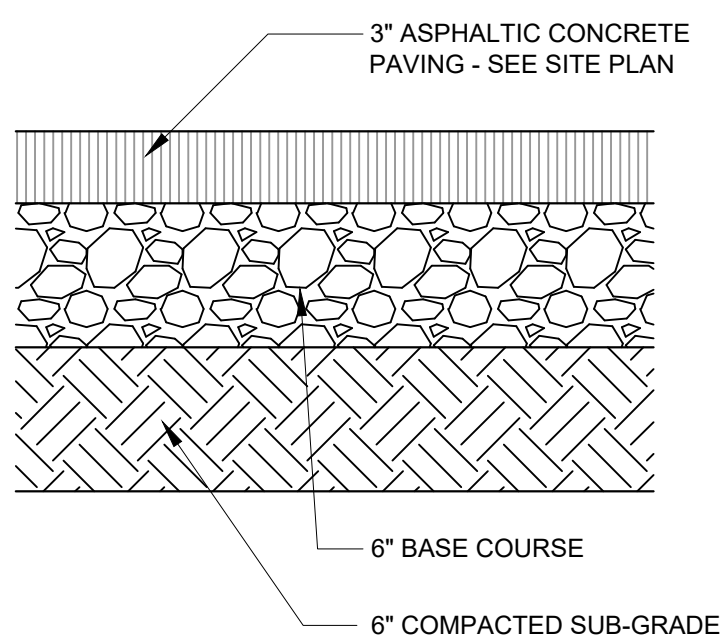


SCALE: $\frac{1}{8}" = 1'-0"$



SCALE: NTS

Length	36 Inches
Width	29 13/16 Inches
Height	43 5/16 Inches
Capacity	96 Gallons
Casters	Yes
Color	Red
Features	Locking
Lid Type	Hinged

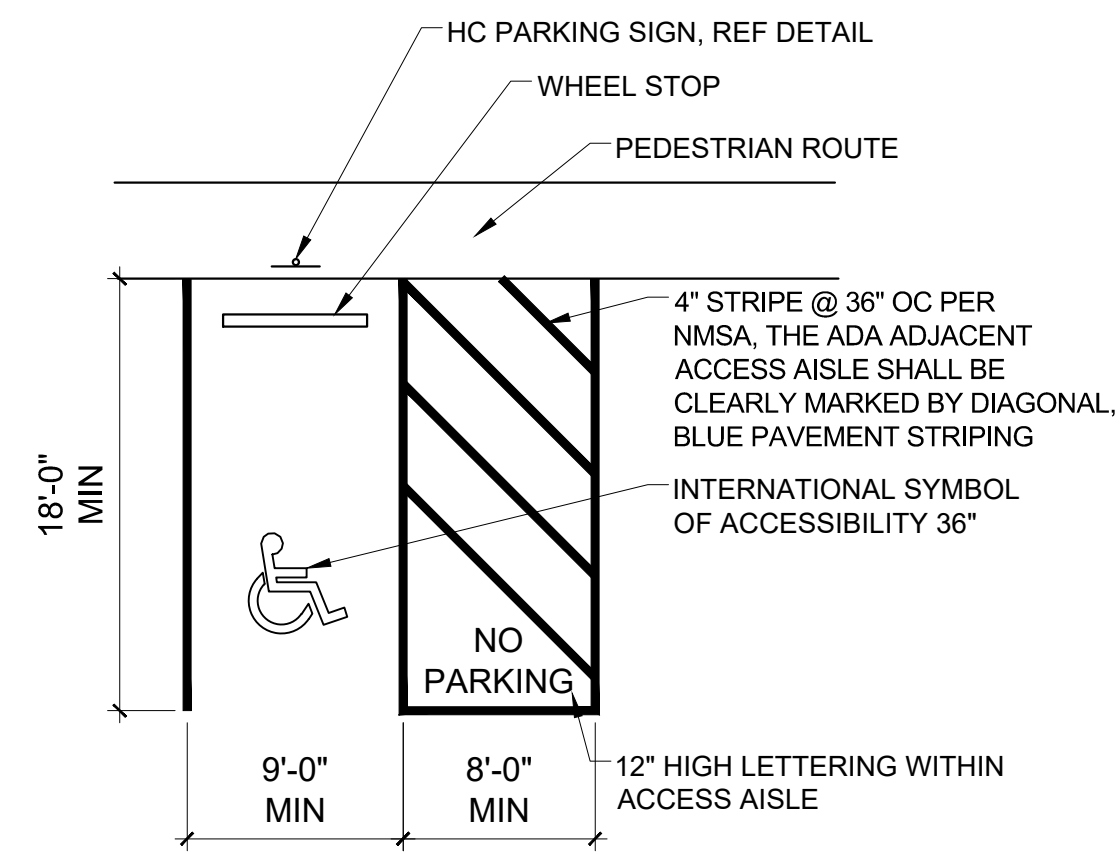
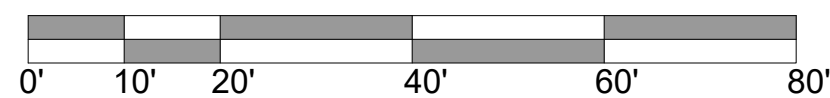
NOTE:
PROPERTY OWNER RESPONSIBLE FOR PLACING
RECYCLING AT DESIGNATED COLLECTION POINT ON
COLLECTION DAY.

