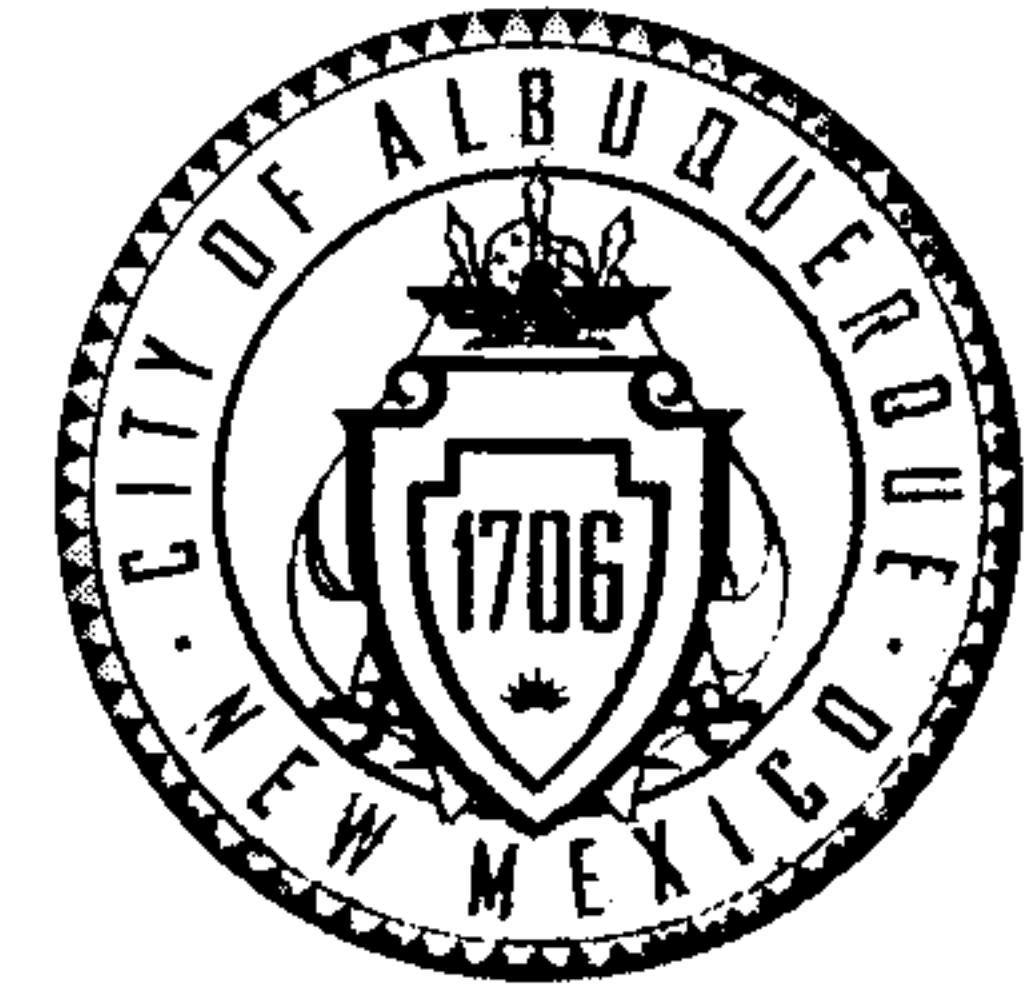


CITY OF ALBUQUERQUE



October 20, 2016

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: Starbuck's
1000 Rio Grande NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 6-17-16 (H13D021)
Certification dated: 9-7-16**

Dear Mr. Afaghpour,

Based on the Certification received 10/20/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

PO Box 1293

Albuquerque

New Mexico 87103

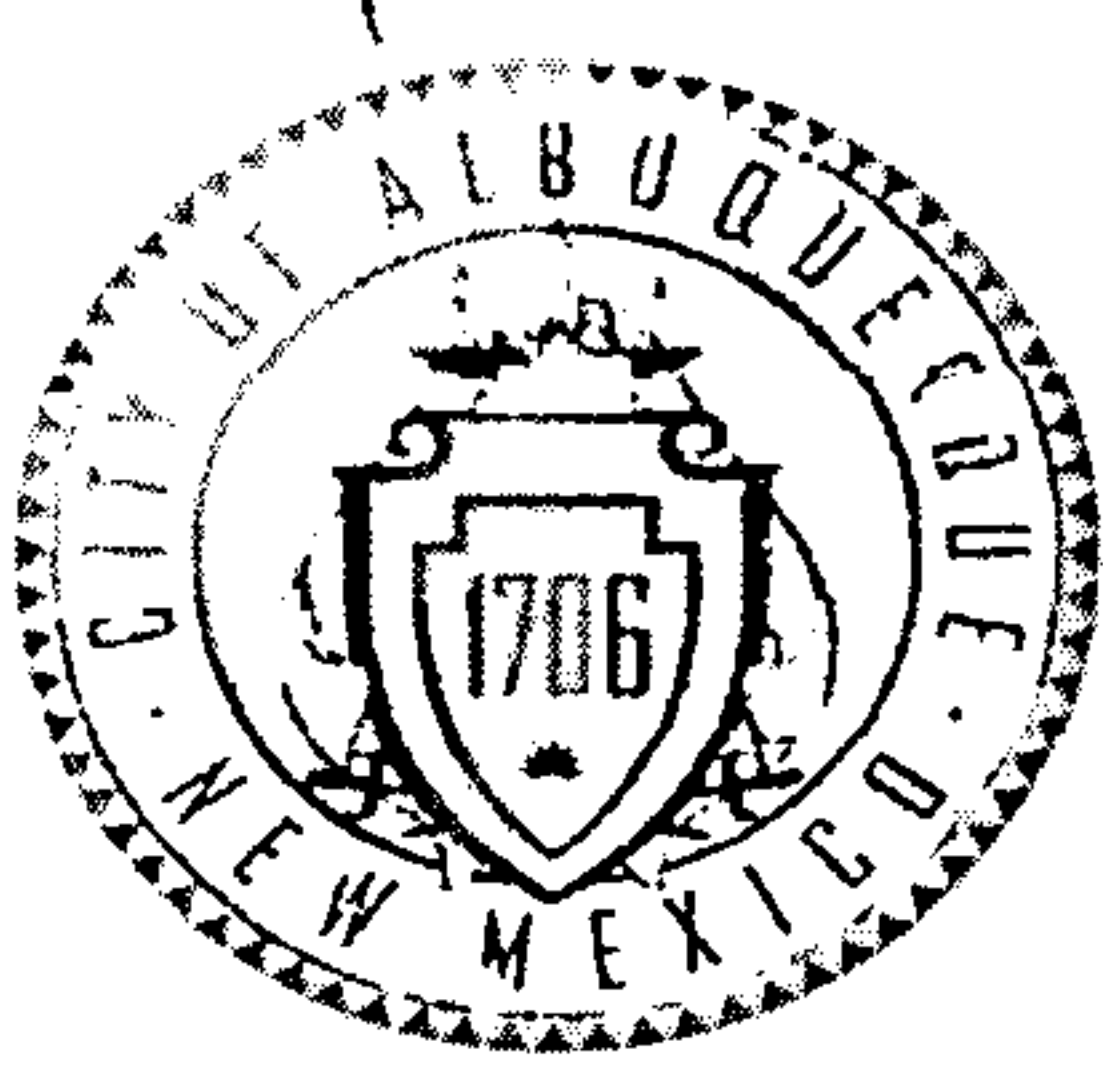
Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Commercial Apart. building ph I Building Permit #: Hydrology File #: H13-D021

DRB#: EPC#: Work Order#:

Legal Description: TRACTS 338-B-1 AND 338-B-2 MRGCD MAP 35

City Address: 1000 RIO GRANDE BLVD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

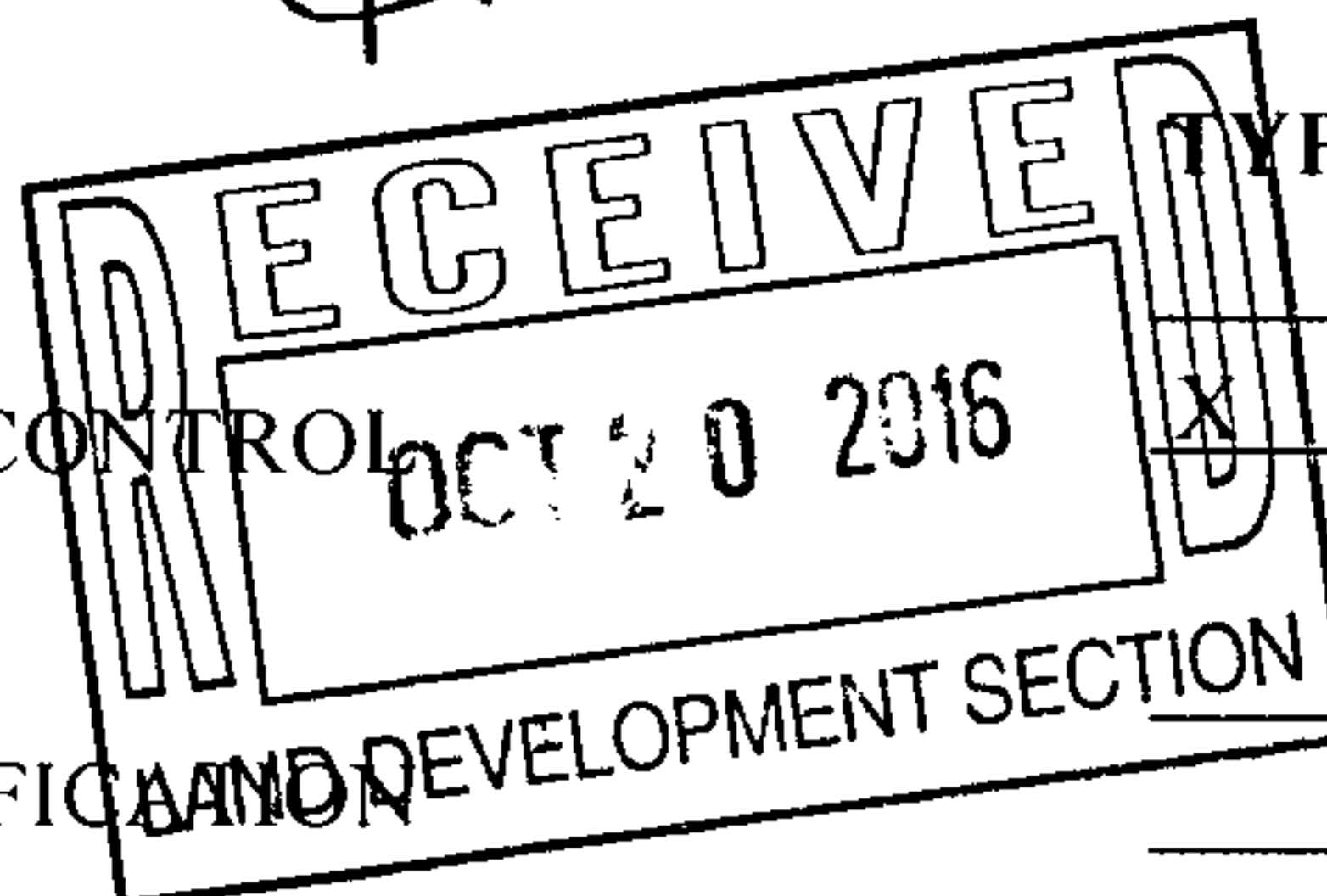
- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION AND DEVELOPMENT SECTION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

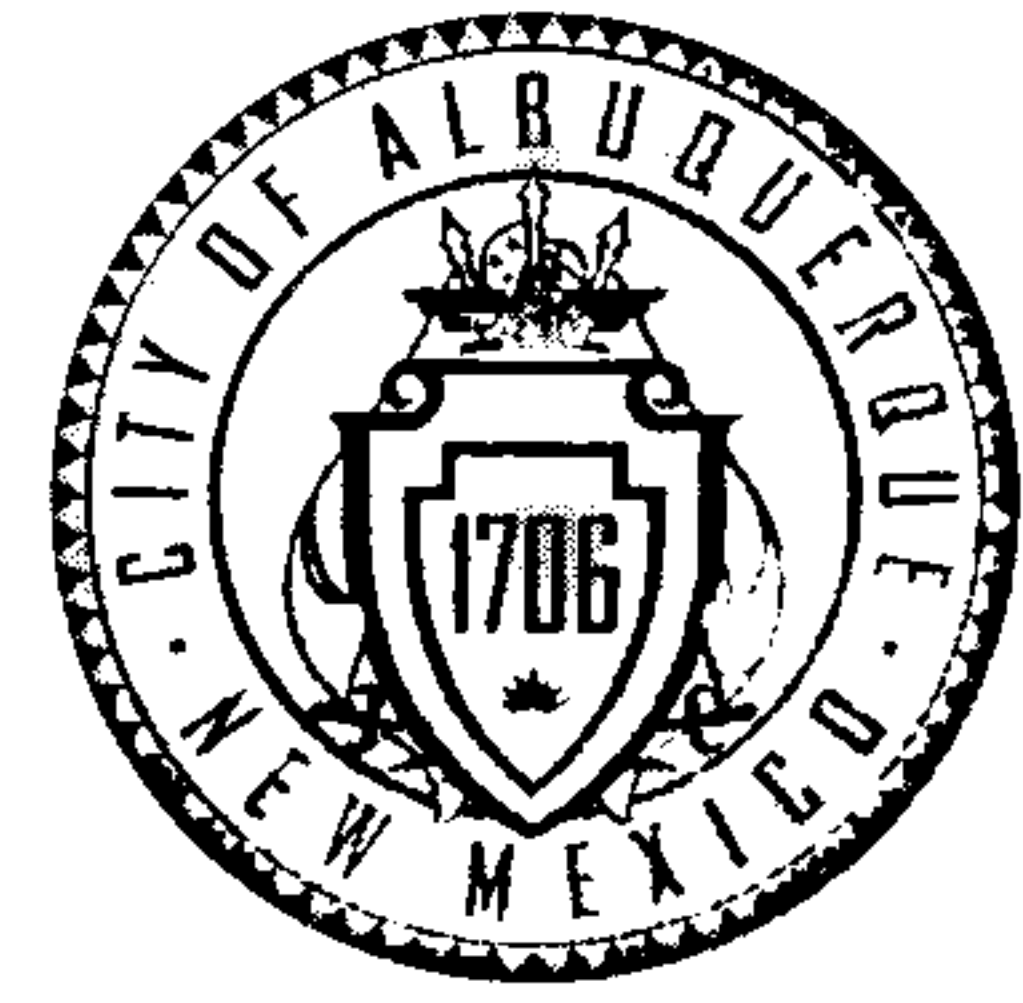


IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 10-19-2016 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



June 10, 2016

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

Re: Burger King
1010 Rio Grande NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 6-17-15 (H13D021)
Certification dated: 3-24-16

Dear Mr. Afaghpour,

PO Box 1293 Based on the Certification received 6/8/2016, the site is acceptable for release of Certificate
of Occupancy by Hydrology.

