

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 15, 2023

Scott Anderson, R.A.
Scott C. Anderson & Associates Architects
4419 4th St. NW
Albuquerque, NM 87107

Re: Rio Grande Apartments
2211 Rio Grande Blvd. NW
Traffic Circulation Layout
Architect's Stamp 07-17-22 (H12-D024)

Dear Mr. Anderson,

The TCL submittal received 07-25-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **APPROVED SIDEWALK EASEMENT IS A CONDITION OF RELEASING FINAL CO.**

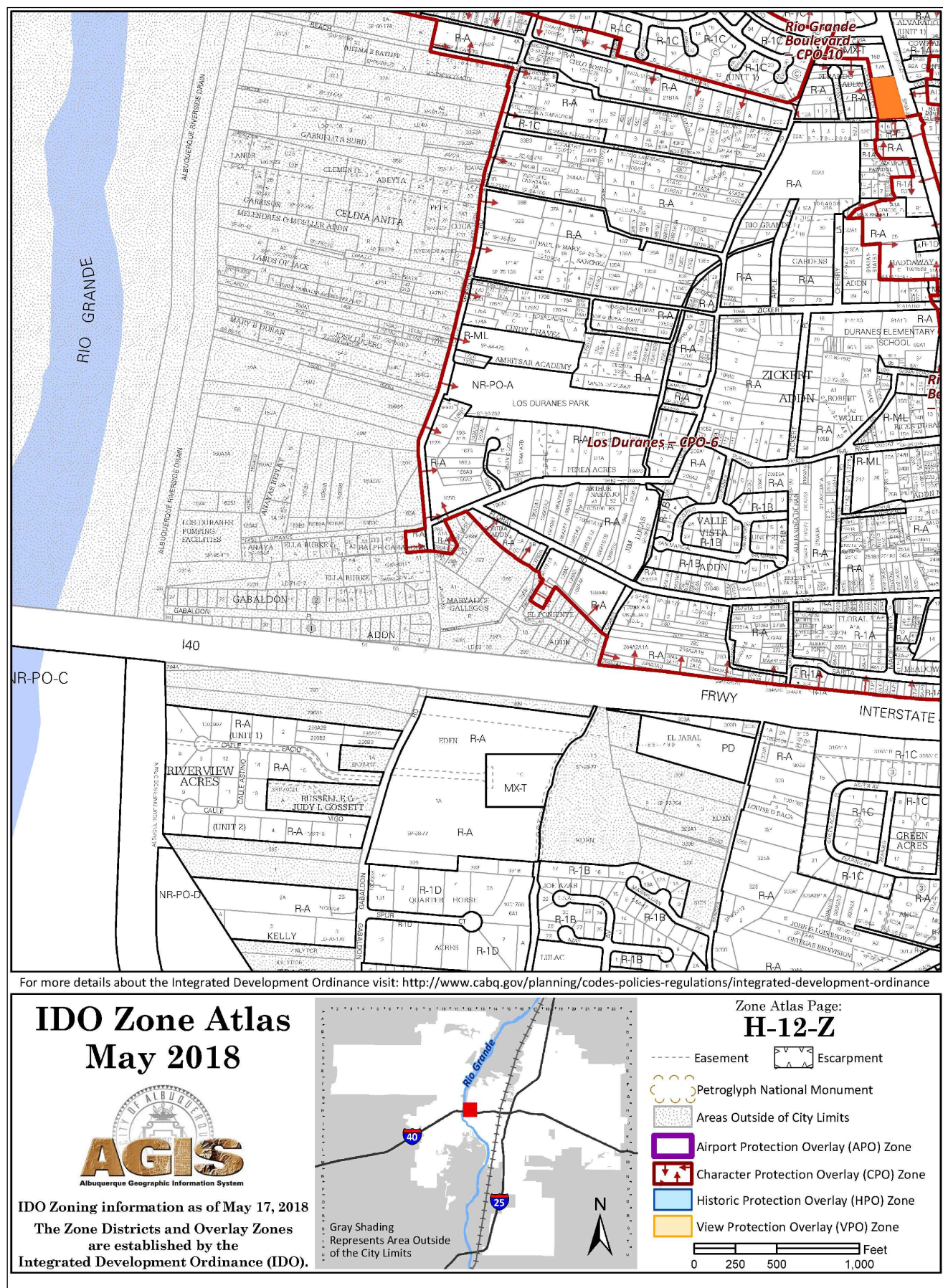
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



RECYCLING CONTAINER SPEC

NOTE:
PROPERTY OWNER RESPONSIBLE FOR PLACING
RECYCLING AT DESIGNATED COLLECTION POINT ON
COLLECTION DAY.