PROPERTY OWNER RESPONSIBLE FOR PLACING REFUSE
IN ENCLOSURE ON COLLECTION DAY

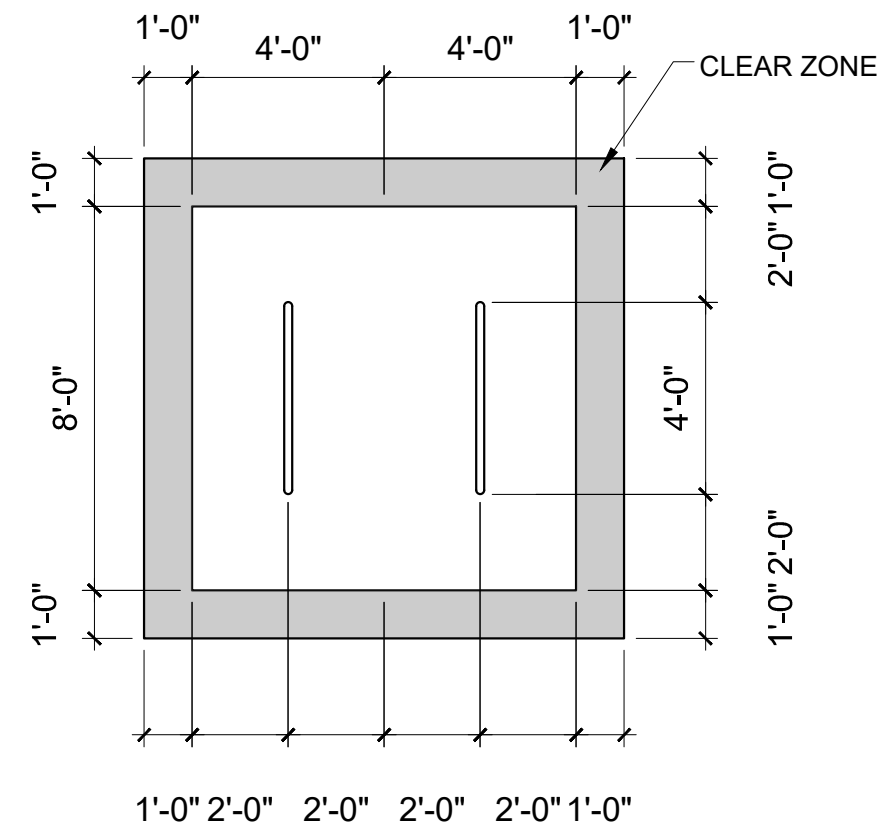
CABQ SOLID WASTE DEPARTMENT SHALL HAVE 24HR
ACCESS TO THE SITE AND BE PROVIDED WITH KEYPAD
GATE CONTROL TO ENTER THE SITE

[illegible]

SCALE: 1" = 20'-0"