Albuquerque If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

New Mexico 87103 Sincerely,

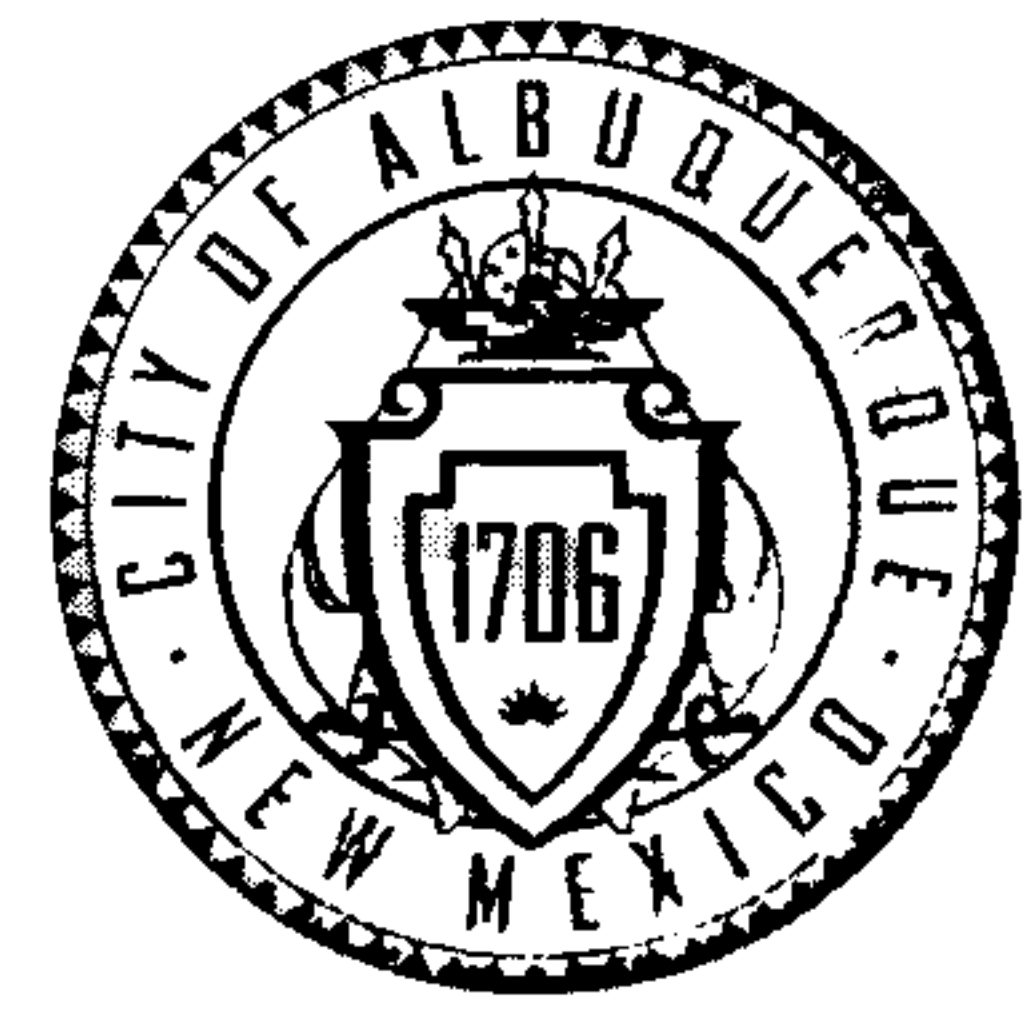
www.cabq.gov

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

TE/RH

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

CITY OF ALBUQUERQUE



JUNE 9,
~~April 26~~, 2016

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: Starbuck's
1000 Rio Grande NW
Request 30-Day Temporary C.O. - Accepted
Engineer's Stamp dated: 6-17-15 (H13D021)
Certification dated: 3-24-16**

Dear Mr. Afaghpour,

Based on the Certification received 6/8/2016, the site is released for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- The sidewalk on the south side of the building was not as-built on the drawings. Sidewalk is blocking flows to pond. Provide pipe underneath or sidewalk culvert.
- Transformer is on a mound that is diverting flows to the south and not into pond 'A'. A landscape water valve box is blocking flows into pond 'A'.

PO Box 1293

Albuquerque

An inspection by our office will need to take place after these corrects are made.

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

New Mexico 87103

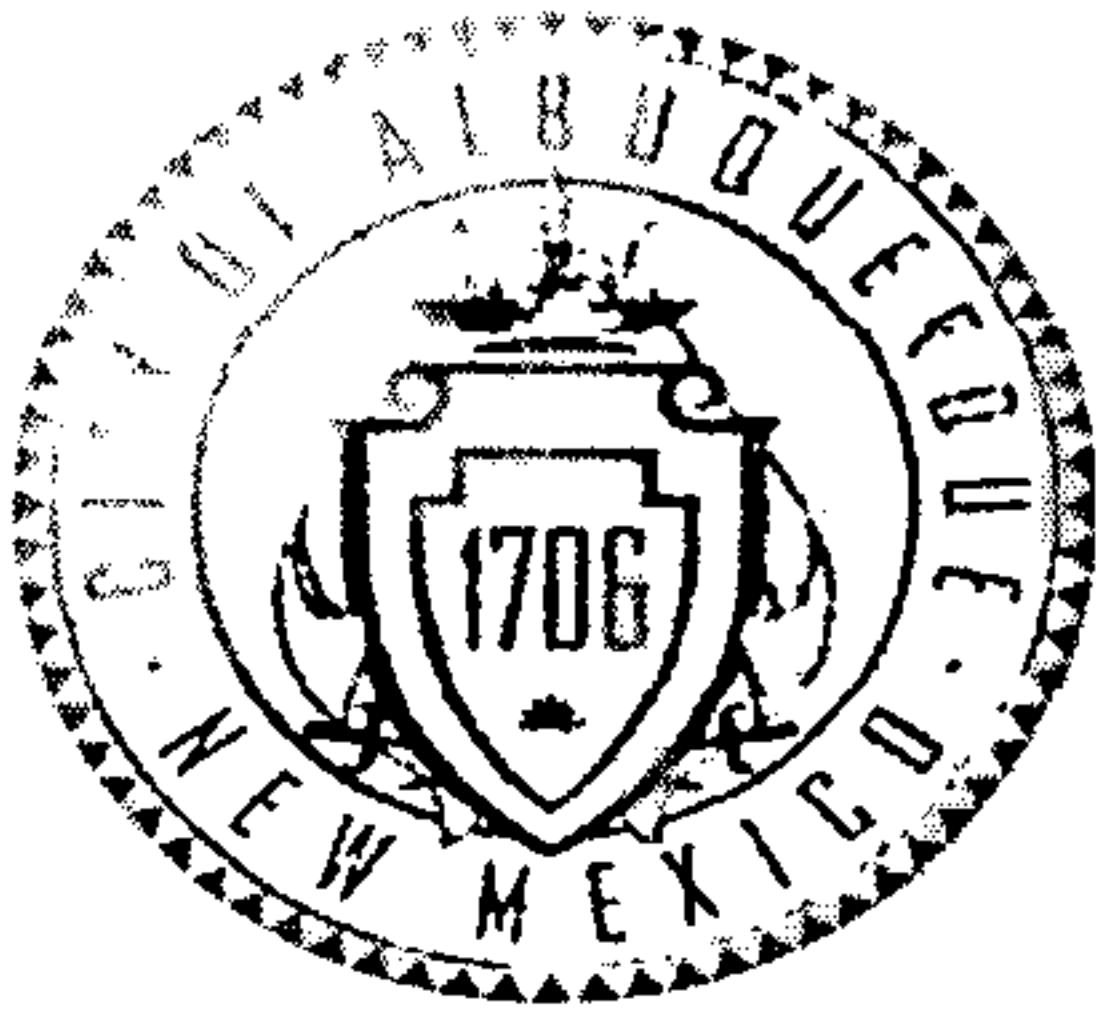
Sincerely,

www.cabq.gov

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

TE/RH

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Commercial Apart. building ph I Building Permit #: Hydrology File #: H13-D021
DRB#: EPC#: Work Order#:

Legal Description: TRACTS 338-B-1 AND 338-B-2 MRGCD MAP 35

City Address: 1000 AND 1010 RIO GRANDE BLVD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: Contact:
Address:
Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 6-6-2016 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Commercial Apart. building ph I Building Permit #: Hydrology File #: H13-D021

DRB#: EPC#: Work Order#:

Legal Description: TRACTS 338-B-1 AND 338-B-2 MRGCD MAP 35

City Address: 1000 AND 1010 RIO GRANDE BLVD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

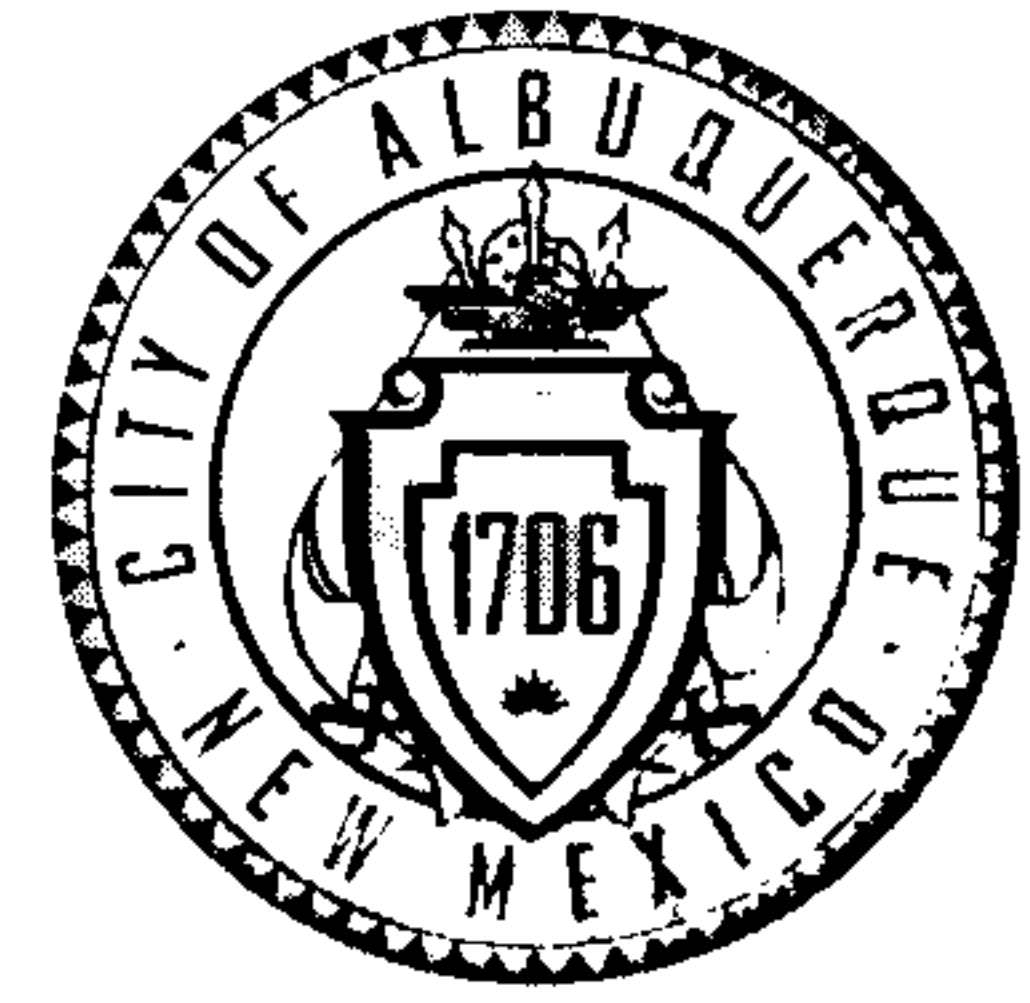
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 6-6-2016 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



March 25, 2016

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

Re: 1000 Grande NW
Request 30-Day Temporary C.O. - Accepted
Engineer's Stamp dated: 6-17-15 (H13D021)
Certification dated: 3-24-16

Dear Mr. Afaghpour,

Based on the Certification received 3/24/2016, Hydrology has no objection to the issuance of a 30-day Temporary Certification of Occupancy based solely on the Hydrology Certification received from Reza Afaghpour, PE. This letter serves as a "green tag" from Hydrology for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the Hydrology Department must receive a complete acceptable submittal package from the applicant. An inspection of the site must be conducted by the City of Albuquerque Hydrology Department with all site improvements in compliance with all City of Albuquerque Standards.

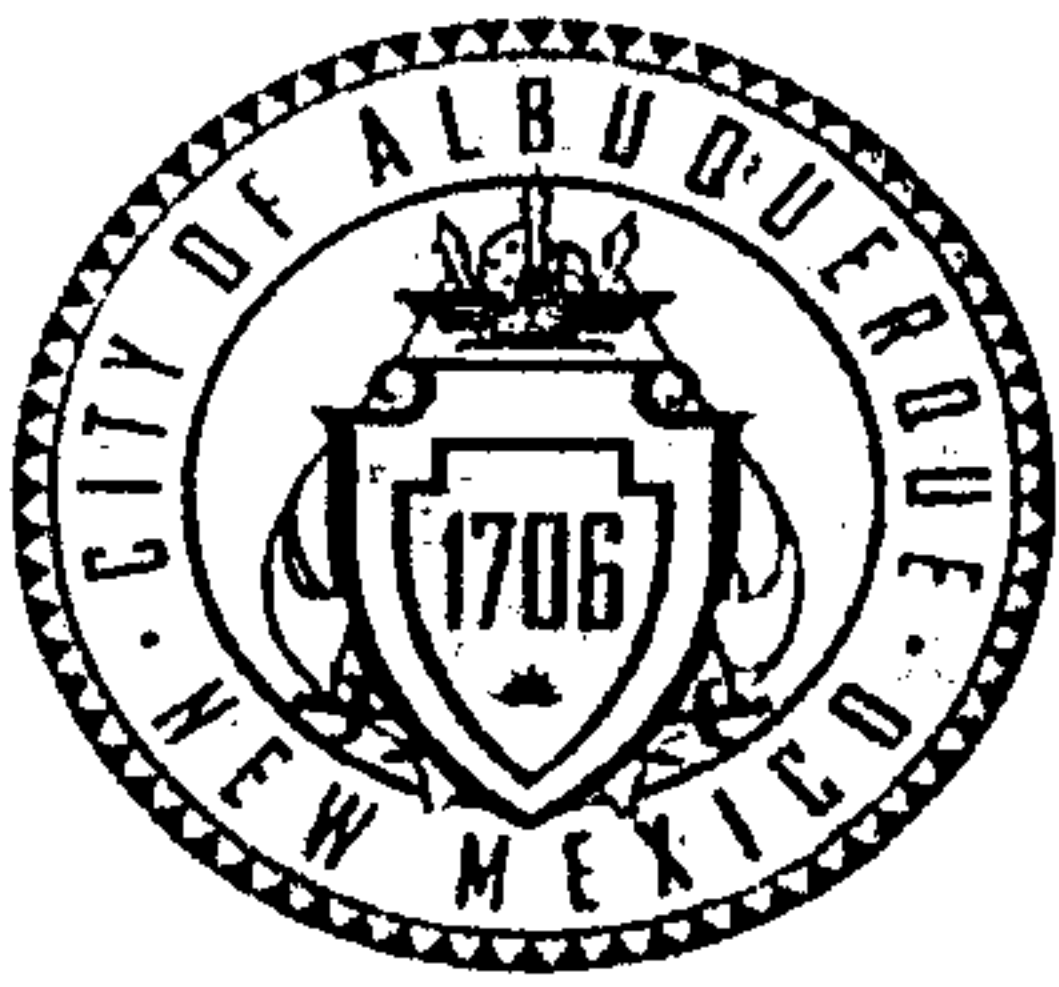
If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 Rio Grande, NW Building Permit #: _____ City Drainage #: H13-D021

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract 338-B-1, MPBCD Map 35

City Address: 1000 Rio Grande Blvd, NW

Engineering Firm: SBS Construction and Eng., LLC Contact: Shawn Biazar

Address: 10209 Snowflake Ct. NW, Alb. NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@aol.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM) Temp (30 days)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

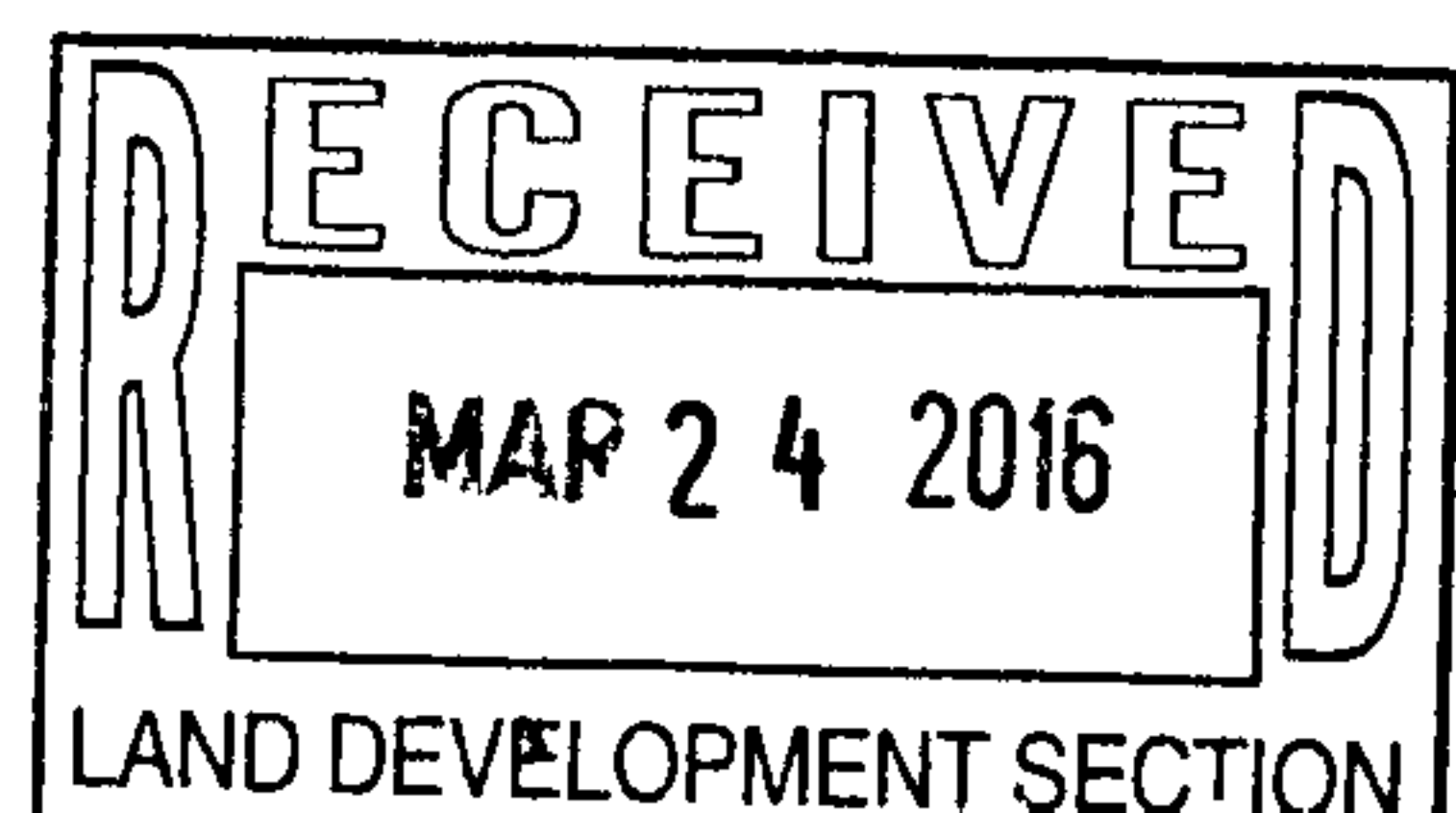
Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 3/24/16

By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE



June 25, 2015

Reza Afaghpour, PE
through SBS Construction and Engineering, LLC
10209 Snowflake Court NW
Albuquerque, NM 87114

**RE: Starbucks and Burger King, Tract 338-B, 1000 Rio Grande Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date 6-17-2015 (File: H13-D021)**

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 6-18-15, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Also, please have an Erosion and Sediment Control Plan approved prior to Building Permit approval.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3924.

