIGNED AL	DESIGNED AL
DRAWN MF	DRAWN MF
CHECKED JS	CHECKED JS
DATE 12.19.2019	DATE 12.19.2019
5971 Jefferson Street Suite 101 Albuquerque, NM 87112 Water and Natural Resources respec.com 505.253.7718	ADDENDUM 1, 12/13/19 ADDENDUM 2, MISCELLANEOUS SITE REVISIONS 1/15/20 ADDENDUM 4, REFUSE ENCLOSURE REVISIONS 2/6/20

#### KEYED NOTES

I.D.#	DESCRIPTION
1	PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C-500, DETAIL 1.
2	PROPOSED CROSSWALK. SEE SHEET C-500, DETAIL 2.
3	PROPOSED SIDEWALK. SEE SHEET C-500, DETAIL 3.
4	PROPOSED ADA PARKING SIGN. SEE SHEET C-500, DETAIL 6.
5	PROPOSED ADA RAMP. SEE SHEET C-500, DETAIL 7.
6	PROPOSED ASPHALT PAVEMENT. SEE SHEET C-501, DETAIL 16.
7	CLEAR SITE TRIANGLE.
8	PROPOSED ADA PARKING.
9	EXISTING DRIVEWAY ENTRANCE.
10	PROPOSED 9'x18' PARKING SPACES (TYP).
11	PROPOSED 9'x20' PARKING SPACES (TYP).
12	PROPOSED SIDEWALK CULVERT. SEE SHEET C-500, DETAIL 10.
13	PROPOSED REFUSE ENCLOSURE.
14	PROPOSED CONCRETE BOLLARDS (TYP.).
15	EXISTING SIDEWALK.
16	PROPOSED EXTERIOR DOORS.
17	PROPOSED PRECAST CONCRETE PLANTER.
18	PROPOSED PRECAST CONCRETE WHEEL STOP (TYP).
19	PROPOSED 3' SCREEN WALL. SEE SHEET C-500, DETAIL 9.
20	PROPOSED BICYCLE RACK. SEE SHEET C-501, DETAIL 17.
21	PROPOSED 8'x4' MOTORCYCLE PARKING SPOT.
22	PROPOSED HEADER CURB. SEE SHEET C-500, DETAIL 11.
23	PROPOSED ADA RAMP. SEE SHEET C-501, DETAIL 15.
24	EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SIDEWALK / CURB.
25	PROPOSED BUILDING STEM WALL.
26	PROPOSED TAPERED GUTTER TRANSITION TO HEADER CURB.
27	PROPOSED "NO LEFT TURN" SIGN.
28	PROPOSED RETAINING WALL. SEE SHEET C-500, DETAIL 8, FOR RETAINING WALL DETAIL.

#### LEGEND

PROPERTY LINE

ACCESSIBLE PARKING SPACES

