

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 15, 2025

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 2021 Rio Grande Blvd NW
Tract A-1-A Max Replat (Lots 1 & 2 Prado Del Bosque)
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: 7/7/25
Hydrology File: H12D031
Case # HYDR-2025-00255**

Dear Mr. Soule:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 07/15/2025, the Conceptual Grading & Drainage Plans are preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit and for action by the Development Hearing Officer (DHO) on platting.

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

www.cabq.gov

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

DRAINAGE NARRATIVE

THE PURPOSE OF THIS PLAN IS TO PROVIDE THE EXISTING AND PROPOSED DRAINAGE PARAMETERS FOR THE PROPOSED LOT SPLIT. FUTURE DEVELOPMENT WILL REQUIRE SITE SPECIFIC GRADING PLAN AT TIME OF PERMITTING. NO GRADING PROPOSED WITH THIS PLAN

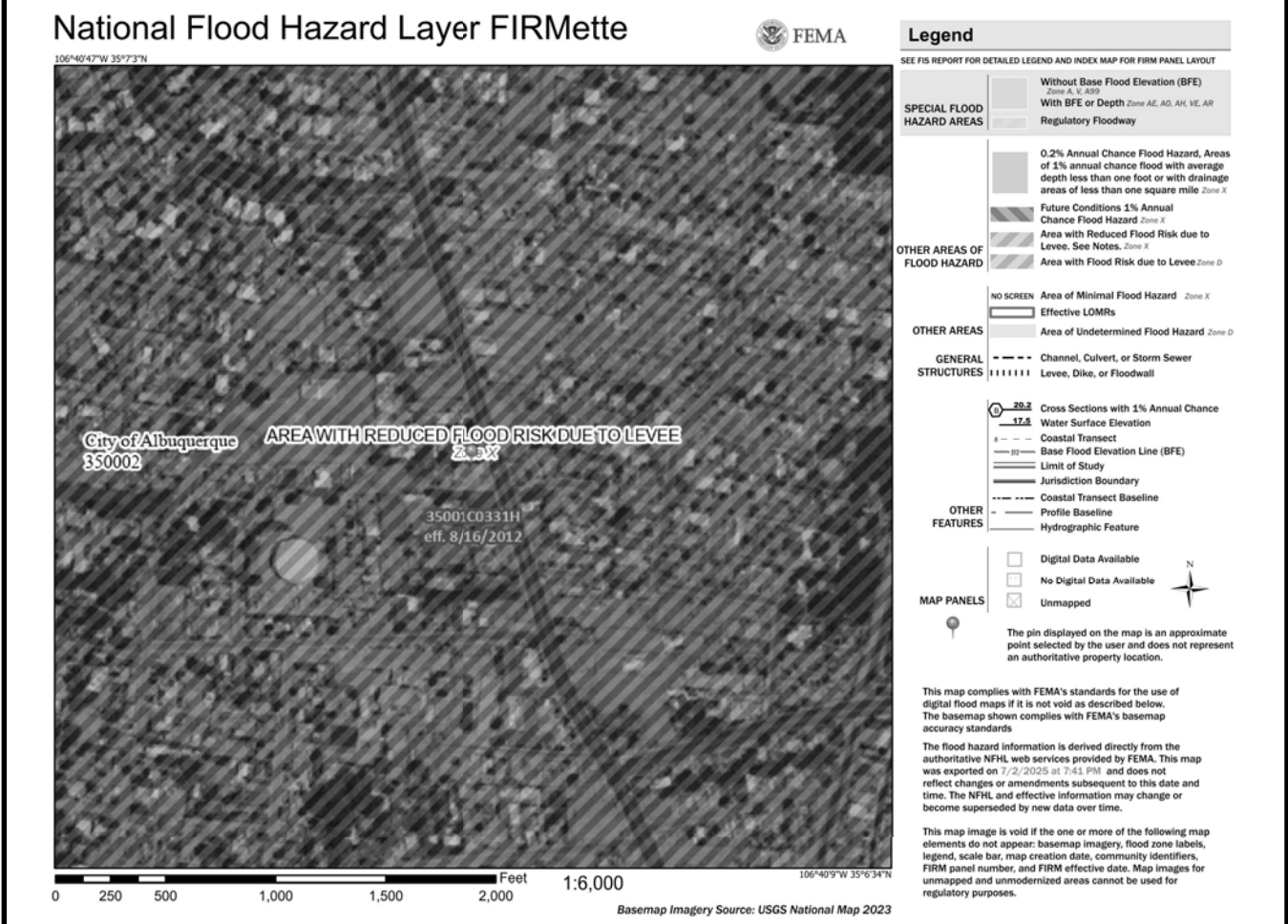
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: H-12-Z



FIRM MAP:

LEGAL DESCRIPTION:
TRACT A-1-A MAX REPLAT (LOTS 1 & 2 PRADO DEL BOSQUE)
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

- NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
 5. LONG TERM MAINTAINANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED

LEGEND

- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- PROPOSED 2' WIDE COBBLE SWALE

DAVID SOULE, HAVE PERSONALLY INSPECTED THE PROPERTY ON 7/3/25, NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.

DATE 7/7/25

DAVID SOULE P.E. #14522

ENGINEER'S SEAL	TRACT A-1-A MAX REPLAT LOTS 1 & 2 PRADO DEL BOSQUE	DRAWN BY DEM
DAVID SOULE P.E. #14522	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7-4-25
7/7/25	DAVID SOULE P.E. #14522	Lot 1 & 2 Prado Del Bosque.dwg
		SHEET # C1
		JOB #