Albuquerque

Sincerely,

New Mexico 87103

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf via Email: Recipient, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 AND 1010 RIO GRANDE BLVD., NW Building Permit #: _____ City Drainage #: H13-D021
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACTS 338-B-1 AND 338-B-2, MRGCD MAP 35
City Address: 1000 (STARBUCKS)AND 1010 (BURGER KING) RIO GRANDE, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

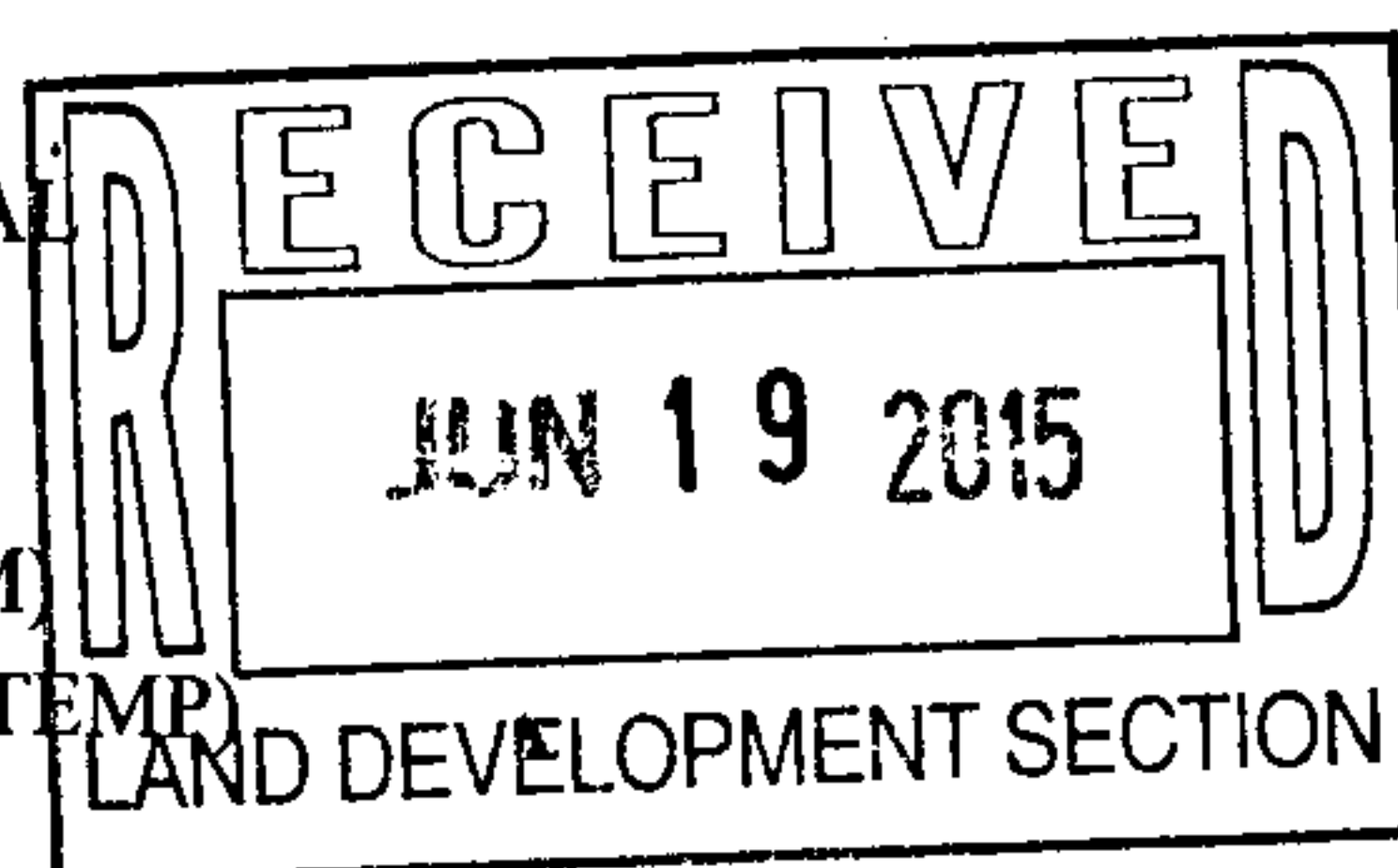
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



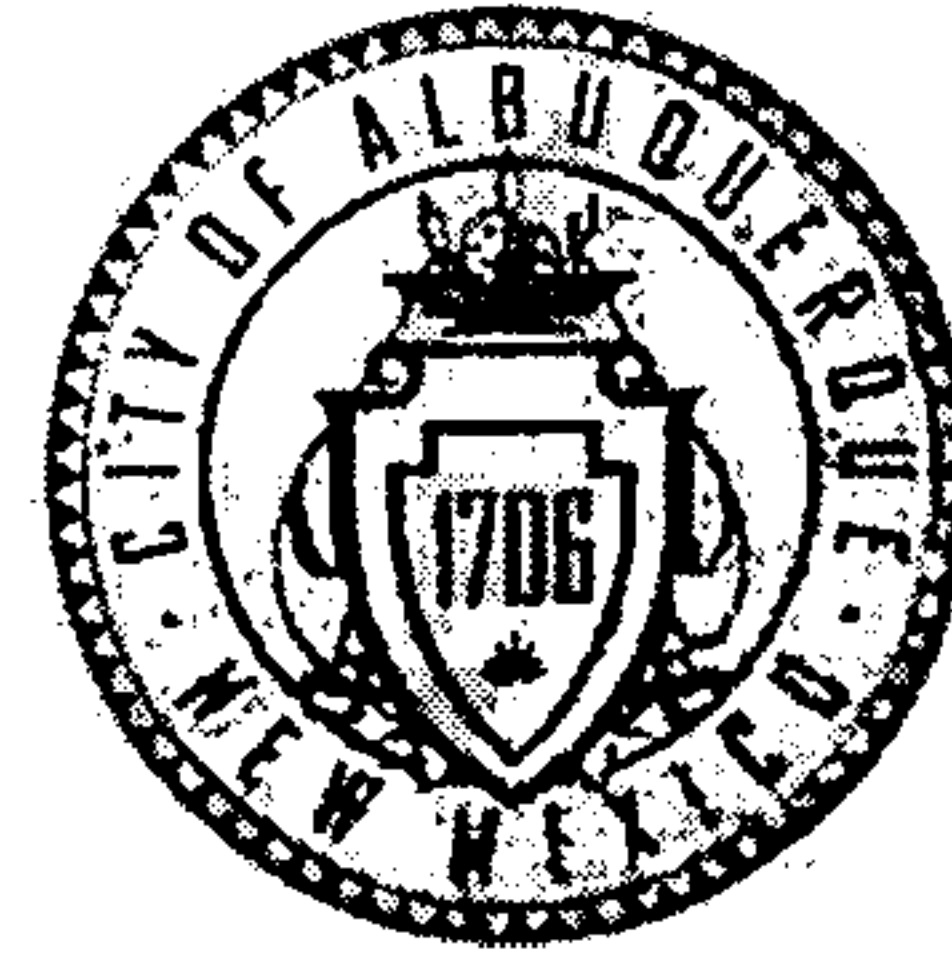
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 06/18/2015 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



June 15, 2015

Reza Afaghpour, PE
through SBS Construction and Engineering, LLC
10209 Snowflake Court NW
Albuquerque, NM 87114

RE: Starbucks and Burger King, Tract 338-B, 1000 Rio Grande Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date 5-16-2015 (File: H13-D021)

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 5-18-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 4-6-15 Reza Afaghpour
- 1) If the curb cut at the accessway is allowing discharge from Pond D, label the swale from this pond to the 61.65 elevation, delineating a clear path for stormwater to spill from the pond.
 - 2) Provide a small section of riprap downstream of the curb cut within the swale at the north boundary of the site (Elevation 62.15) where flow is being collected from the north building in order to prevent site erosion near the property boundary. *OK*
 - 3) Text for "Irrigation Pipe not to be Disturbed" is cut off on the right side of the plan view.
 - 4) The 92.75 elevation shown within the parking lot at the corner of one of the handicapped parking spaces is in error. I think it was meant to put "62.75"?
 - 5) Provide a grease trap to collect storm drainage from the trash dumpster area.
 - 6) Make sure that the write-up matches what is shown on the plan view. The write-up is still referencing 6" pipes instead of 12" pipes, and it is still showing that inlets are collecting flow where there are none.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

CITY OF ALBUQUERQUE



June 15, 2015

Reza Afaghpour, PE
through SBS Construction and Engineering, LLC
10209 Snowflake Court NW
Albuquerque, NM 87114

**RE: Starbucks and Burger King, Tract 338-B, 1000 Rio Grande Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date 5-16-2015 (File: H13-D021)**

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 5-18-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1) If the curb cut at the accessway is allowing discharge from Pond D, label the swale from this pond to the 61.65 elevation, delineating a clear path for stormwater to spill from the pond.
- 2) Provide a small section of riprap downstream of the curb cut within the swale at the north boundary of the site (Elevation 62.15) where flow is being collected from the north building in order to prevent site erosion near the property boundary.
- 3) Text for "Irrigation Pipe not to be Disturbed" is cut off on the right side of the plan view.
- 4) The 92.75 elevation shown within the parking lot at the corner of one of the handicapped parking spaces is in error. I think it was meant to put "62.75"?
- 5) Provide a grease trap to collect storm drainage from the trash dumpster area.
- 6) Make sure that the write-up matches what is shown on the plan view. The write-up is still referencing 6" pipes instead of 12" pipes, and it is still showing that inlets are collecting flow where there are none.

PO Box 1293

Albuquerque

New Mexico 87103

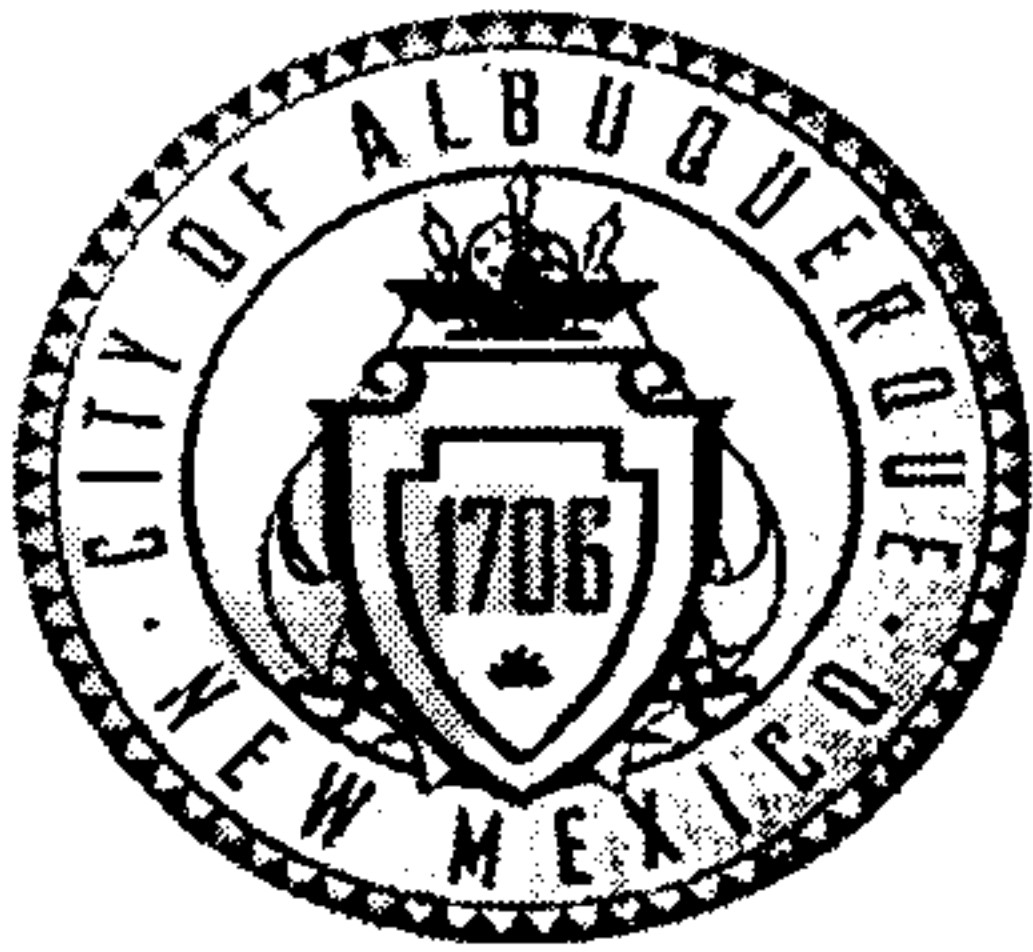
www.cabq.gov

If you have any questions, you can contact me at 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 AND 1010 RIO GRANDE BLVD., NW Building Permit #: _____ City Drainage #: H13-D021
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT 338-B, MRGCD MAP 35 TBK TRACTS 338-B-1 AND 338-B-2
City Address: 1000 (STARBUCKS)AND 1010 (BURGER KING) RIO GRANDE, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

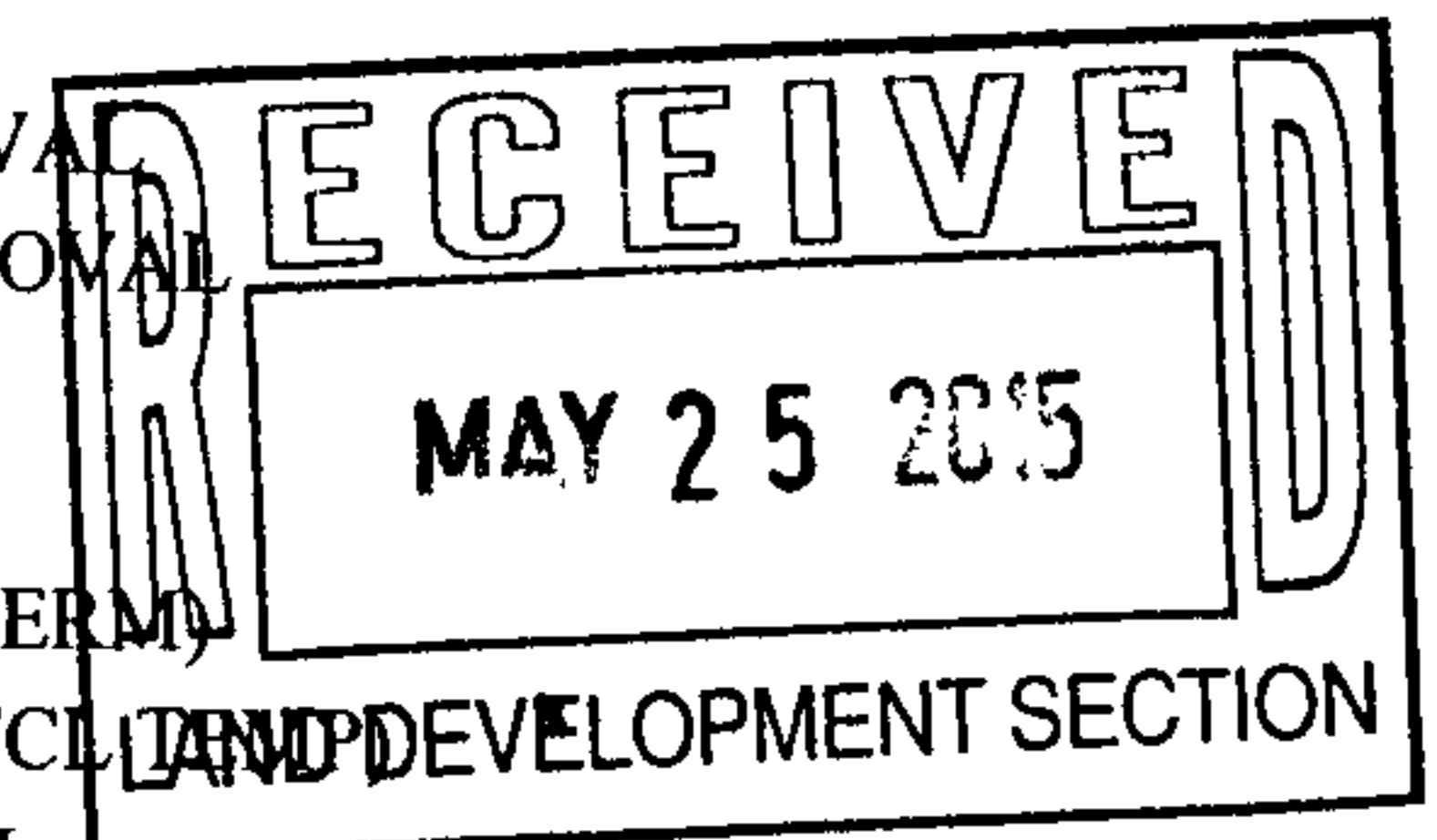
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 05/18/2015 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