SCALE: $\frac{1}{8}" = 1'-0"$



SCALE: $\frac{1}{8}" = 1'-0"$

IDO TABLE 5-1-2 OPEN SPACE:
1 BEDROOM: 17 EA X 225 SF = 3,825 SF
2 BEDROOM: 13 EA X 285 SF = 3,705 SF

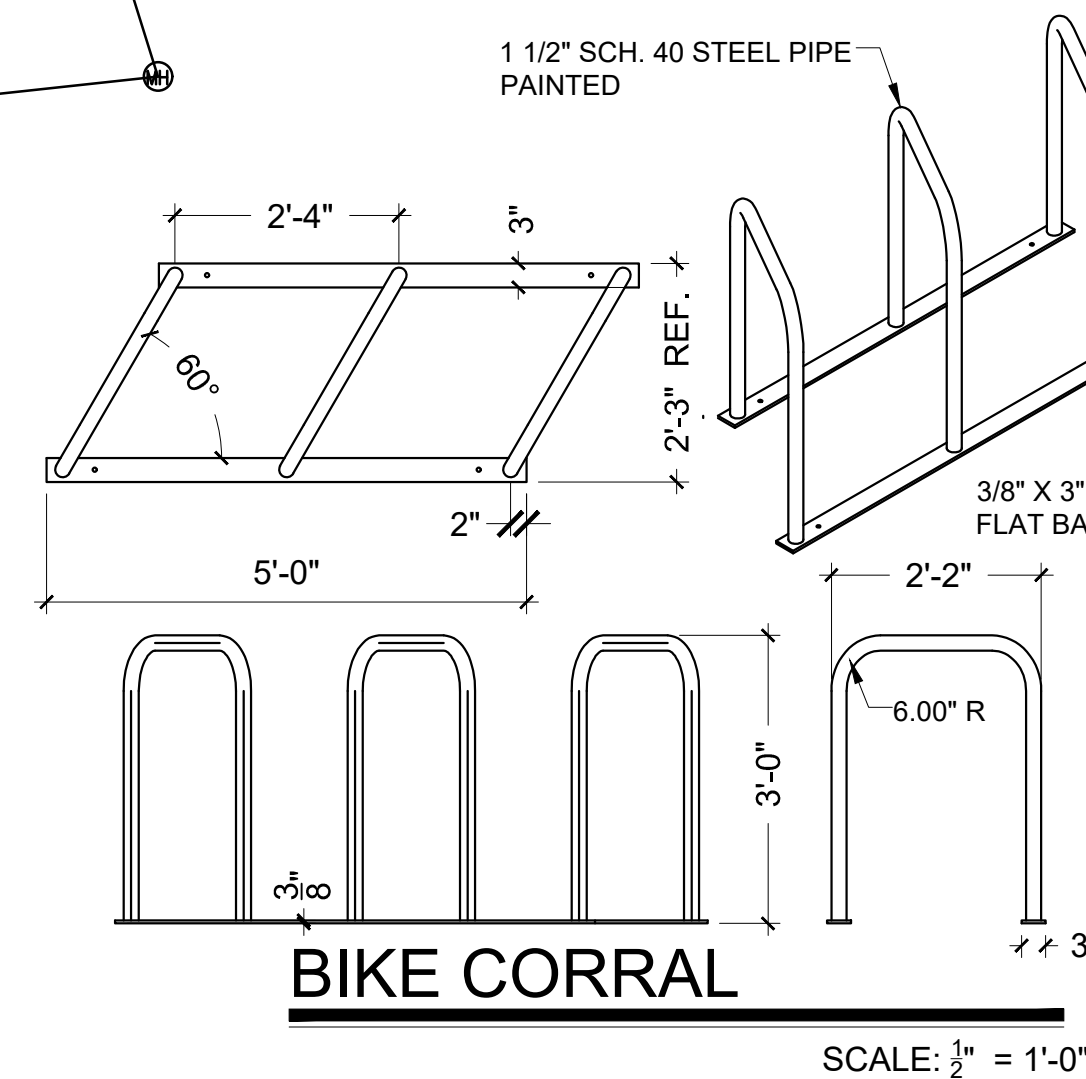
TOTAL REQUIRED = 7,530 SF

GRADE LEVEL COMMUNAL SPACE = 7,722 SF
GRADE LEVEL PATIO = 569 SF
2nd LEVEL BALCONIES = 1,369 SF
3rd LEVEL BALCONIES = 1,297 SF

TOTAL PROVIDED = 10,957 SF

SOLID WASTE CALCS:
30 UNITS X 0.55 CY = 16.5 CY PER WEEK
16.5 CY X 0.333 COMACTED = 5.5 CY PER WEEK
3 EA, 2 CY CONTAINERS PROVIDED.