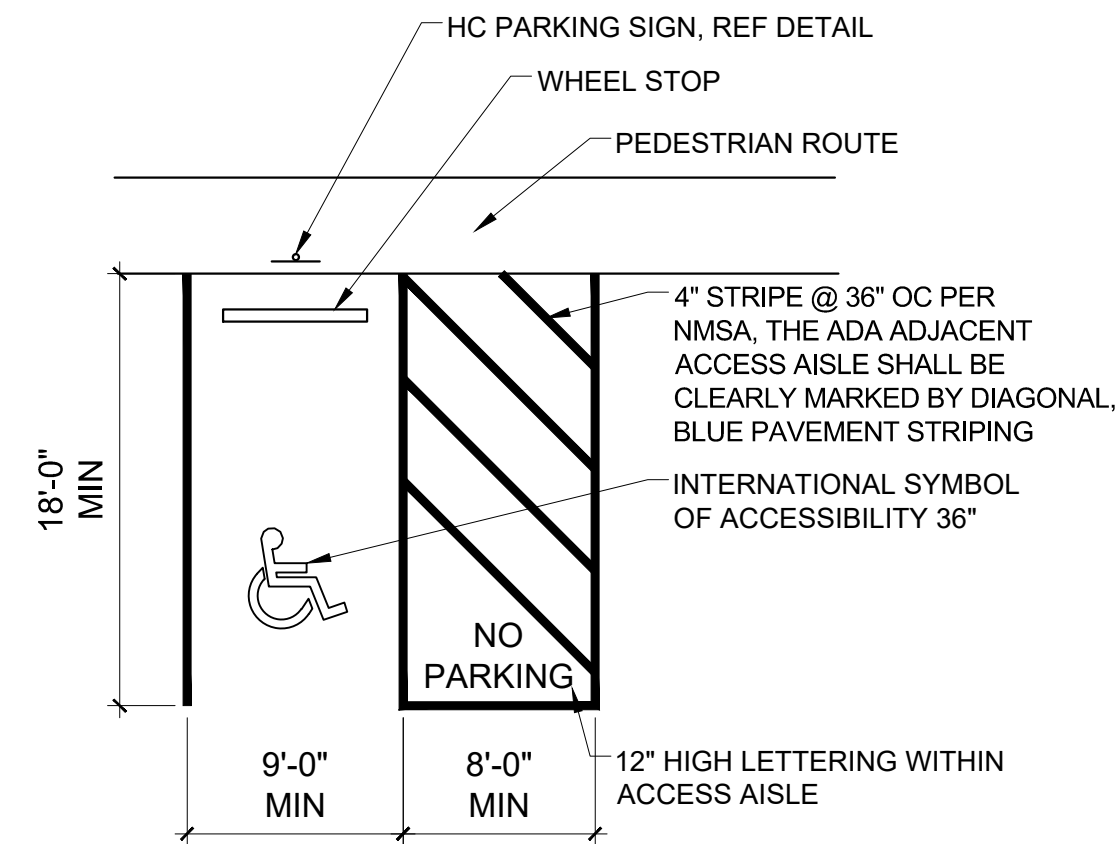
PROPERTY OWNER RESPONSIBLE FOR PLACING REFUSE
IN ENCLOSURE ON COLLECTION DAY

SOLID WASTE CALCS:
30 UNITS X 0.55 CY = 16.5 CY PER WEEK
16.5 CY X 0.333 COMACTED = 5.5 CY PER WEEK
3 EA, 2 CY CONTAINERS PROVIDED.