SBS CONSTRUCTION AND ENGINEERING, LLC

May 17, 2015

Mrs. Jeanne Wolfenbarger, P. E.
Senior Engineer, Planning Dept.
Development Review Services
P. O. Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: Starbucks and Burger King, Tract 338-B (TBK Tracts 338-B-1 and 338-B-2), 1000 and 1000 and Rio Grande Blvd. NW (Starbucks) and 1010 Rio Grande Blvd. NW (Burger King), Grading and Drainage Plan (H13D021)

Dear Mrs. Wolfenbarger:

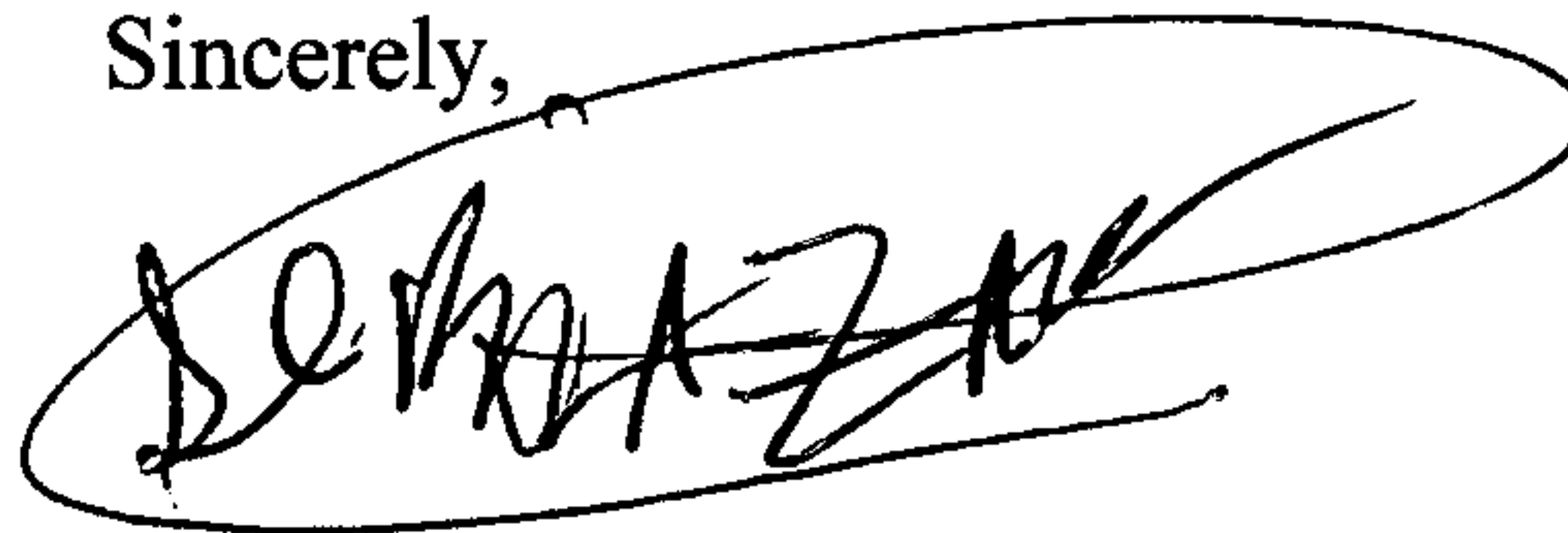
The following are the responses to your comments received dated April 30, 2015:

- 1) Bench Mark information and spot elevations along the entire site perimeter were added to the plan.
- 2) A curb opening is being used at the entrance at the 4961.65 elevation. Once Pond D has exceeded its volume then the runoff will overflow through this curb opening out to the entrance and then to Rio Grande Boulevard. The ½ inch of runoff is being retained as shown previously on the plan. The ½ inch runoff was calculated to be 2,512.76 cf.
- 3) Floodplain boundary was added to the legend. When the previous improvements were demolished about 6" of dirt, asphalt and dirt was removed from the site. When after the demolition the existing grades (+/- 4962.00) are higher than the floodplain elevation (4961.00). For the sake of conservancy, it was determined that over an area of 3,000 sf within the floodplain the ground has been raised an average of less than 6" (3,000' x .5') which will total to a volume of 1,500 cf. Therefore, total required retention volume would be (2,512.76 + 1,500) 4,012.76 cf. And the total retention volume provided on site is 5,996.77 cf which is more than 30% of additional volume. An "Elevation Certificate" will be submitted prior to Certificate of Occupancy. Since the existing grades are higher than the flood plain. A Flood Permit application is attached with this submittal.
- 4) The pipe connecting pond C to D is meant to be an equalizer pipe. The pipe size was changed to a 12" SD pipe. Orifice equation was used to calculate capacity. Inverts were called out for the 12" pipe under the circle note 2.
- 5) Direction of the roof drains are shown on the plan. First flush volumes are called out for each pond.

- 6) Existing pipe and pipes size for the irrigation pipe under the new driveway to Aspen Avenue are shown. There is 12" of cover over the irrigation pipe at the driveway. A note has been added that the ditch facility will remain undisturbed.
- 7) No sidewalk culvert is being proposed. Please see response number 1. Capacity calculations for the curb cuts are shown on the plan.
- 8) Scale of the drawing was changed to 1"=20'.
- 9) Half of the roof does drain to the north and the sheet flows to the east and west to two low points. The runoff does drain to the west and to the east to Pond D. Pond D is designed to overflow out the entrance. This development does not create any impact to the north. In fact some of the runoff is cutoff and will not drain to the north after the development of this site.
- 10) Additional elevations were added to the along the northerly property line. We have the proposed pond D with the high point in the middle. The 92.75 elevation appeared to be correct.
- 11) Total volume was included. The summation of the pond volume was corrected. The language regarding the drainage to the inlet was removed. Historical flow patterns was included in the narrative for the "Existing Drainage Conditions".

Please Contact me at (505) 804-5013 if you require additional information or have any questions.

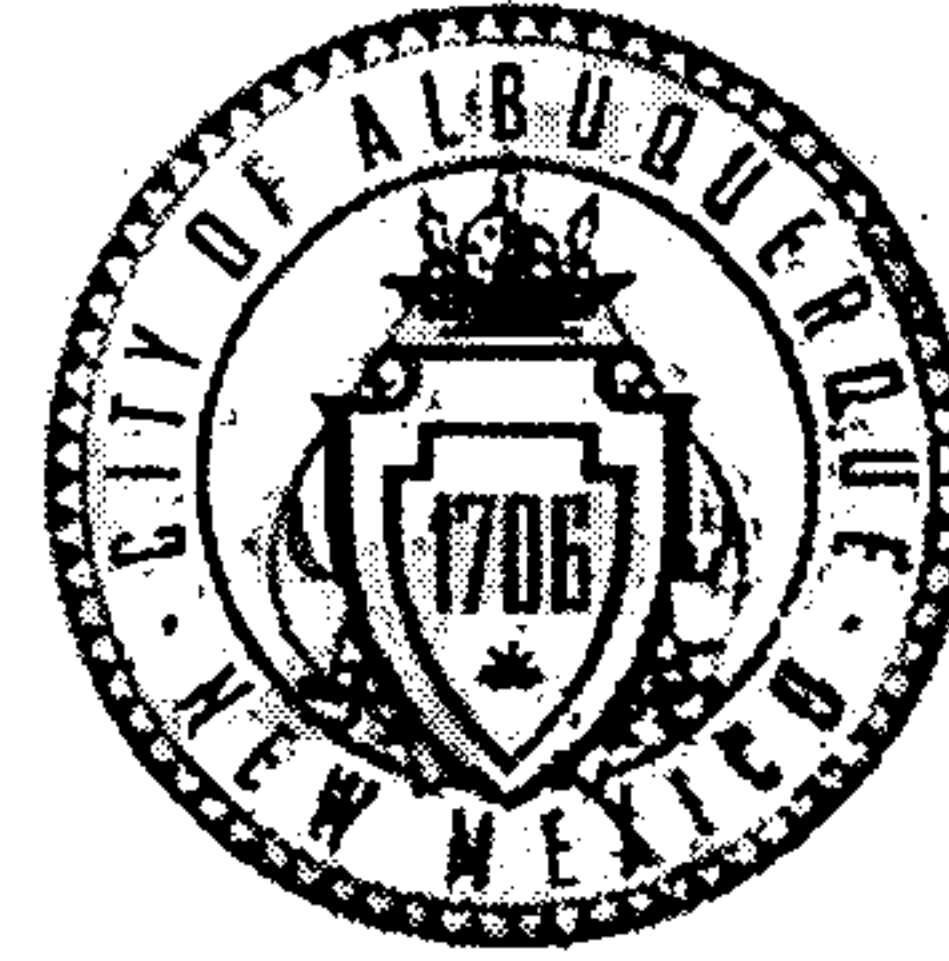
Sincerely,

A handwritten signature in black ink, appearing to read 'Shahram Biazar', enclosed within a large, hand-drawn oval.

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 201309

CITY OF ALBUQUERQUE



April 30, 2015

Reza Afaghpour, PE
through SBS Construction and Engineering, LLC
10209 Snowflake Court NW
Albuquerque, NM 87114

**RE: Starbucks and Burger King, Tract 338-B, 1000 Rio Grande Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date 3-30-2015 (File: H13-D021)**

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 4-01-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

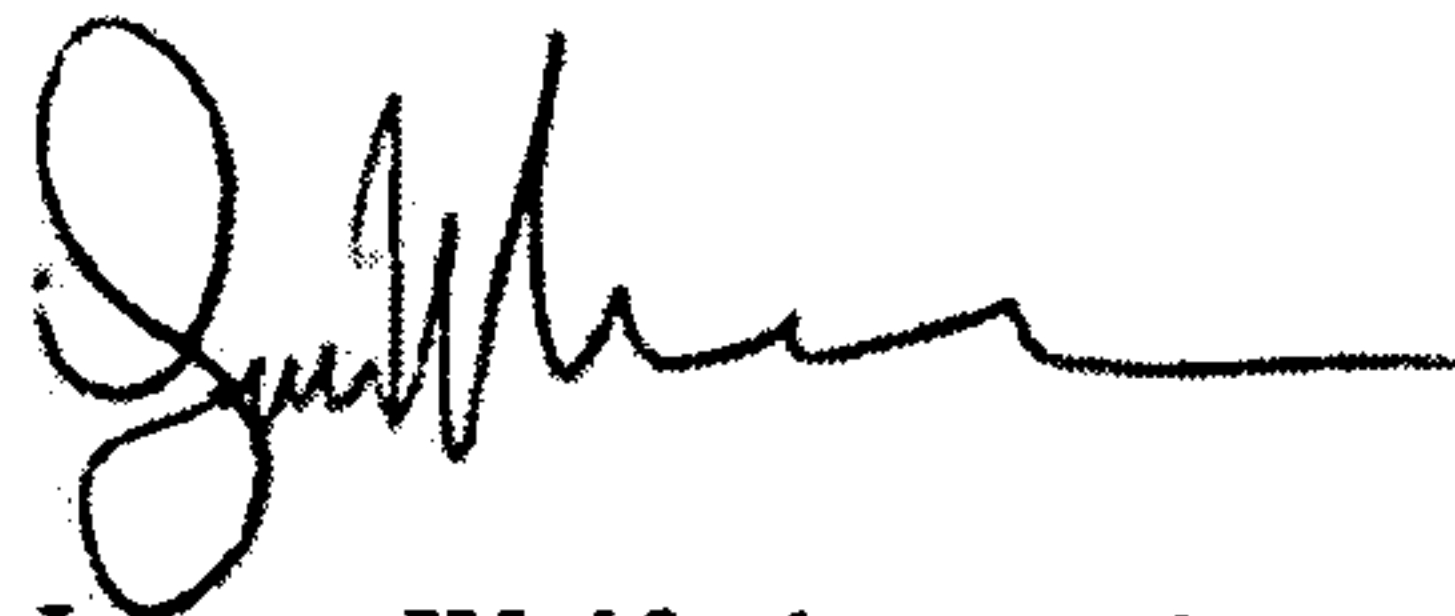
www.cabq.gov

- 1) Provide a survey benchmark and existing spot elevations along the entire site perimeter. These are particularly important at the north and eastern boundaries. Also, provide existing curb elevations on Rio Grande Blvd.
- 2) A sidewalk culvert needs to be provided from Pond D to Rio Grande Blvd. Call out COA Std. Dwg. 2236 for the sidewalk culvert. In the valley, a maximum discharge rate of 2.75 cfs/acre from the site can be allowed, or ½ inches of runoff can be retained. It is preferable to discharge a rate of 2.75 cfs/acre from the site.
- 3) Indicate the floodplain boundary in the legend. Because you are constructing in the floodzone, please request a floodplain permit. An elevation certificate must be provided prior to Certificate of Occupancy. Additionally, for any fill you are bringing into the floodplain area, a compensatory volume of excavation must be provided. Please discuss how you are addressing this in the write-up.
- 4) If the pipe between Ponds D and C is meant to be an equalizer pipe, a larger size of pipe than 6" would be recommended. Explain the pipe's capacity to function as an equalizer pipe. Also, provide invert elevations at all on-site pipes.
- 5) Show the direction that the roofs drain. Indicate which ponds are retaining the first flush pond volume and note it on the plan view along with the first flush volume per pond.

- 6) Show the existing pipe and pipe size for the irrigation pipe under the new driveway to Aspen Avenue to demonstrate adequate pipe cover. Have a note for the irrigation ditch facilities to remain undisturbed.
- 7) Provide capacity calculations for the proposed sidewalk culvert and on-site curb cuts.
- 8) The scale on the plans is shown as 1:10, but it appears to be 1:20. Revise as needed.
- 9) It is not desirable to have a curb cut close to the north boundary of the site where it is too close to the property adjacent to the north. Is much of the roof draining to the north for the northern building? Could this flow be directed to the western side of the site where it is closer to the outfall and have a larger curb cut provided? In the write-up, discuss the impact of the on-site improvements to the property to the north or lack thereof.
- 10) Provide more spot elevations for the swale along the north side of the site and within the drive-thru between Pond D and E. The 92.75 elevation shown within the parking lot at the corner of one of the handicapped parking spaces is in error.
- 11) Provide the total for the pond volumes under the pond volume calculations at the bottom of the sheet. The summation of the pond volumes provided does not equal the pond volume calculations in the write-up. Take the language about draining to inlets out of the write-up if the site is not draining to any inlets. In the narrative for the "Existing Drainage Conditions", include a statement about historical flow patterns.

If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

Floodplain Development Permit Form
Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report which can be obtained at www.ecos.fws.gov.
5. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature Shawn BIAZAR Date 5/18/15

Applicant Printed Name Shawn BIAZAR Phone #: (505) 804-5013

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description New Building and Parking.

Applicant is (check one): Owner _____ Builder _____ Engineer/Architect ☒

Project address/Legal Disc/Location: 1000 and 1010 Rio Grande, Blvd. NW
Tracts 338-B-1, MRGCD Map 35

Description of Work in Special Flood Hazard Area (SFHA):

A. Development Activities

Clearing _____ Fill _____ Drilling _____ Excavation ☒

Watercourse Alteration _____ (Including Dredging and Channel Modifications)

Drainage Improvements _____ Road, Street or Bridge Construction _____

Water or Sewer Line Installation _____ Paving ☒ Walls, Fences _____

Storage of Materials/Equipment for more than a year. _____ Materials Volume (cu. Ft.) _____

Other (Please Specify) New Building, Driveway and Parking.