UPC: 101205950648911247
LEGAL: LOT 17-B, BLOCK 0000, MRGCD MAP 35
ZONING: R-MH
ZONE ATLAS PAGE: H12



KEYED NOTES

- A. NEW 25FT DRIVE CUT REF COA STANDARD DETAIL 2425A
- B. 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- C. MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- D. H.C. PARKING SIGN, REF DETAIL SHEET A-501
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. CLEAR SIGHT TRIANGLE 13'x100', 13'x130'
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. CMU WALL
- K. EXISTING UTILITY POLE TO REMAIN
- L. HEADER CURB, REF DETAIL SHEET A-501
- M. PROPERTY LINE
- N. 20'-0" SETBACK
- O. 6' SIDEWALK W/ CURB AND GUTTER
- P. ELECTRIC VEHICLE CHARGING STATION
- Q. 4' PERSONNEL GATE
- R. 10'-0" ADA ACCESSIBLE PEDESTRIAN PATHWAY
- S. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
- T. PICKUP AREA FOR RECYCLING BINS
- U. STORAGE AREA FOR RECYCLING BINS
- V. EXISTING POWER POLE TO BE REMOVED
- W. EXISTING OVERHEAD UTILITY LINE
- X. EXISTING OVERHEAD UTILITY LINE TO BE RELOCATED UNDERGROUND
- Y. ADA RAMP REF COA STANDARD DETAIL 2426
- Z. EDGE OF EXISTING ROAD
- AA. "NO PARKING" IN CAPITAL LETTERS 1'-0" HIGH X 2" WIDE
- AB. MIN. BUILDING SETBACK LINE PER IDO
- AC. LINE OF BUILDING ABOVE
- AD. REFUSE TRUCK TURN AROUND, NO PARKING
- AE. VEHICLE TURN AROUND, NO PARKING
- AF. VEHICULAR GATE
- AG. GATE ACCESS KEYPAD

NOTE:
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC
WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

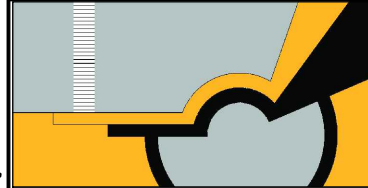
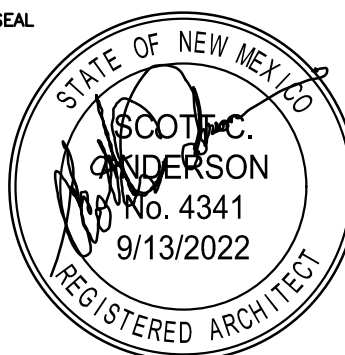
BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

PARKING:
MULTI-FAMILY DWELLING: 30 X 1.5 = 45 SPACES
OFF STREET SPACES PROVIDED = 42
ELECTRIC CHARGING STATIONS PROVIDED = 6
TOTAL PARKING PROVIDED = 48 SPACES

HC REQUIRED: 1 STANDARD, 1 VAN
2 MOTORCYCLE REQUIRED
1 EA. 6 SPACE BIKE RACK

GROSS LOT AREA = 34,813 SF
BUILDING FOOTPRINT = 11,983 SF
NET LOT AREA = 22,830 SF
REQUIRED LANDSCAPE AREA @ 15% = 3,425 SF ; 7,545 SF PROVIDED

No	Revision	Item	Date
		SCOTT C. ANDERSON & associates architects 4419 4th st ne, suite b albuquerque, nm 87107 scott@scacarchitects.com 505-401-7575	
RIO GRANDE APARTMENTS 2211 RIO GRANDE BLVD NW ALBUQUERQUE, NM 87104			
DRAWING TITLE			
<h1>SITE PLAN</h1>			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	<h1>A-100</h1>	
	DATE 9/13/2022		

RIO GRANDE APARTMENTS
2211 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104

DRAWING TITLE

SITE PLAN

SEAL	DESIGNED
	DRAWN
	CHECKED
	REVIEWED
	DATE 9/13/2022

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 28, 2022

Scott Anderson, RA
Scott C. Anderson & Associates Architects
4419 4th St. NW, Suite B
Albuquerque, NM 87107

Re: Rio Grande Apartments
2211 Rio Grande Blvd. NW
Traffic Circulation Layout
Architect's Stamp 09-13-22 (H12-D024)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 09-19-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Per City requirement, please provide 50 ft. access throat length. See attached table 7.4.81
2. Due to proposing a gate (keynote AF), Please show Turning movement Template on the site plan.
3. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space. For the parking spaces at the southeast of the site.
4. Sheet A-501 is missing.
5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.
6. ADA curb ramp at the corner of Rio Grande and Los Anayas Rd must be updated to current standards and have truncated domes installed.
7. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
8. The pavement marking "MC" should be shown in the opposite direction for Motorcycles entering the parking space.
9. A 5 ft. keyway is required for dead-end parking aisles at the south side of the site.
10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
11. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
12. All sidewalks along streets should be placed at the property line.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

13. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
14. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
15. Provide a copy of Fire Marshal approval.
16. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
17. Please specify the City Standard Drawing Number when applicable.
18. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
19. Please provide a letter of response for all comments given.
20. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

PO Box 1293

Once corrections are complete resubmit

Albuquerque

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

NM 87103

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: 21-33519 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 2211 Rio Grande Blvd NW

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Scott Anderson Contact: _____

Address: 4419 4th St NW Ste B, 87107

Phone#: 5054017575 Fax#: _____ E-mail: scott@searchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/15/2022

By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____