NOTE:
CLEAR SITE TRIANGLE IS SUBJECT TO APPROVAL OF THE
CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT

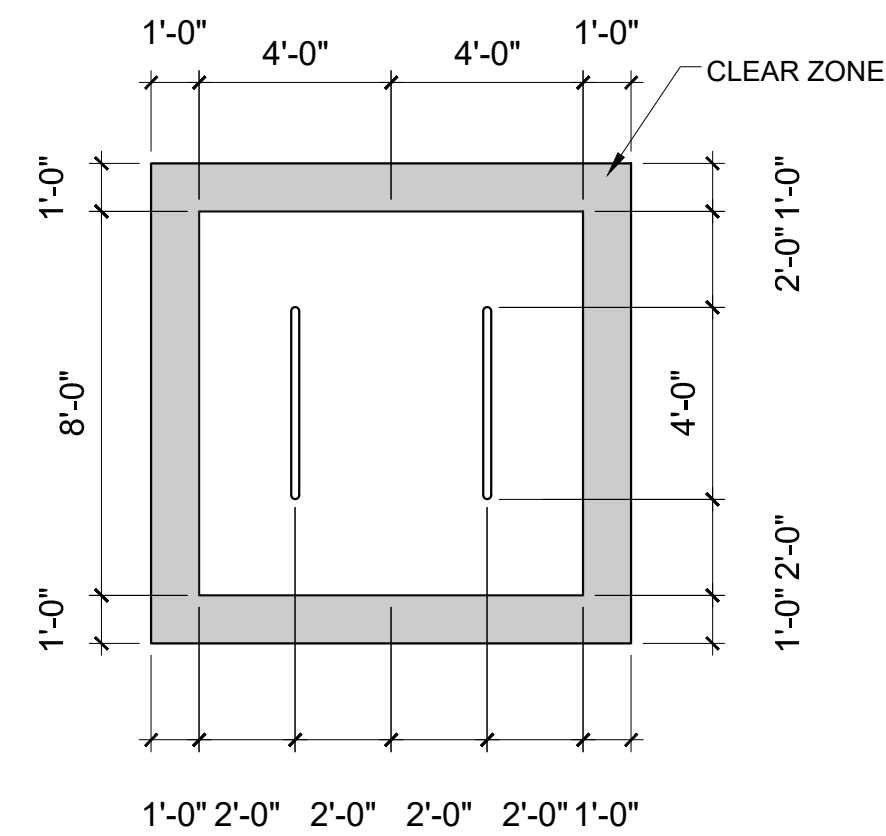
LOCATION, QUANTITY AND HEIGHT OF LANDSCAPING IS
SUBJECT TO THE APPROVAL OF THE CITY OF
ALBUQUERQUE ZONING DEPARTMENT

UPC: 101205950648911247
LEGAL: LOT 17-B, BLOCK 0000, MRGCD MAP 35
ZONING: R-MH
ZONE ATLAS PAGE: H12



ADA PARKING

SCALE: $\frac{1}{8}" = 1'-0"$



BIKE PARKING

SCALE: $\frac{1}{8}" = 1'-0"$

PARKING:
MULTI-FAMILY DWELLING:
1 BEDROOM 18 X 1.2 = 21.6 SPACES
2 BEDROOM 12 X 1.6 = 19.2 SPACES
OFF STREET SPACES REQUIRED = 40.8 SPACES
OFF STREET SPACES PROVIDED = 41
ELECTRIC CHARGING STATIONS PROVIDED = 6
TOTAL PARKING PROVIDED = 47 SPACES