4961

B. Building Development and Building Type

New Building ☒ Residential (1-4 Family) _____ Residential (More than 4 Family) _____

Commercial ☒ Addition _____ Alteration _____ Demolition _____

Manufactured Home _____

If an addition or alteration:

Estimated Cost of structure before addition/alteration. _____

Estimated Cost of Project \$ _____ Percent of value (new/existing) _____

Is there a Grading & Drainage Plan associated with this work? Yes ☒ No _____

Drainage file Number: H13-D021

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

The proposed development is located in a SFHA Zone (circle one): A AE AE AO

And is located on FIRM Panel: 331H

And is located in a Floodway: _____ Yes ☒ No

BFE if Applicable: 4961 elev.

Drainage File Number: H13D021

Floodplain Permit Number: H13F021

Building Permit / Work Order #: _____

Site specific Instructions: Build per approved G & D plan.
Notify when completed.

Signed: [Signature] Date: 6/15/15

Printed Name: Rudy E. Rael

If proposed development is a building complete section 4.

Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative).

BFE (unless not available) _____ Minimum Finished Floor Elevation: 4962

Minimum Lowest Adjacent Grade (LAG): 4961

Change in water elevation (if in a Floodway): N/A

Is flood-proofing required: YES _____ NO X

If yes, method of flood-proofing: N/A

Company certifying the flood-proofing: N/A

An Elevation Certificate is required for structural development in a SFHA. A Certificate of Occupancy will not be granted until the Planning Department receives the Elevation Certificate.

Section 5: Post Development Certification:

A. For structural Development:

Elevation Certificate received on (Date): _____

Finished Floor Elevation: _____

Lowest adjacent grade: _____

The Floodplain Administrator or Representative verifies that the above information is acceptable _____ is not _____ acceptable per the City of Albuquerque Floodplain Ordinance.

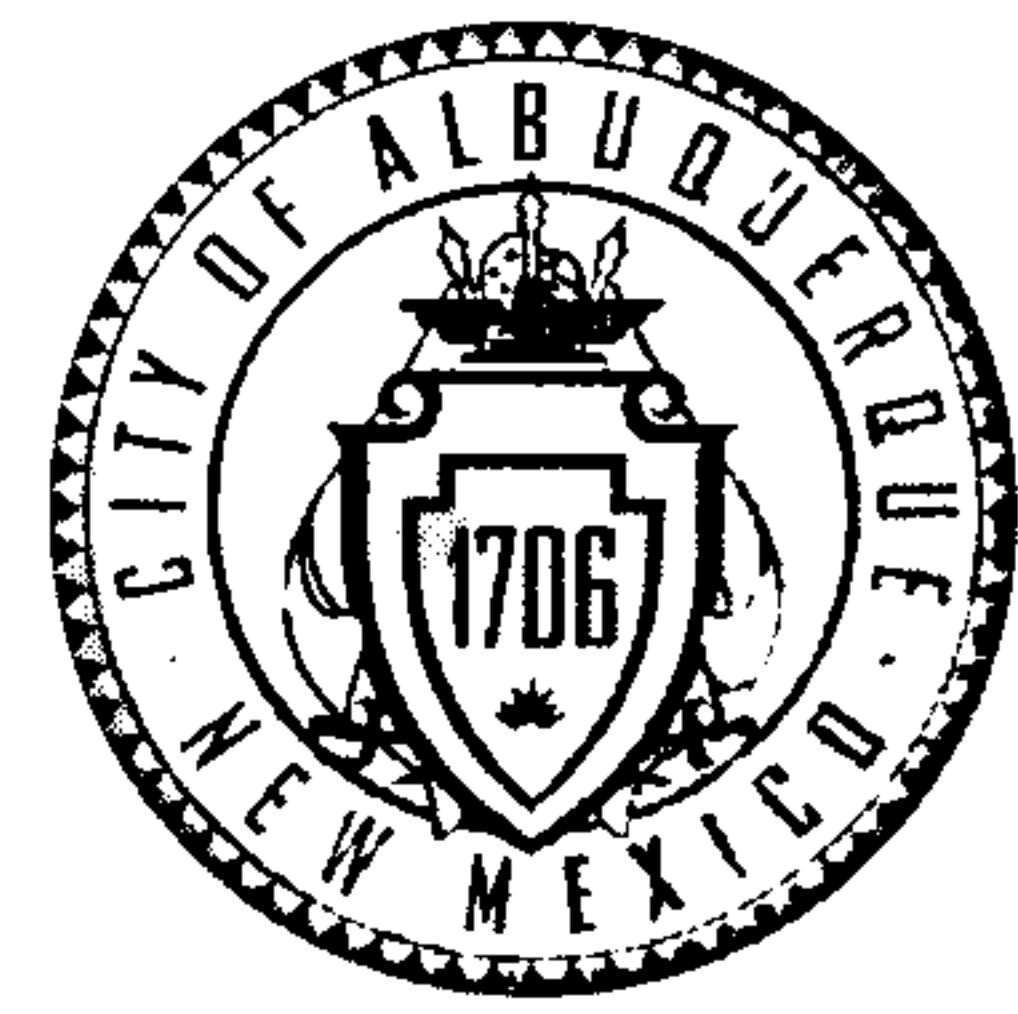
B. The site was visually inspected on (Date) _____

Certificate of Occupancy approved on (Date) _____

Signature: _____ Date: _____

Printed Name: _____

CITY OF ALBUQUERQUE



April 30, 2015

Reza Afaghpour, PE
through SBS Construction and Engineering, LLC
10209 Snowflake Court NW
Albuquerque, NM 87114

**RE: Starbucks and Burger King, Tract 338-B, 1000 Rio Grande Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date 3-30-2015 (File: H13-D021)**

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 4-01-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

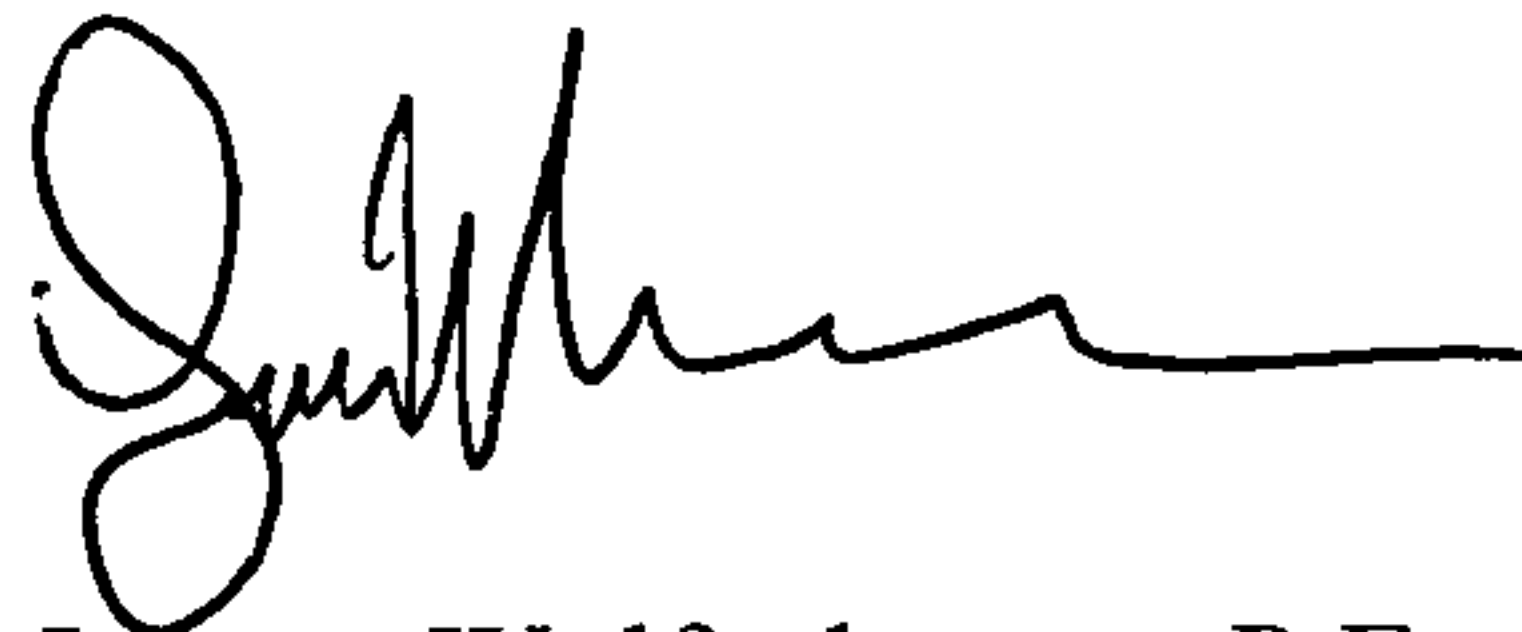
www.cabq.gov

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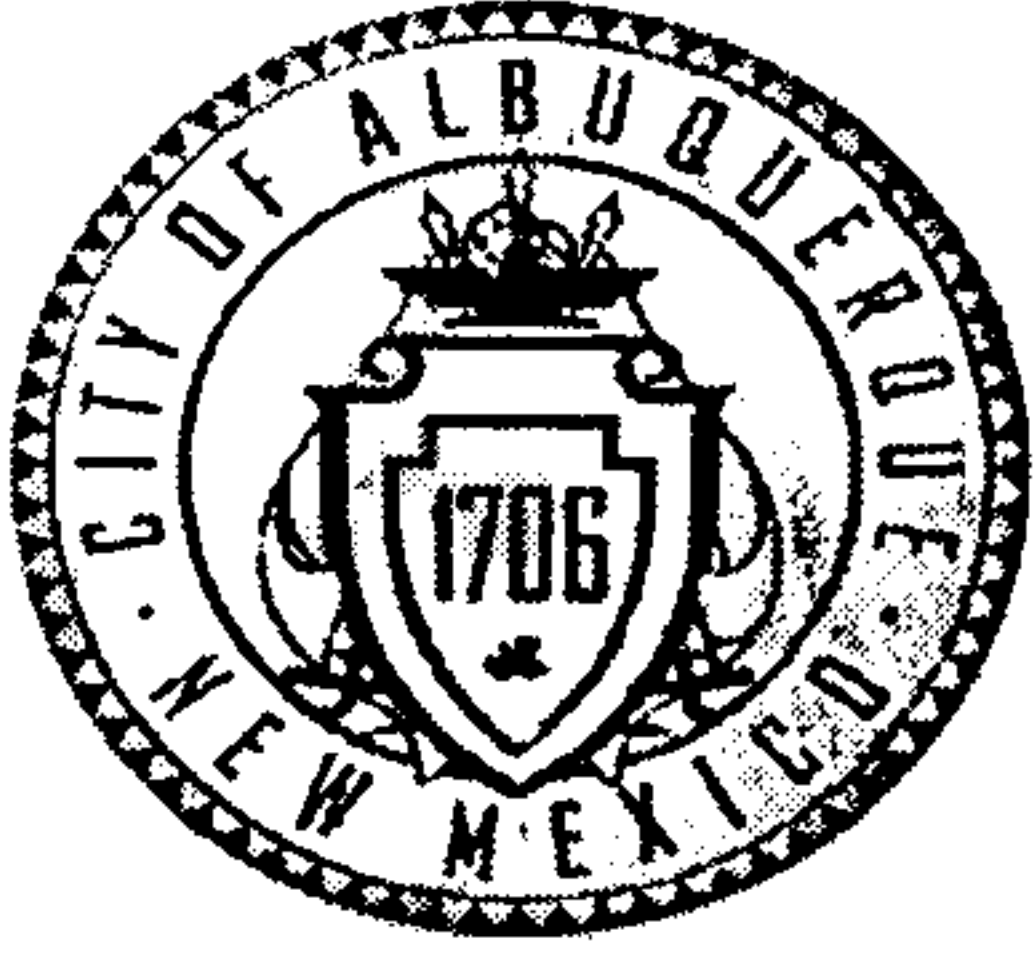
If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

H13 D021

Project Title: 1000 RIO GRANDE BLVD., NW Building Permit #: _____ City Drainage #: 111104
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT 338-B, MRGCD MAP 35
City Address: 1000 RIO GRANDE, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

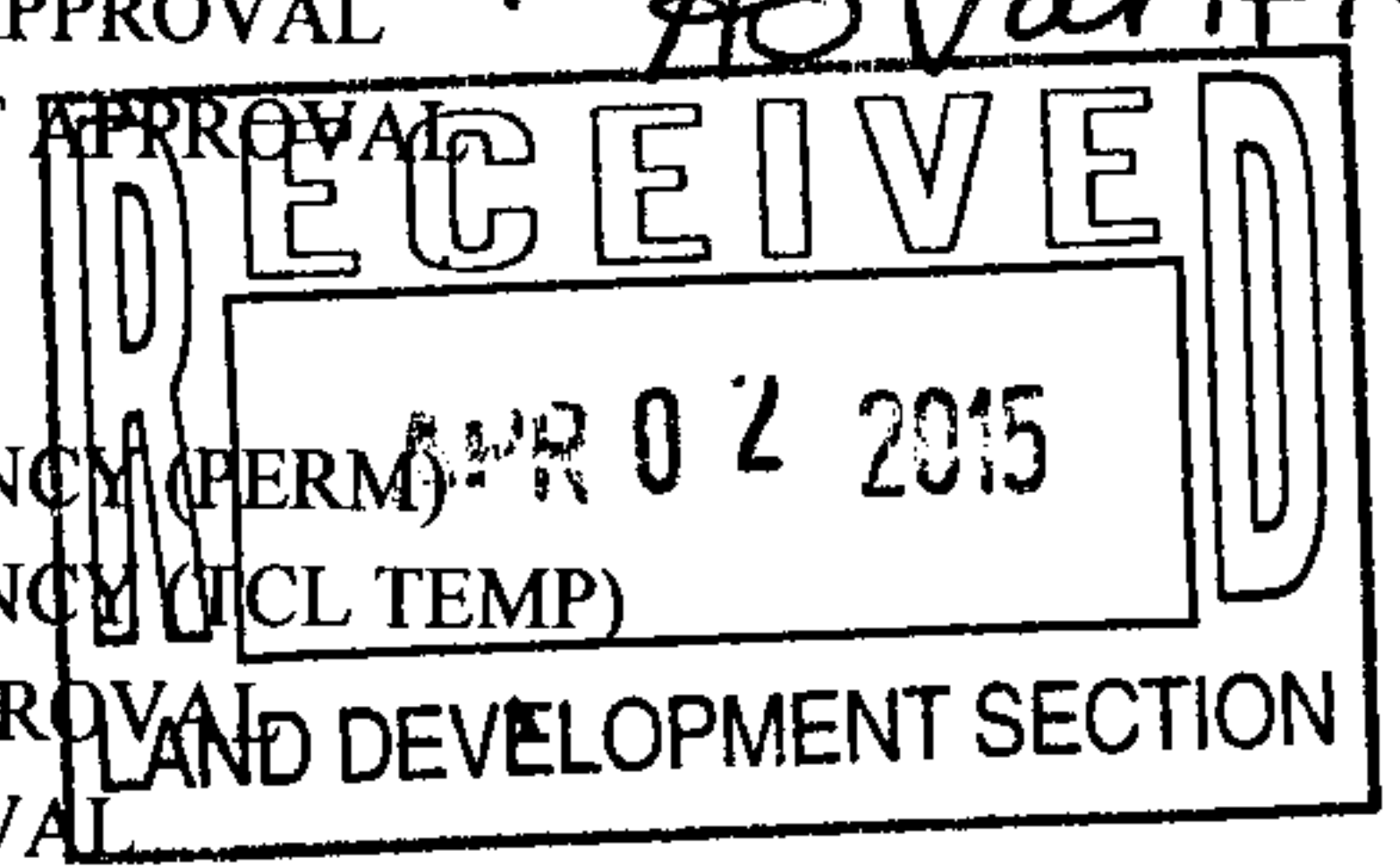
TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
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- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

paid \$50.00
As verified



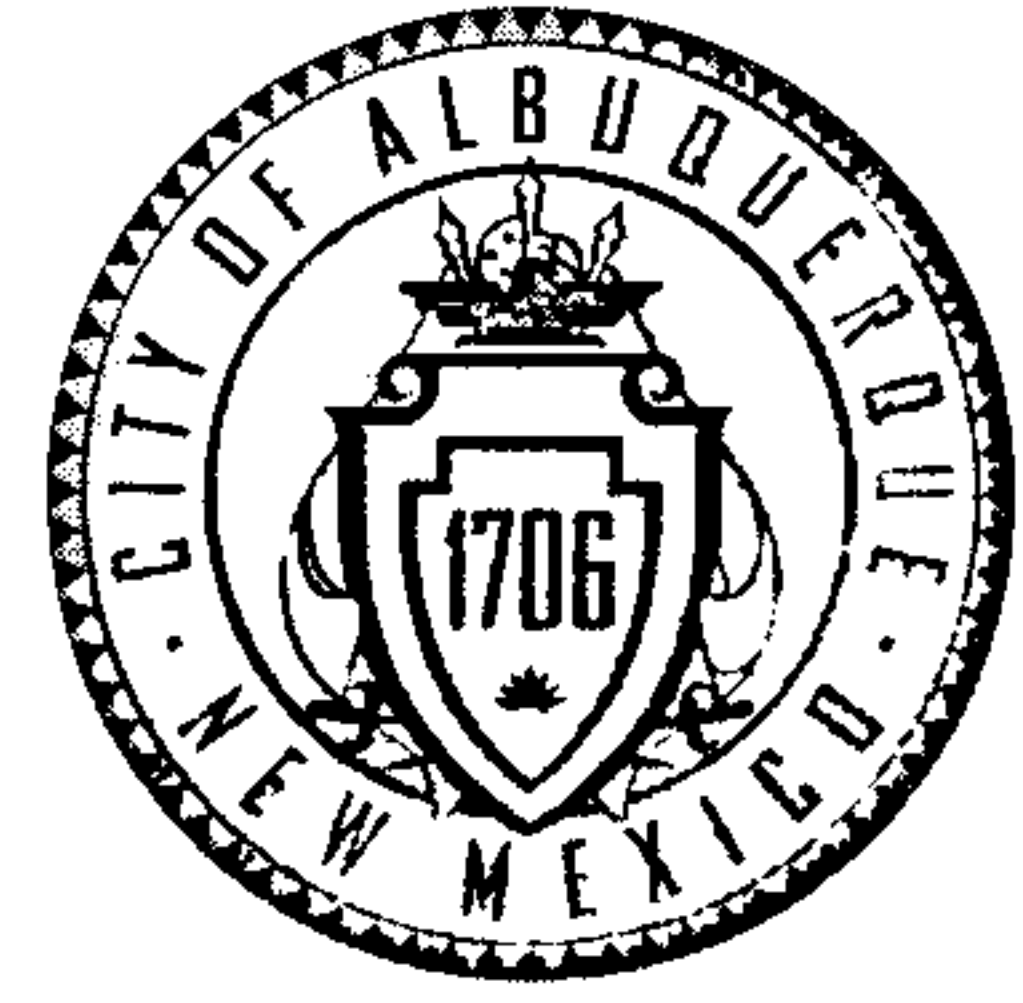
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 03/31/2015 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



