

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 6, 2022

Scott Anderson RA  
Scott C. Anderson & Associate Architects  
4419 4<sup>th</sup> St. NW, Suite b  
Albuquerque, NM 87107

**Re: Rio Grande Apartments**  
**2211 Rio Grande Blvd. NW**  
**Traffic Circulation Layout**  
Architect's Stamp 01-17-22 (H12-D024)

Dear Mr. Scott,

Based upon the information provided in your submittal received 01-03-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. **Key note A:** Provide details for the proposed driveway entrance, and reference COA std dwg to identify all infrastructure.
3. 5-Foot sidewalk and curb is needed along Los Anayas Rd. NW
4. Provide dimensions for the existing and proposed sidewalk.
5. Provide pavement marking Arrows for the two-way drive aisle. And provide details for those Arrows.
6. Provide dimension for the clear sight triangle.
7. Please list the width and length for all proposed parking spaces. Some dimensions are not shown.
8. The minimum parking stall dimensions are:

9. Type of parking	10. Min. Width	11. Min. Length	12. Min. Overhang
13. Standard	14. 8.5'	15. 18'	16. 2'
17. Compact	18. 7.5'	19. 15'	20. 1.5'
21. Motorcycle	22. 4'	23. 8'	24. N/A
25. ADA	26. 8.5'	27. 18'	28. 2'

29. On-Street parking is NOT allowed. Please remove the striping from the city right of way.
30. 5-Foot sidewalk and curb is needed along Los Anayas Rd. NW
31. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the

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parking space so as to be close to where an adjacent vehicle's rear tire would be placed.  
(66-1-4.1.B NMSA 1978)

32. **Corner of Rio Grande Blvd. and Los Anayas rd:** ADA curb ramps must be updated to current standards and have truncated domes installed.
33. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
34. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
35. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway, provide details, and show the building entrance.
36. Provide curb ramp details as needed when providing the ADA pathway.
37. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
38. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, walls, public right-of-way, or abutting lots.
39. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way; provide a copy of refuse approval.
40. Provide fire marshal approval.
41. Please specify the City Standard Drawing Number when applicable.
42. Provide notes showing what work is included and on the work order and the private work on site.
43. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
44. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
45. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

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*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2211 Rio Grande Building Permit #: 21-33519 Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 17B, Block O, MRGCD MAP 35

City Address: 2211 Rio Grande Blvd NW, 87104

Applicant: Fritz Eberly Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Scott Anderson Contact: \_\_\_\_\_

Address: 4419 4<sup>th</sup> St NW Ste B, Alb, NM 87107

Phone#: 505 401 7575 Fax#: \_\_\_\_\_ E-mail: scott@searchitects.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

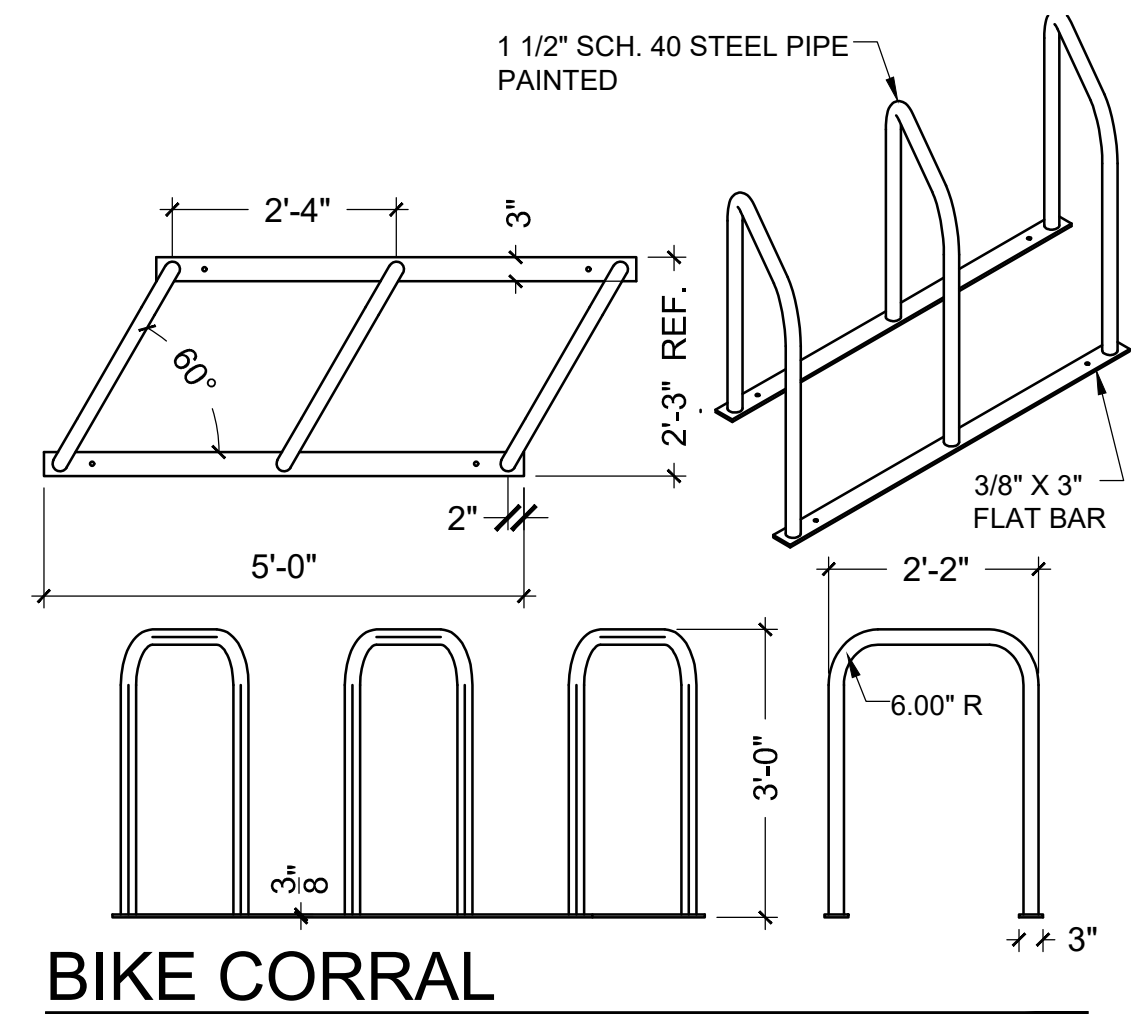
DATE SUBMITTED: 12/28/2021 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