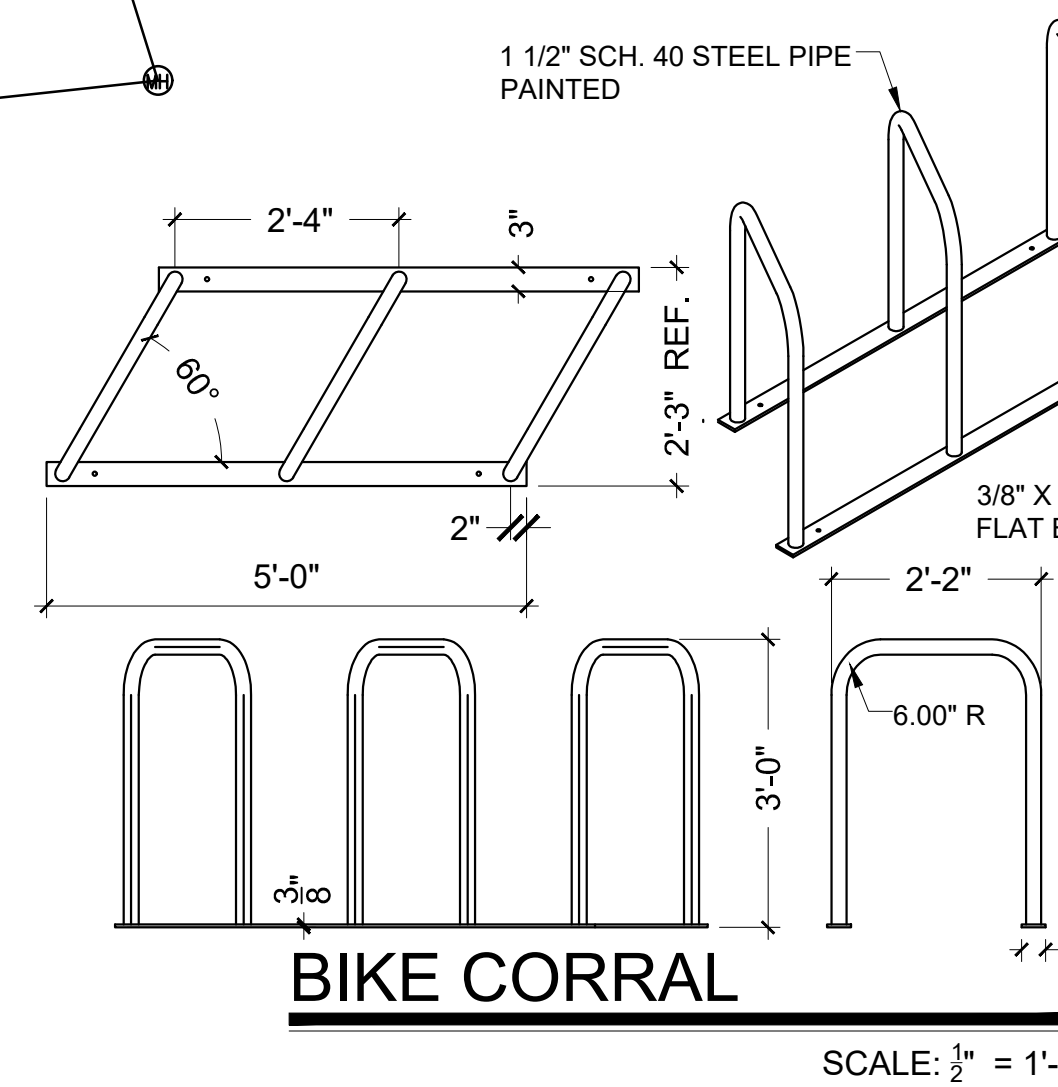
HC REQUIRED: 1 STANDARD, 1 VAN
2 MOTORCYCLE REQUIRED
1 EA. 6 SPACE BIKE RACK

IDO TABLE 5-1-2 OPEN SPACE:
1 BEDROOM: 18 EA X 225 SF = 4,050 SF
2 BEDROOM: 12 EA X 285 SF = 3,420 SF

TOTAL REQUIRED = 7,470 SF

GRADE LEVEL COMMUNAL SPACE = 7,722 SF
GRADE LEVEL PATIO = 569 SF
2nd LEVEL BALCONIES = 1,369 SF
3rd LEVEL BALCONIES = 1,297 SF

GROSS LOT AREA = 34,813 SF
BUILDING FOOTPRINT = 11,983 SF
NET LOT AREA = 22,830 SF
REQUIRED LANDSCAPE AREA @ 15% = 3,425 SF ; 7,545 SF PROVIDED



KEYED NOTES

- A. NEW 25FT DRIVE CUT REF COA STANDARD DETAIL 2425A
- B. 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- C. MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- D. H.C. PARKING SIGN, REF DETAIL SHEET A-501
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. CLEAR SIGHT TRIANGLE 13'x100', 13'x130'
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. CMU WALL
- K. EXISTING UTILITY POLE TO REMAIN
- L. HEADER CURB, REF DETAIL SHEET A-501
- M. PROPERTY LINE
- N. 20'-0" SETBACK
- O. 6' SIDEWALK W/ CURB AND GUTTER COA STD DETAIL 2430
- P. ELECTRIC VEHICLE CHARGING STATION
- Q. 4' PERSONNEL GATE
- R. 10'-0" ADA ACCESSIBLE PEDESTRIAN PATHWAY
- S. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
- T. PICKUP AREA FOR RECYCLING BINS
- U. STORAGE AREA FOR RECYCLING BINS
- V. EXISTING POWER POLE TO BE REMOVED
- W. EXISTING OVERHEAD UTILITY LINE
- X. EXISTING OVERHEAD UTILITY LINE TO BE RELOCATED UNDERGROUND
- Y. ADA RAMP REF COA STANDARD DETAIL 2426
- Z. EDGE OF EXISTING ROAD
- AA. "NO PARKING" IN CAPITAL LETTERS 1'-0" HIGH X 2" WIDE
- AB. MIN. BUILDING SETBACK LINE PER IDO
- AC. LINE OF BUILDING ABOVE
- AD. REFUSE TRUCK TURN AROUND, NO PARKING
- AE. VEHICLE TURN AROUND, NO PARKING
- AF. VEHICULAR GATE
- AG. GATE ACCESS KEYPAD
- AH. 6' FENCE
- AI. BUILDING ENTRANCE
- AJ. HC RAMP REF COA DETAIL 2441
- AK. SIDEWALK EASEMENT FROM PROP LINE TO CURB