June 13, 2016

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

Re: Burger King/Starbucks
1000 & 1010 Rio Grande NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 6-9-16 (H13-D021)
Certification dated 6-9-16

Dear Mr. Biazar,

Based upon the information provided in your submittal received 6-10-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Burger King / Starbucks

Project Title: Commercial Apart. building ph I Building Permit #: Hydrology File #: H13-D021

DRB#: EPC#: Work Order#:

Legal Description: TRACTS 338-B-1 AND 338-B-2 MRGCD MAP 35

City Address: 1000 AND 1010 RIO GRANDE BLVD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

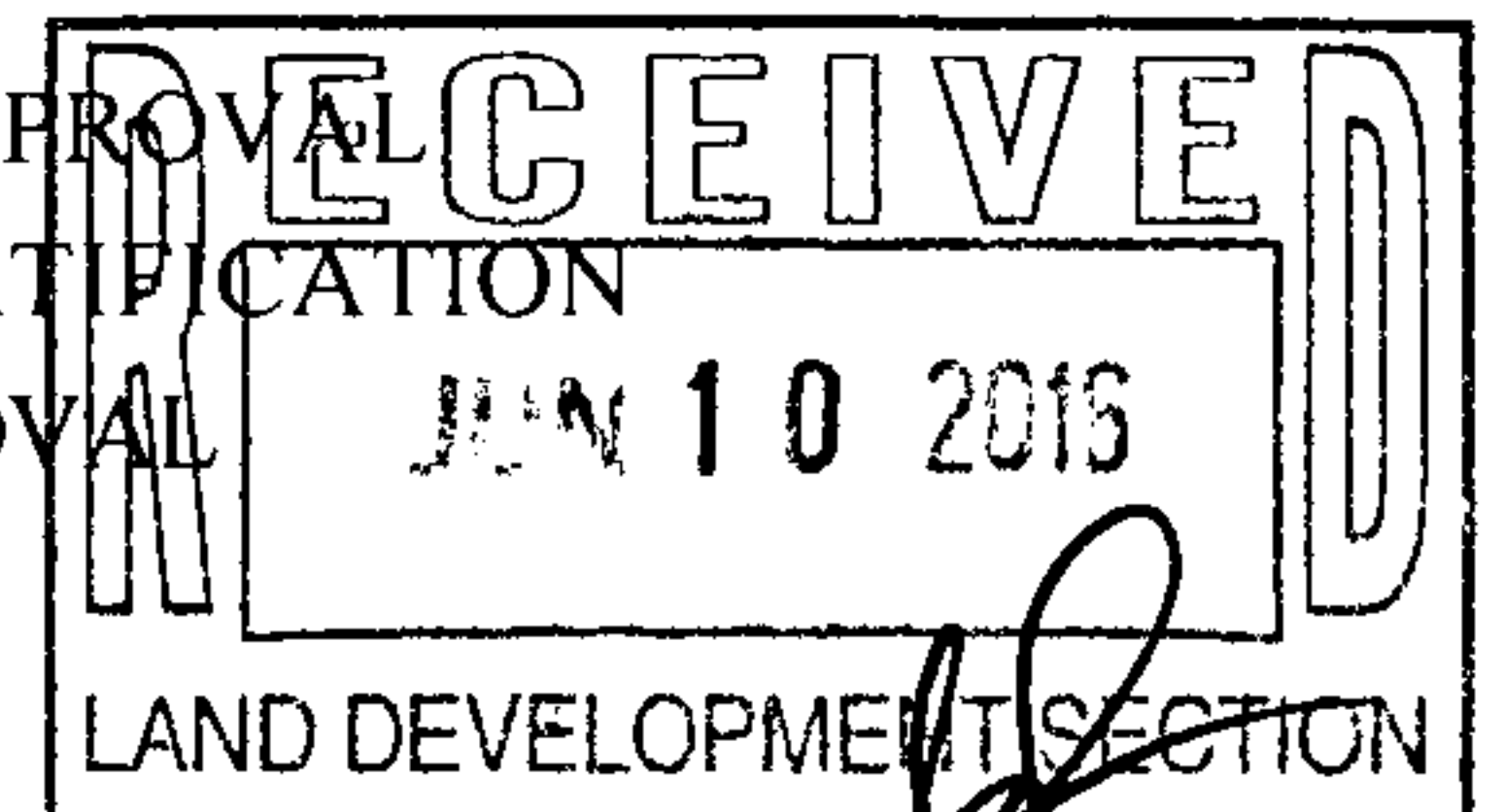
- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY)

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING?
- ☐ OTHER (SPECIFY)



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 6-6-2016 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

SBS CONSTRUCTION AND ENGINEERING, LLC

JUNE 9, 2016

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW ALBUQUERQUE, NM 87102

RE: 1000 AND 1010 RIO GRANDE BLVD., NW, TRACT 338-B-1 AND 338-B-2, MRGCD MAP 35
FINAL CERTIFICATE OF OCCUPANCY (H13-D021)

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN PORTION COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT. I HAVE VISITED THE SITE AND ALL THE CURB & GUTTERS, PAVING, DRIVEWAYS, PONDS AND LANDSCAPING ARE COMPLETED. THERE ARE FEW MINOR CHANGES TO THE ORIGINAL APPROVED SITE PLAN FOR STARBUCKS SITE THAT IT IS REFLECTED IN THE ATTACHED DRAWING.

I AM REQUESTING FINAL CERTIFICATE OF OCCUPANCY FOR THE BURGER KING AND STARBUCKS STORE. IF YOU SHOULD HAVE ANY QUESTIONS REGARDING THIS CERTIFICATION, DO NOT HESITATE TO CALL ME AT 505-804-5013.



REZA AFAGHPOUR, PE

6/09/2016

DATE



CITY OF ALBUQUERQUE



March 25, 2016

Reza Afaghpour, PE
SBS Construction & Engineering, LLC
10209 Snow Flake Ct NW
Albuquerque, NM 87114

**Re: 1000 Rio Grande NW
1000 Rio Grande Blvd NW
30-Day Temporary Certificate of Occupancy- Traffic Certification Only
Engineer's Stamp dated 02-27-15 (H13-D021)
Certification dated 03-24-16**

Dear Ms. Afaghpour,

Based upon the information provided in your submittal received 03-24-16, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy based solely on the Traffic Certification received from the Reza Afaghpour, PE. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant. An inspection of the site must be conducted by the City of Albuquerque Transportation Department with all site improvements in compliance with all City of Albuquerque Standards.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

John B. Gurulé, P.E.
Senior Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

SBS CONSTRUCTION AND ENGINEERING, LLC

MARCH 24, 2016

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW ALBUQUERQUE, NM 87102

RE: 1000 RIO GRANDE BLVD., NW, LOT 13, TRACT 338-B MRGCD MAP 35
TEMPORARY CERTIFICATE OF OCCUPANCY (H13-D021)

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN PORTION COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT. I HAVE VISITED THE SITE AND ALL THE CURB & GUTTERS, PAVING, DRIVEWAYS, AND PONDS ARE COMPLETED. THERE ARE IN PROCESS OF INSTALLING LANDSCAPING. THE STARBUKS STORE LIKE TO OPEN THE STORE FIRST PART OF NEXT WEEK. HOWEVER, BURGER KING STILL HAS SOME WORK TO BE COMPLETED.

I AM REQUESTING TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE STARBUCKS STORE. I BELIEVE THE BURGER KING ITEMS SHOULD BE COMPLETE WITHING FEW WEEKS.CCUPANCY.

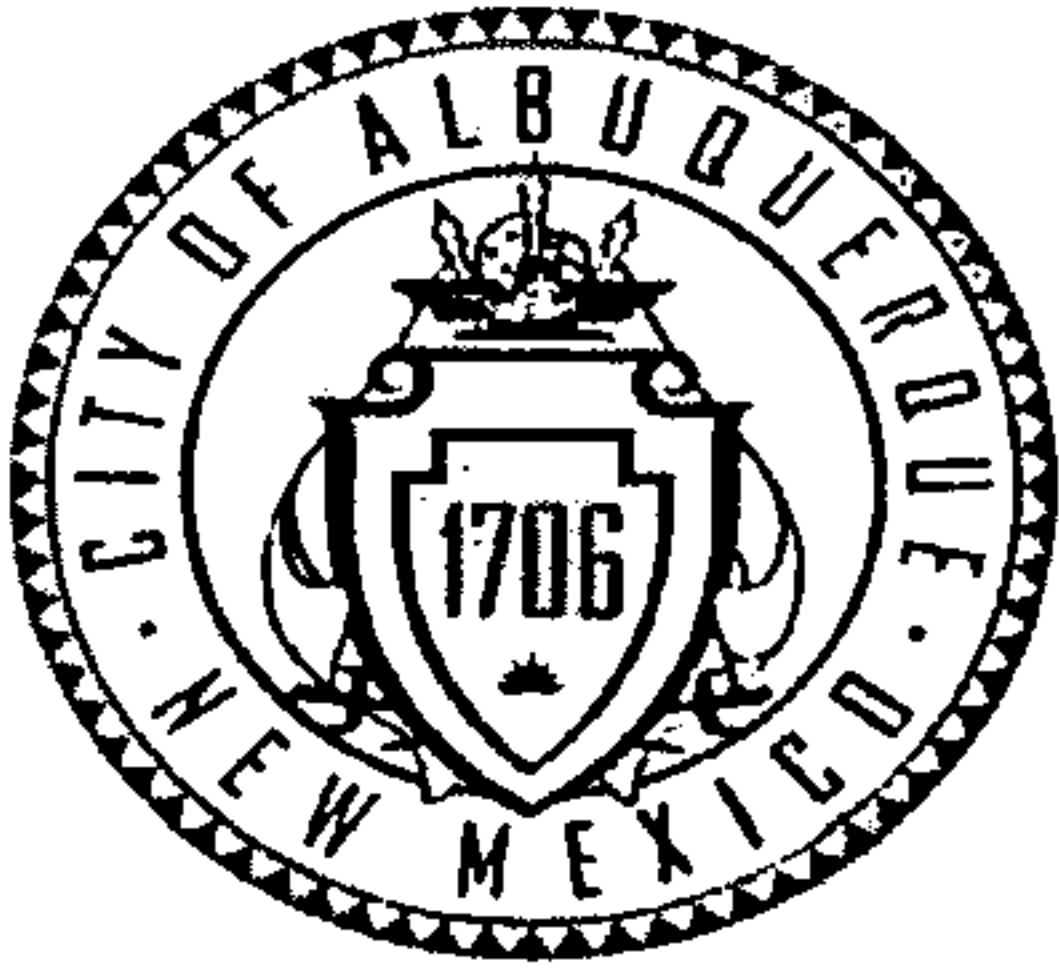


REZA AFAGHPOUR, PE

3/24/2016

DATE





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 Rio Grande, NW Building Permit #: _____ City Drainage #: H13-DOZ1
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 338-B-1, MPBCD Map 35
City Address: 1000 Rio Grande Blvd., NW
Engineering Firm: SBS Construction and Eng., LLC Contact: Shawn Biazar
Address: 16209 Snowflake Ct. NW, Alb. NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AEC LLC@aol.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM) Temp (30 days)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes

No

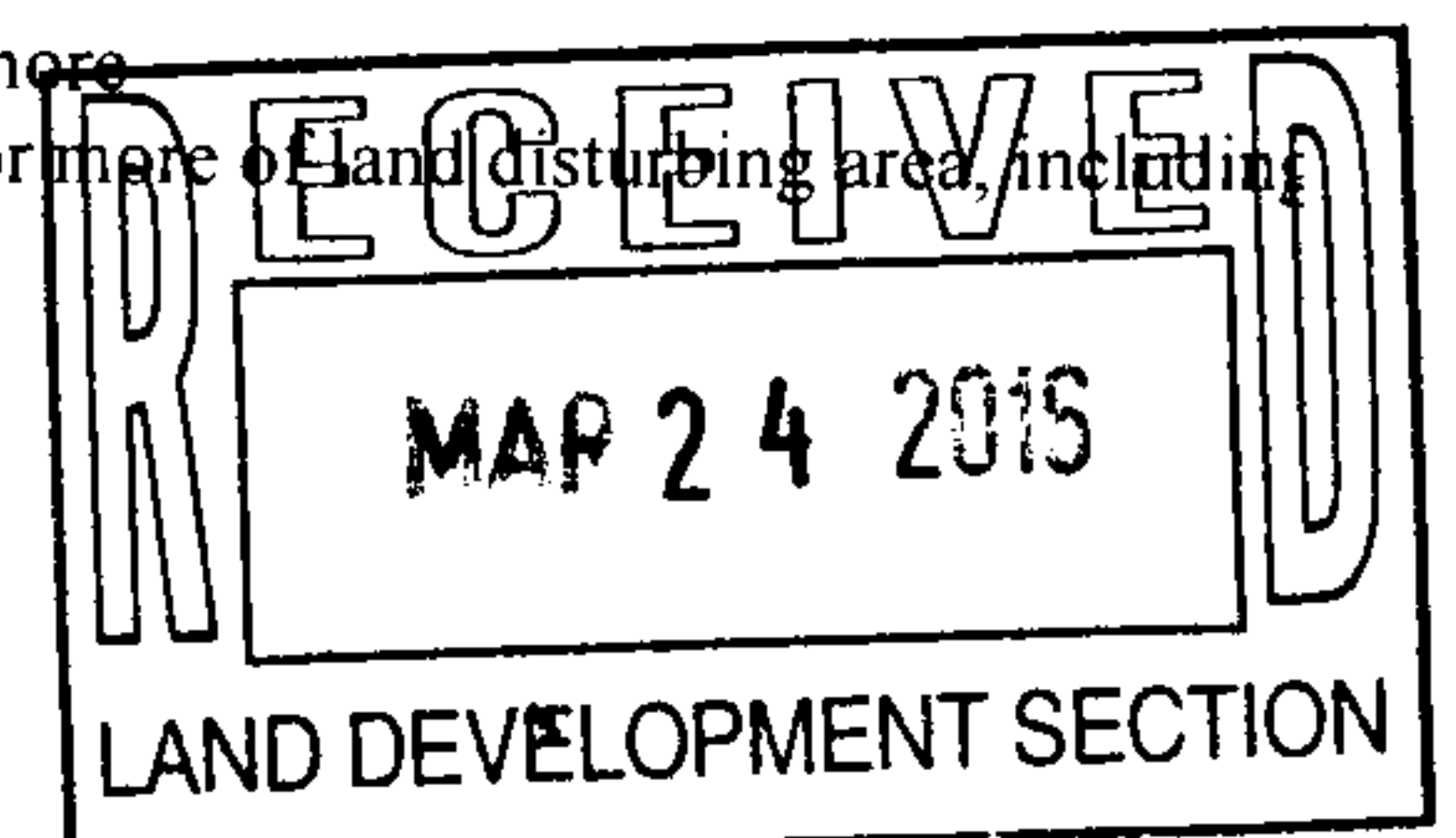
Copy Provided

DATE SUBMITTED: 3/24/16

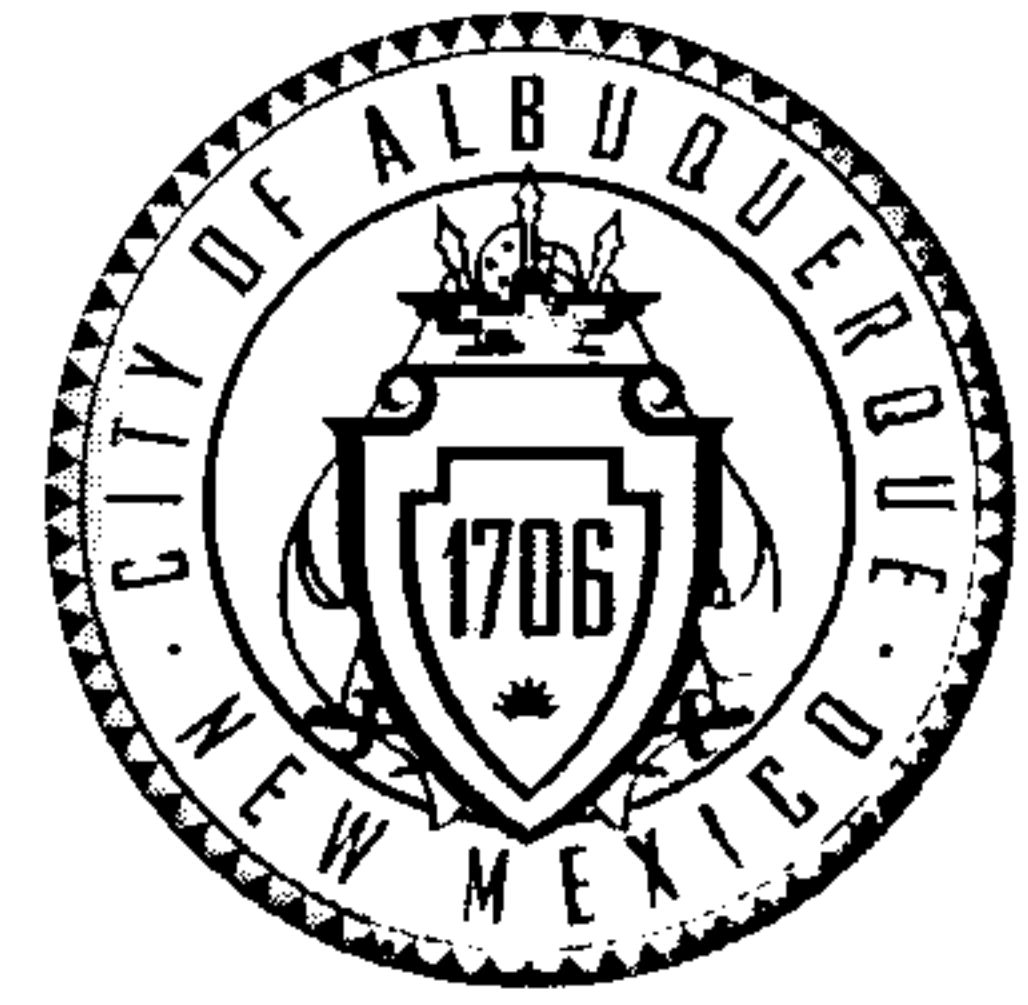
By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

February 27, 2015

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Court
Albuquerque, NM 87114

Re: Starbucks and Burger King, 1000 Rio Grande Blvd. NW
Traffic Circulation Layout/ NO TIS Required
Engineer's Stamp dated 02-27-15 (H13-D021)

Dear Mr. Biazar:

The TCL submittal received 02-27-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

A TIS will not be required for this site. Your trip generation data was reviewed to show that the trip generations do not meet the threshold for a TIS. The City also compared the data against Starbucks trip generation data and took into account that the subject site is an existing gas station site. In addition, although AM Peak hour tends to generate a lot of traffic for this type of development, Rio Grande Boulevard itself does not tend to carry as much AM Peak traffic as other major roads due to the types of development around this corridor.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Wolfenbarger, Jeanne

From: Wolfenbarger, Jeanne
Sent: Thursday, February 26, 2015 4:38 PM
To: 'aecllc@aol.com'
Subject: H13-D021 (Starbucks and Burger King)
Attachments: Scanned from a Xerox multifunction device.pdf; Scanned from a Xerox multifunction device (32).pdf

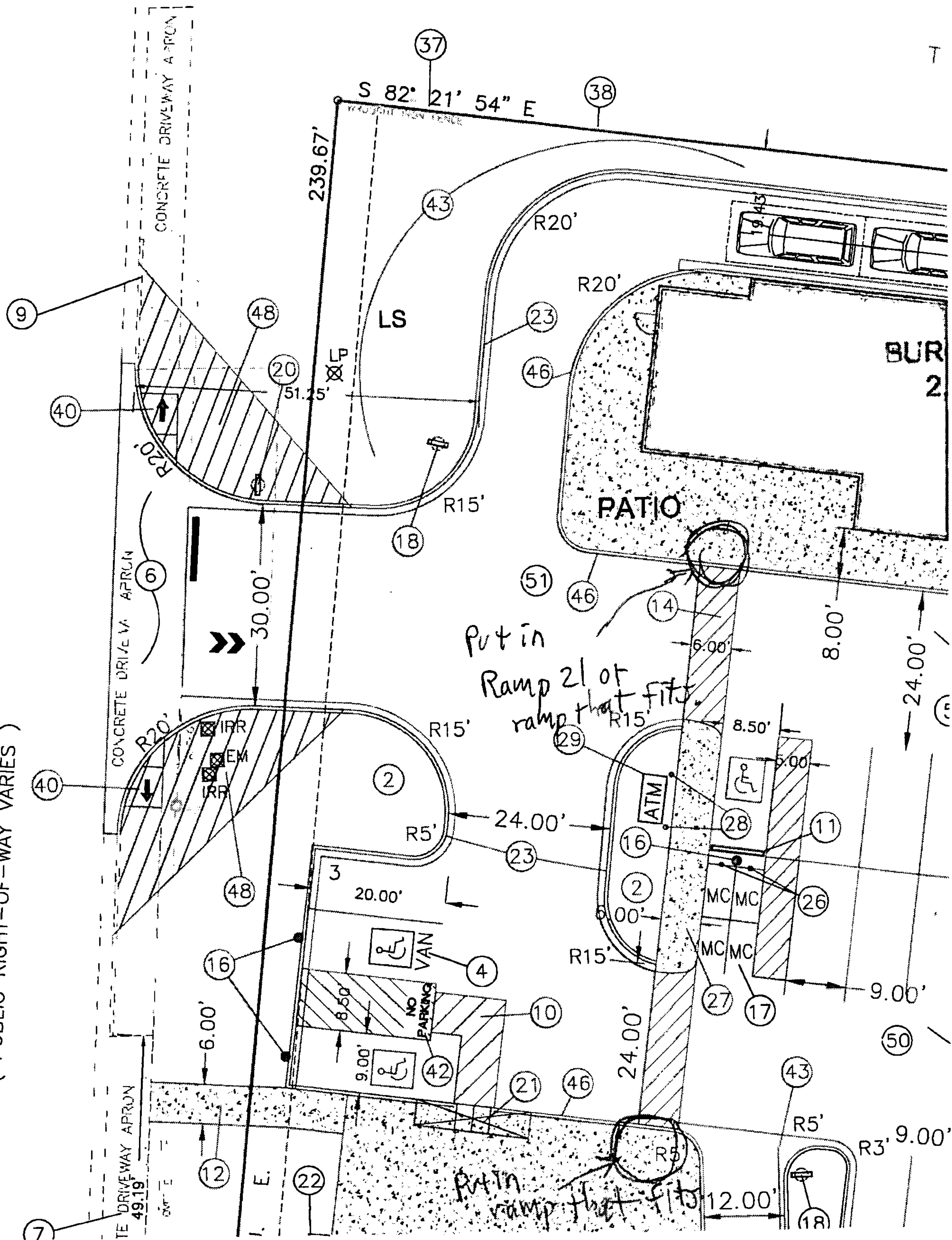
Shawn, as discussed earlier, go ahead and revise the TCL to add a ramp on each end of the pedestrian way from the handicapped spot in the middle of the parking lot (as shown per first attachment).
As per the second attachment, make sure that the curb ramp shows a maximum 2% cross-slope on the ramp.

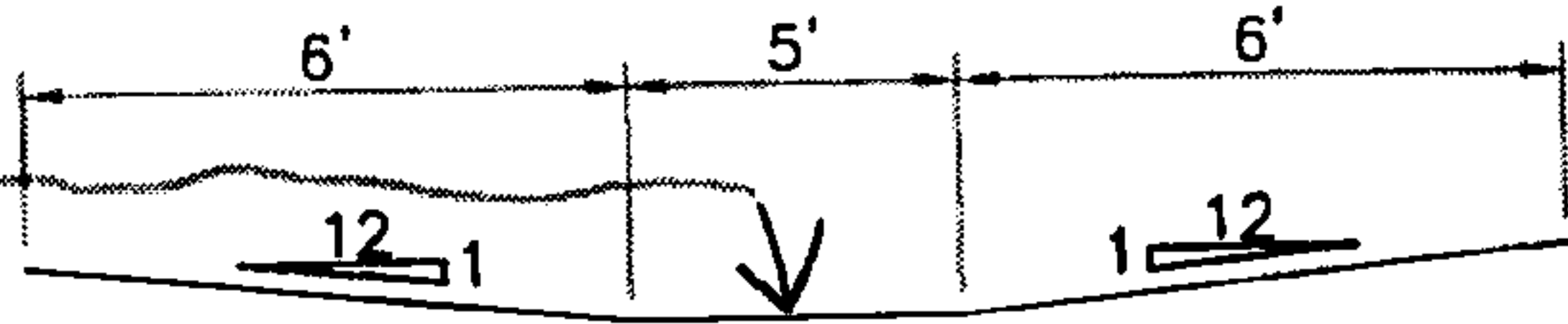
Return 2 copies of the new TCL and also send an electronic copy. Then, I can approve this.
If you want, you can bring in 4 copies, and I can stamp all 4 copies for you to include the copies for your building permit set.

Jeanne

GRANDE BOULEVARD, N. W.

(PUBLIC RIGHT-OF-WAY VARIES)

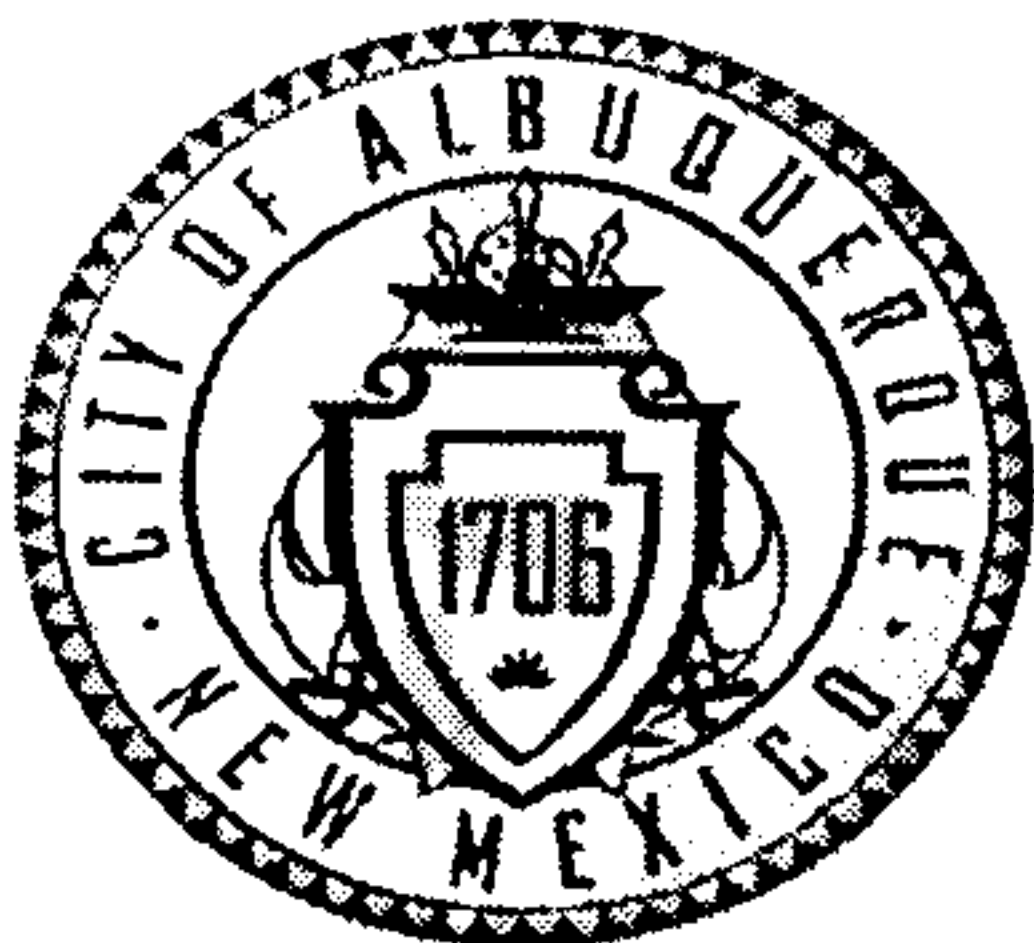




38 - A, M. R. G. C. D. M A P 35
(N/F) Cross-sta

This is a detailed site plan for a cell tower and its proposed addition. The plan includes the following elements:

- EXISTING CELL TOWER:** A large rectangular structure in the upper right quadrant.
- PROPOSED CELL TOWER ADDITION:** A rectangular structure to the right of the existing tower, with a width of 29.50' and a depth of 6.90'.
- TRASH:** A designated area for trash located below the proposed addition.
- Parking and Access:**
 - A parking area with two accessible spaces (marked with wheelchair icons) and a "NO PARKING VAN" zone.
 - Dimensions for parking spaces include 9.00', 7.50', 8.50', and 20.00'.
 - Access paths and dimensions are marked with numbers 1 through 51.
- Curved Driveways and Paths:**
 - Curved paths with radii of R15' and R25' are shown.
 - A curved driveway at the bottom has a width of 26.65'.
- Dimensions and Callouts:**
 - Overall dimensions: 260.03' (top), 204.58' (right), and 26.65' (bottom curved path).
 - Callouts include numbers 1 through 51, 36, 38, 43, and 42.
 - Other labels include "NO PARKING VAN", "TRASH", and "PROPOSED CELL TOWER ADDITION".



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 RIO GRANDE BLVD., NW Building Permit #: _____ City Drainage #: H13-D021

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT 338-B, MRGCD MAP 35

City Address: 1000 RIO GRANDE, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 02/23/2015 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

SBS CONSTRUCTION AND ENGINEERING, LLC

February 23, 2015

Ms. Jeanne Wolfenbarger, P.E.
City of Albuquerque
Planning Department
Development and Review Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102

RE: **Traffic Impact Study (TIS) Determination for 1000 Rio Grande Blvd., NW (NE corner of Aspen and Rio Grande), Zone Atlas Page H-13, C-2 Zoning, Building Permit Approval**

Dear Ms. Wolfenbarger:

Per your request, this letter was prepared to evaluate whether or not the proposed development, which consists of a 2500 square foot Starbuck's and a 2500 square foot Burger King, will require a TIS. Based on the following reasons, a TIS would **not** be required:

1. Per the attached Site Plan for Building Permit, the number of seats for the proposed Starbuck's is 62 and the number of seats for the proposed Burger King is 45 for a total of 107 seats. Based on the number of seats and using the category of Fast Food Restaurant with Drive-Through Window (land use code 934) from the ITE Trip Generation Manual, 9th Edition, the proposed development **does not meet** the City's threshold for requiring a TIS.
 - a. Average rate = 1.27 trips/seat (am peak hour of adjacent street traffic)
 - b. 107 seats
 - c. $1.27 \times 107 = 136$ am peak trips
 - d. Directional split is 53% entering and 47% exiting or **72 trips entering and 64 trips exiting for the am peak hour**
 - e. Average rate = 0.95 trips/seat (pm peak hour of adjacent street traffic)
 - f. 107 seats
 - g. $0.95 \times 107 = 102$ pm peak trips
 - h. Directional split is 53% entering and 47% exiting or **54 trips entering and 48 trips exiting for the pm peak hour**
 - i. Per the City of Albuquerque, the threshold for requiring a TIS is 100 directional trips in either the am or pm peak hour. As calculated, this threshold is **not met** in either peak hour.
2. The approximate size of the property is 1.3844 acres and is currently zoned C-2. Again, per the City of Albuquerque, the threshold based on area for commercially zoned property is **not met** (i.e. 1.3844 acres is less than 1.5 acres).