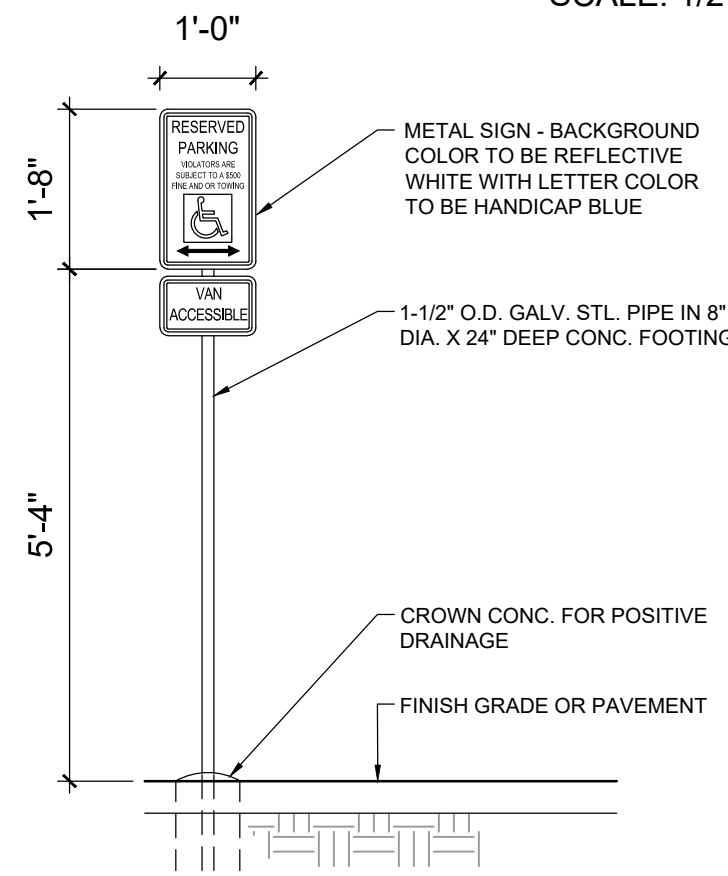
FEE PAID: \_\_\_\_\_





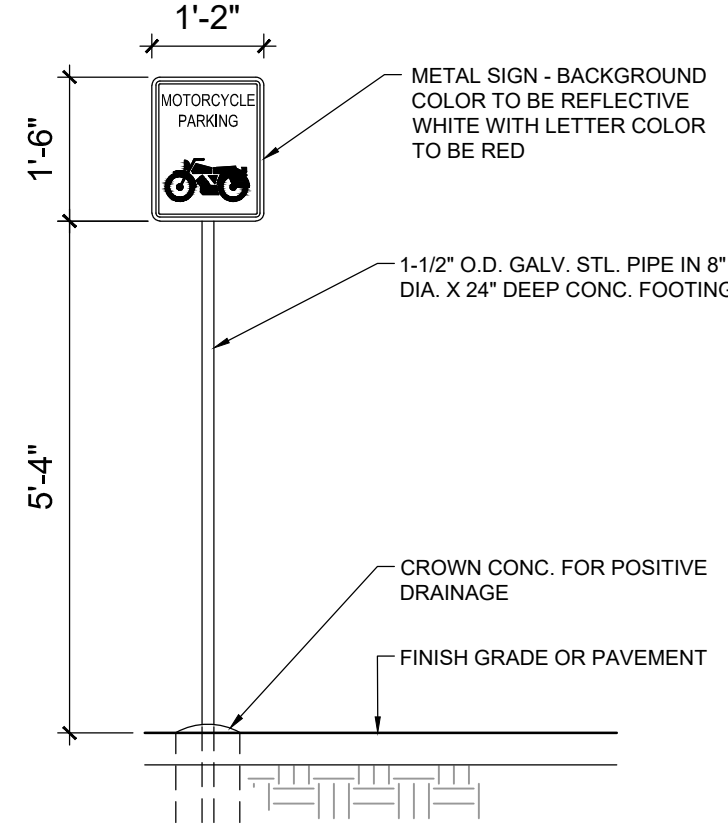
BIKE CORRAL

SCALE: 1/2" = 1'-0"



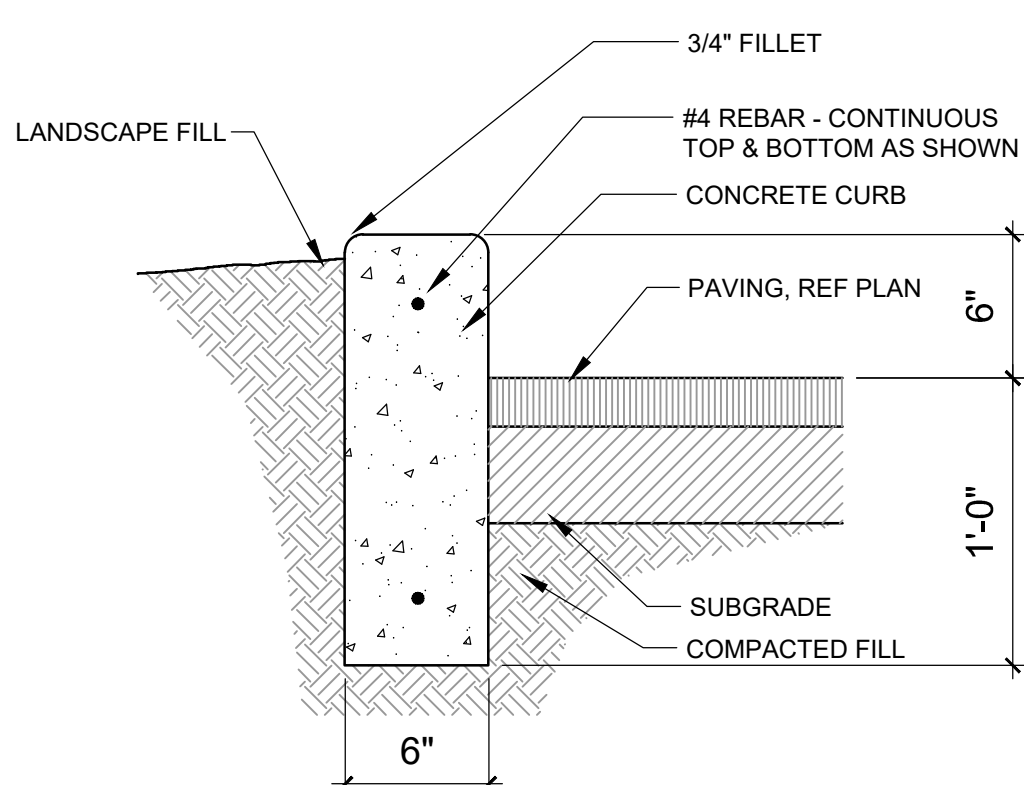
HC SIGN

SCALE: NTS



MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



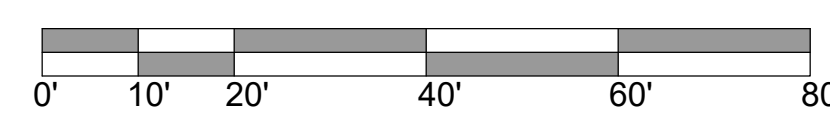
CURB DETAIL

SCALE: NTS



SITE PLAN

SCALE: 1" = 20'-0"



REFUSE ENCLOSURE

SCALE: 3/8" = 1'-0"

RECYCLING CONTAINER SPEC

Length	36 Inches
Width	29 13/16 Inches
Height	43 5/16 Inches
Capacity	96 Gallons
Casters	Yes
Color	Red
Features	Locking
Lid Type	Hinged