NOTE:
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC
WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

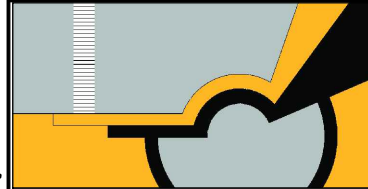
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

No	Revision	Item	Date




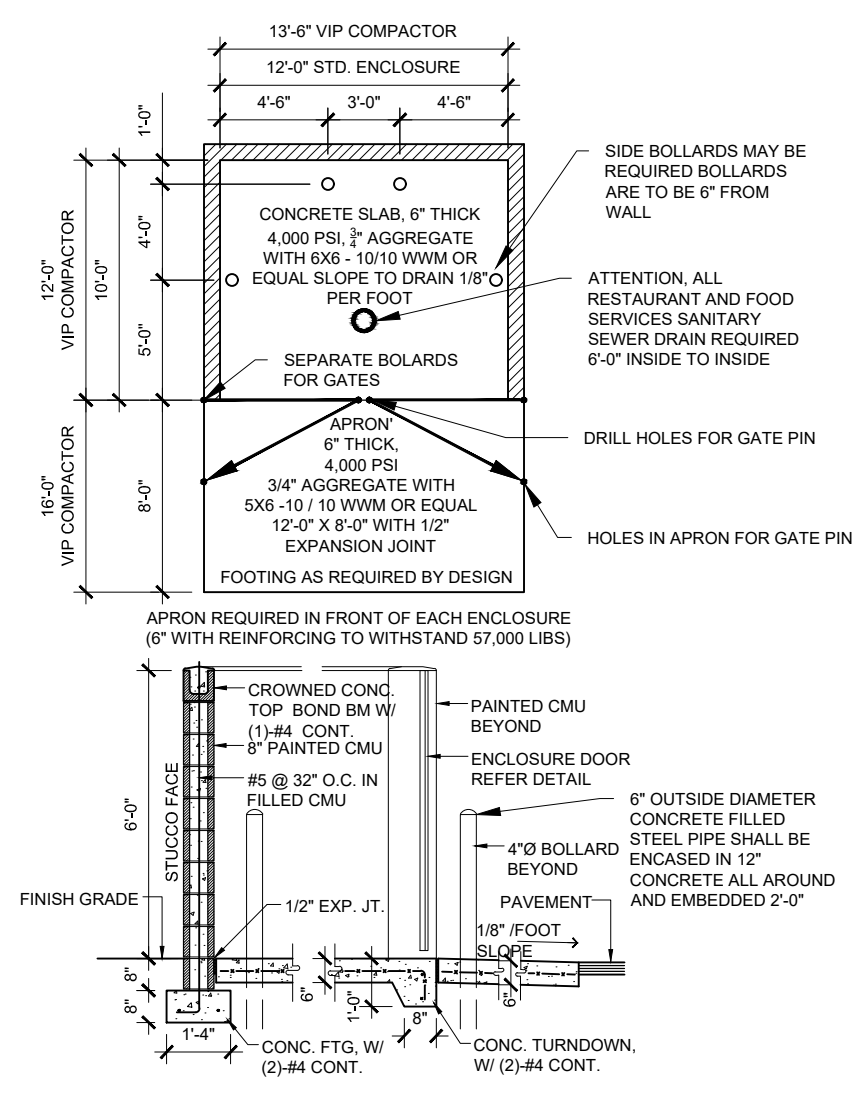
SCOTT C. ANDERSON
 & associates architects
 4419 5th st n.e., suite 10
 albuquerque, nm 87107
 scot@scarcarchitects.com
 505.401.7575

RIO GRANDE APARTMENTS
 2211 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104

DRAWING TITLE

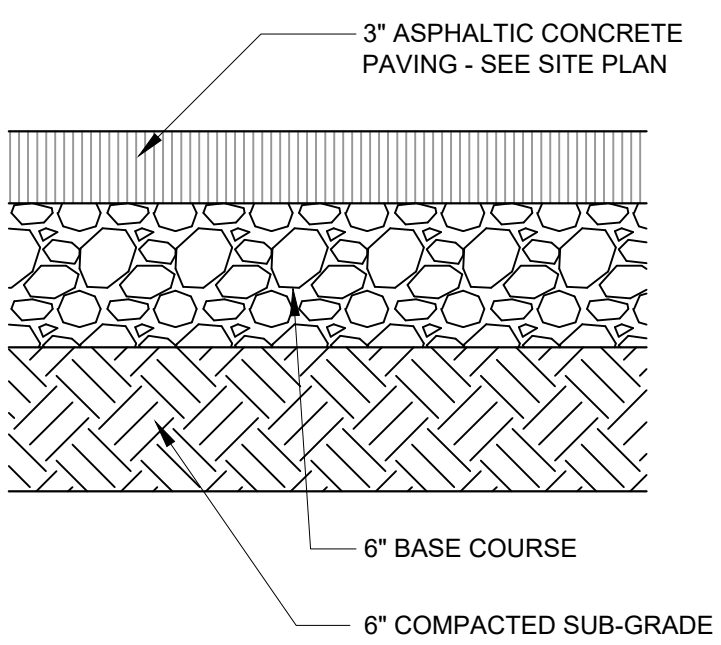
SITE PLAN

SEAL 	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-100
	DATE 07/17/2023	



REFUSE ENCLOSURE

SCALE: $\frac{1}{8}'' = 1'-0''$



R-A ZONING



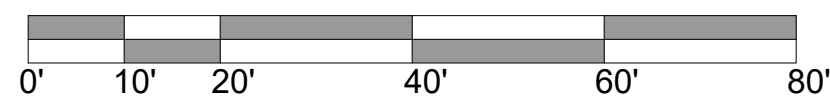
LOS ANAYAS RD NW (30' ROW MIN)

(RIGHT OF WAY VARIES ON LOS ANAYAS)

RT ZONING

SITE PLAN

SCALE: 1" = 20'-0"



PAVING SECTION

SCALE: NTS



D2 VALLEY GUTTER

D3 HC PARKING RAMP

SCALE: 1/4" = 1'-0"



D6 CURB & GUTTER

C1 BIKE RACK

C2 PARKING BUMPER

NOTE: CURB SLOPES UP ON BOTH SIDES AT 1:12.

SCALE: 1/4" = 1'-0"



C6 HEADER CURB

B1 FENCE ELEVATION

B2 FENCE PILASTER

B3 HC PAVEMENT MARKING

B4 HC PARKING SIGN

SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

B6 IRRIGATION

SCALE: NTS



NOTES:
INSTALL AN 8" X 8" X 16" SOLID CMU BLOCK @ EA. CORNER
OF THE VALVE BOX.
WASH ROCK SHALL BE INSTALLED FLUSH WITH BOTTOM
OF PIPE & VALVE.

A3 PLANTING DETAIL

A3 PLANTING DETAIL

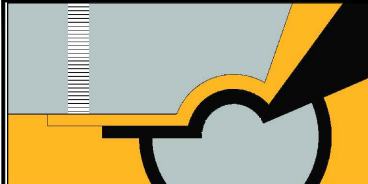
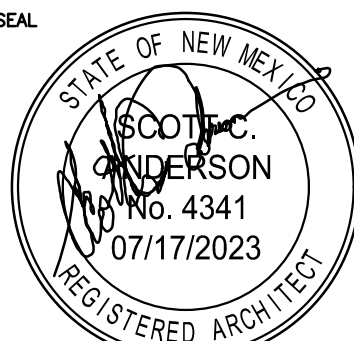
SCALE: NTS



SCALE: NTS



SCALE: 1" = 1'-0"

No	Revision	Item	Date
		SCOTT C. ANDERSON & associates architects 4419 4th st ne, suite b albuquerque, nm 87107 scott@scarchitects.com 505.401.7575	
RIO GRANDE APARTMENTS 2211 RIO GRANDE BLVD NW ALBUQUERQUE, NM 87104			
DRAWING TITLE			
ARCHITECTURAL SITE DETAILS			
SEAL 	DESIGNED	PROJECT NO	A-501
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED		
	DATE	07/17/2023	