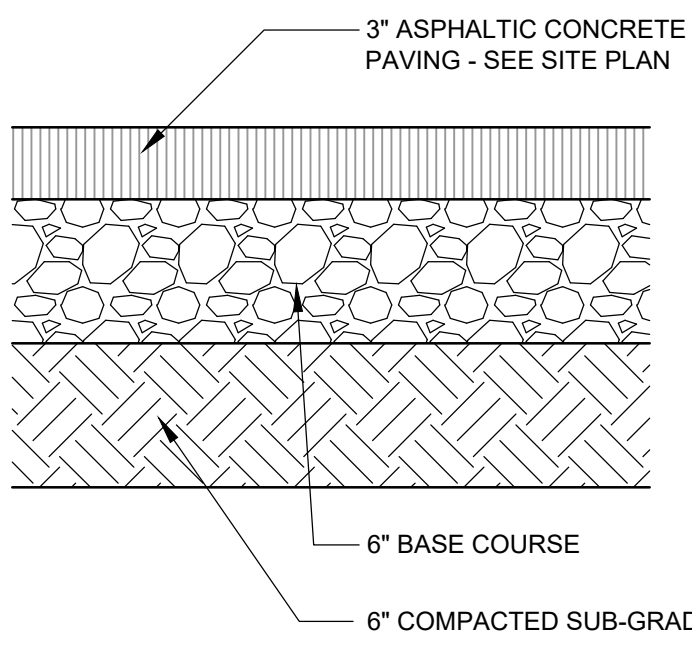
IDO TABLE 5-1-2 OPEN SPACE:  
1 BEDROOM: 26 EA X 200SF = 5,200 SF  
2 BEDROOM: 7 EA X 250SF = 1,750 SF

TOTAL REQUIRED = 6,950 SF

GRADE LEVEL = 7,545 SF  
PRIVATE BALCONIES = 4,320 SF  
3rd FLOOR DECK = 1,431 SF  
4th FLOOR DECK = 698 SF

TOTAL PROVIDED = 13,994 SF

SOLID WASTE CALCS:  
33 UNITS X 0.55 CY = 46.2 CY PER WEEK  
18.15 CY X 0.333 COMACTED = 6.04 CY PER WEEK  
2 EA, 2 CY CONTAINERS PROVIDED.



PAVING SECTION

SCALE: NTS

- KEYED NOTES
- A. NEW DRIVE CUT
  - B. 6 SPACE BIKE RACK, REF DETAIL THIS SHEET
  - C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  - E. NEW FIRE HYDRANT
  - F. IRRIGATION BOX
  - G. CLEAR SIGHT TRIANGLE
  - H. FIRE DEPT. CONNECTION
  - I. HC PARKING SYMBOL
  - J. CMU WALL
  - K. 6' ACCESSIBLE ROUTE
  - L. HEADER CURB, REF DETAIL THIS SHEET
  - M. PROPERTY LINE
  - N. 20'-0" SETBACK
  - O. NOT USED
  - P. ELECTRIC VEHICLE CHARGING STATION
  - Q. 4' PERSONNEL GATE
  - R. SECURITY FENCE
  - S. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
  - T. PICKUP AREA FOR RECYCLING BINS
  - U. STORAGE AREA FOR RECYCLING BINS

NOTE:  
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY  
MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT  
INTERFERE WITH CLEAR SIGHT REQUIREMENTS.  
THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY  
BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE  
GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR  
SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED  
OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN  
ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES  
70 WATTS OR GREATER SHALL BE SHIELDED USING FULL  
CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY  
ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2  
FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

PARKING:  
MULTI-FAMILY DWELLING: 33 X 1.5 = 49 SPACES  
SPACES PROVIDED = 44  
5 EACH ELECTRIC CHARGING STATIONS PROVIDED X 2: 44+10=54 SPACES  
TOTAL PARKING PROVIDED = 54 SPACES

HC REQUIRED: 1 STANDARD, 1 VAN  
2 MOTORCYCLE REQUIRED  
1 EA. 6 SPACE BIKE RACK

GROSS LOT AREA = 34,813 SF  
BUILDING FOOTPRINT = 11,983 SF  
NET LOT AREA = 22,830 SF  
REQUIRED LANDSCAPE AREA @ 15% = 3,425 SF ; 7,545 SF PROVIDED

UPC: 101205950648911247  
LEGAL: LOT 17-B, BLOCK 0000, MRGCD MAP 35  
ZONING: R-MH  
ZONE ATLAS PAGE: H12

No	Revision	Item	Date
RIO GRANDE APARTMENTS 2211 RIO GRANDE BLVD NW ALBUQUERQUE, NM 87104			
DRAWING TITLE <b>TCL</b>			
SEAL 	DESIGNED DRAWN CHECKED REVIEWED DATE 1/17/2022	PROJECT NO SCALE DRAWING NO	<b>TCL</b>