3. Per the City of Albuquerque, the property would be considered an infill site.
4. Per the City of Albuquerque, the property is located within the Sawmill/Wells Park Metropolitan Redevelopment Area (MRA). Per the City of Albuquerque's Impact Fee Ordinance, Section 14-19-15 "Exemptions", new development will be exempt from impact fees within MRA's that meet the criteria set forth in the Development Process Manual under Chapter 18 Section 11 "Waivers and Reductions". This requirement is met as the proposed development is nonresidential. Given that impact fees pay for growth related projects that mitigate impacts caused by new development, recommendations from a TIS would need to demonstrate a rational nexus and/or what is 100% attributable to the new development. This would be difficult to support for this request.

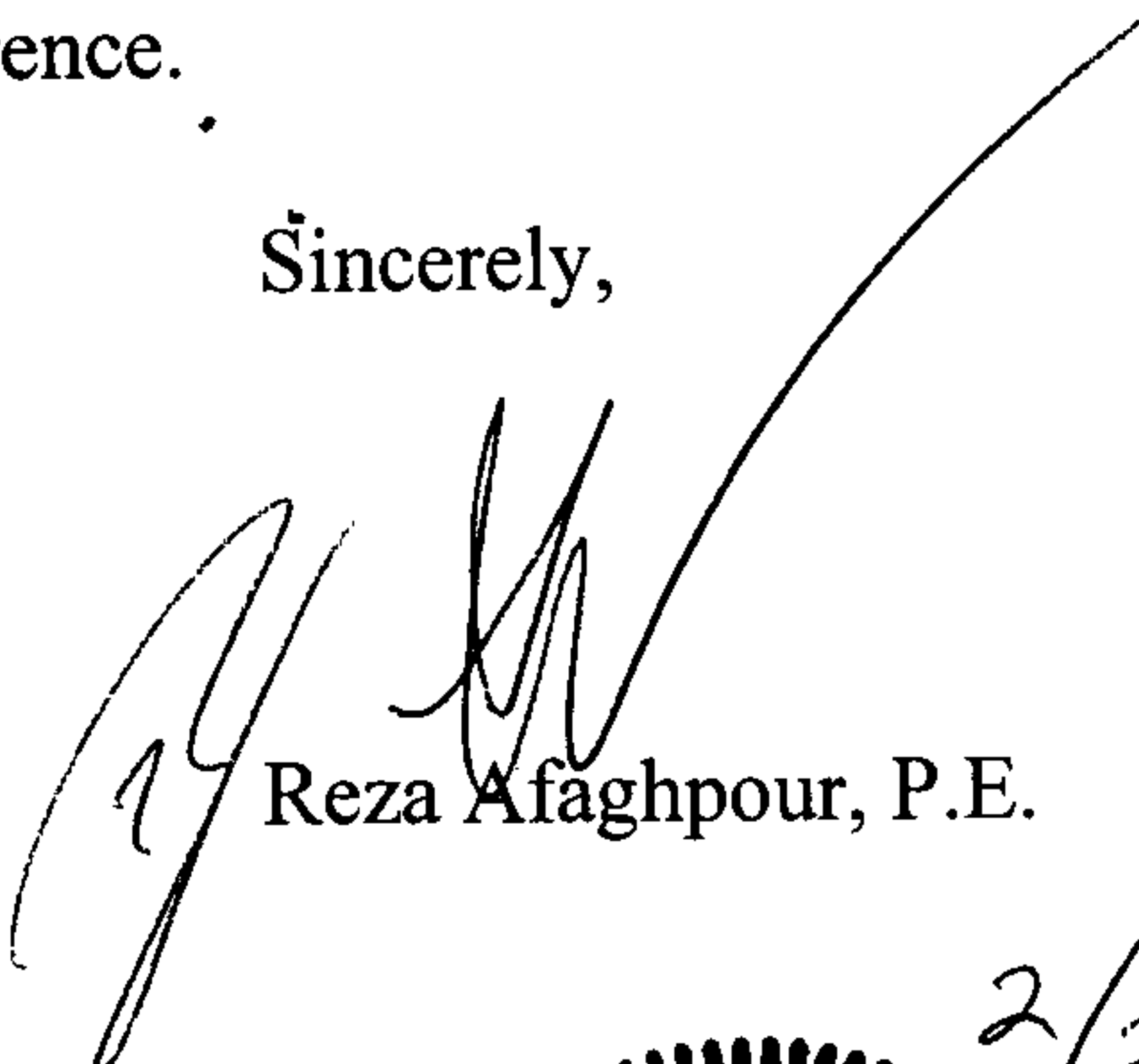
Since this project is located within an MRA, is considered an infill site and the impact fees will ultimately be waived, one could conclude that there would be no impacts to mitigate related to this proposal.

5. The proposed request is for approval at building permit only. With the exception of public infrastructure (i.e. sidewalk, curb and gutter, drive pad, etc.) that might be a requirement related to access that is specific to the site (see DPM), I do not believe that offsite public infrastructure can be a requirement at building permit under the City's current Subdivision Regulations and DPM. This type of requirement and those related to the recommendations of a TIS would fall under actions at the Development Review Board (i.e. subdivisions, platting actions, site plans, etc.).

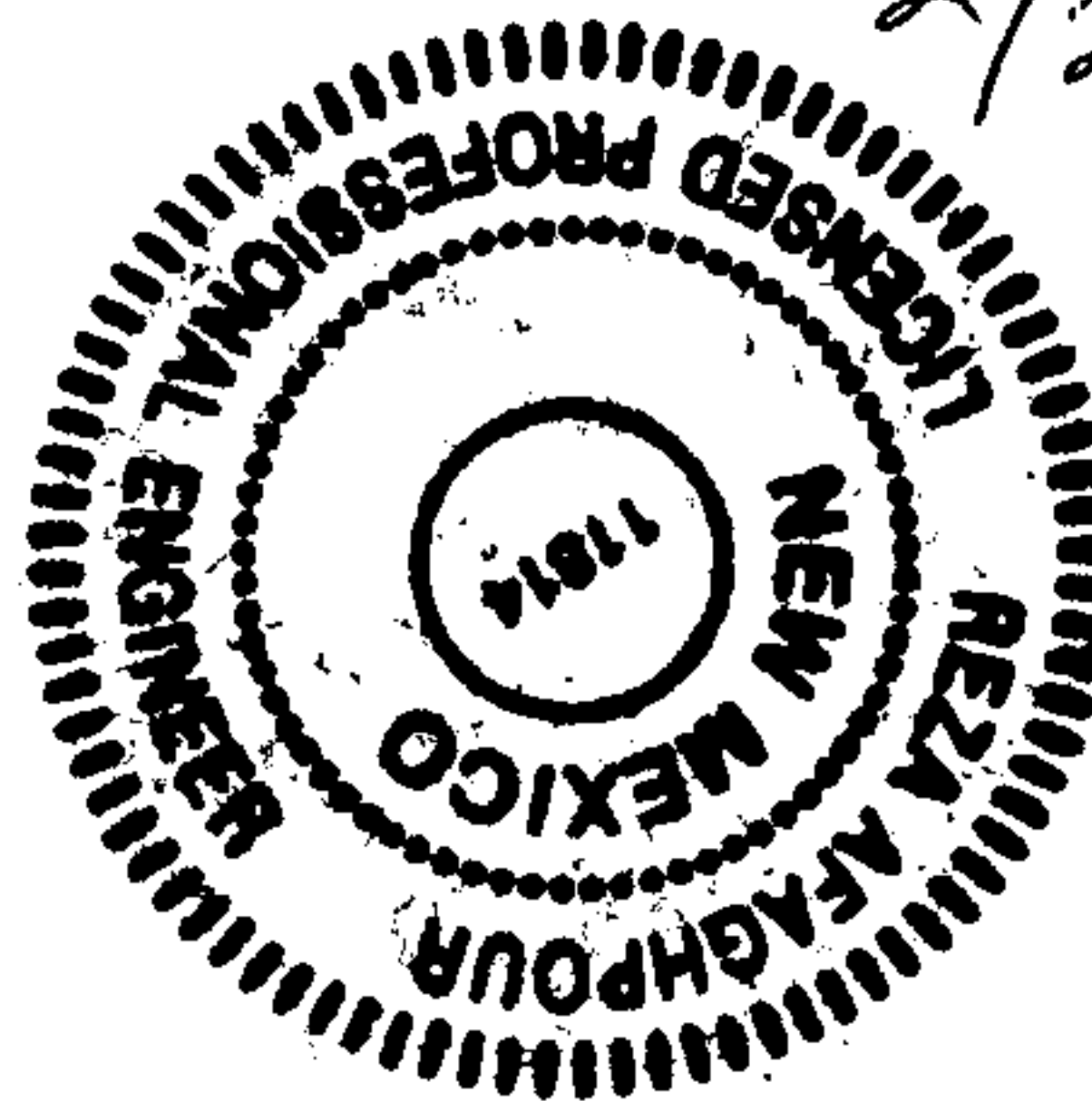
In conclusion and based on this evaluation, a TIS would not be required.

If you have questions or need additional information, please do not hesitate to contact me. I look forward to your concurrence.

Sincerely,


Reza Afaghpour, P.E.

Enclosures
JN: 201309



SBS CONSTRUCTION AND ENGINEERING, LLC

February 23, 2015

Mrs. Jeanne Wolfenbarger, P. E.
Senior Engineer, Planning Dept.
Development Review Services
P. O. Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: 1000 Rio Grande Blvd., NW, Tract 338-B, MRGCD Map 35
Traffic Circulation Layout Comments dated 02-02-2015 (H13-D021)

Dear Mrs. Wolfenbarger:

Based on your comments dated February 2, 2015 for the above referenced site, attached please find two copies of revised site plan. SBS Construction and Engineering, LLC has addressed the comments and are as follow:

- 1) Please see attached letter and traffic impact analysis that show a TIS is not required.
- 2) The label has been added, See Keyed Note 47.
- 3) All the curb raddii has been modified and labeled.
- 4) Aspen Ave. and 23rd Street intersection are shown on the site plan.
- 5) The throat length has been modified as per our discussion.
- 6) The delivery route is shown on the site plan. Starbucks has smaller delivery trucks, See Keyed Note 50 and 51.
- 7) This location will have turn down sidewalk that separates vehicular traffic from pedestrian traffic, See Keyed Note 46.
- 8) These notes, 14, 10 and 27 have been changed to 6 feet.
- 9) Keyed Note 1 has been modified to show 3" asphalt over compacted subgrade.
- 10) Mini clear sight triangle has been added to drivepad onto Aspen, See Keyed Note 45 and a General Note also is added to the site plan in regard to signage and landscaping in this area, see site plan.
- 11) Clear site triangle has been added to drivepad into Rio Grande, Se Keyed Note 48 and General Note also is added to the site plan in regard to signage and landscaping in this area, see site plan.

12) The length of each queuing is shown on site plan, Starbucks has +/- 175 LF and Burger King has +/- 173 LF.

13) The length of each removal is shown on site plan.

14) Existing sidewalk with is called out on site plan by Keyed Note 9. Keyed Note 8 has been modified as per your request.

15) Keyed Note 12 has been modified to reflect the smooth tie-in.

16) Keyed Noted 40 has been modified to show the COA STD DWG #2440 with detectable Warning.

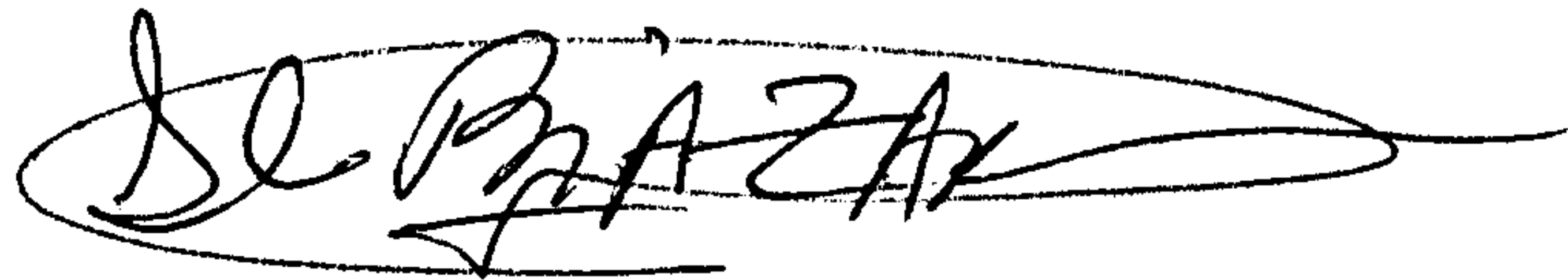
17) A ramp detail has been added to site plan.

18) The 3.5 feet handicap are has been increased into 5 feet, see site plan for detail.

19) The two copies are attached.

Please Contact me at (505) 804-5013 if you require additional information or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Shawn Biazar', enclosed within a large, horizontal oval loop.

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 201309

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

February 2, 2015

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Court
Albuquerque, NM 87114

Re: Starbucks and Burger King, 1000 Rio Grande Blvd. NW
Traffic Circulation Layout
Engineer's Stamp dated 01-16-15 (H13-D021)

Dear Mr. Biazar:

Based upon the information provided in your submittal received 01-22-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

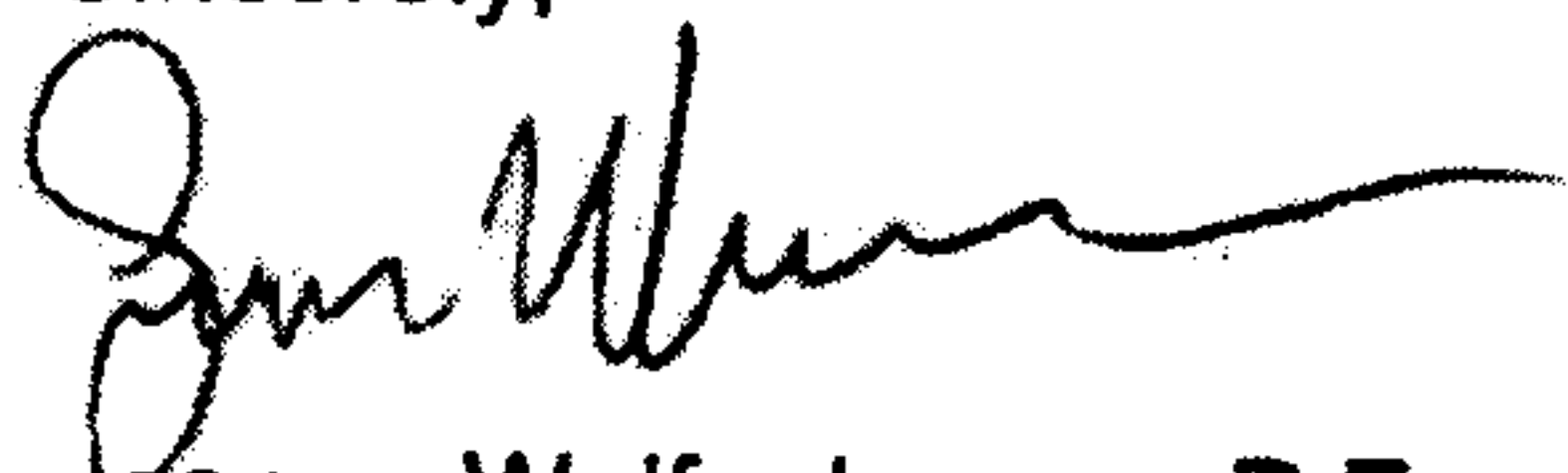
www.cabq.gov

1. The combination of the fast food restaurant and the coffee shop meets the warrant for a Traffic Impact Study. Call to set up a Traffic Scoping Meeting.
2. Label existing curb ramp at the corner of Aspen Avenue and Rio Grande Blvd. Call out for it to remain undisturbed.
3. Label curb radii for all dead-end islands. Radii needs to be a minimum of 15 feet for passenger cars (See Figure 23.7.2, Page 23-88 of DPM.). For the southeast corner of the site development, radii of 10 feet and 8 feet are shown, and they need to be increased to 15 feet.
4. Please show and label the Aspen Avenue/23rd Street intersection to show the proximity of new drivepad location to this intersection.
5. The drive onto Rio Grande Blvd. does not meet the required queuing throat length for an arterial street (Table 23.7.1, page 23-91). The throat will have to be lengthened. It's best to call and discuss this comment.
6. The design delivery route for the larger delivery vehicles needs to be shown.
7. At the northwest corner of Burger King, add curb or barrier to separate pedestrian traffic from vehicular traffic where the radius of 23 feet is shown.
8. For Notes 14, 10 and 27, increase the width of the ADA accessible route from 4 feet to 6 feet. Per the DPM, a 6-foot wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances.
9. Provide a pavement typical section for the asphalt parking lot.

10. Show the mini clear sight distance triangle per page 23-74 of the DPM for the drivepad onto Aspen. Please add the following note to this clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
11. For the new site drive onto Rio Grande Boulevard, provide a clear sight triangle that is in compliance with Page 23-28 of the DPM for intersections. Also add the note "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
12. To provide further clarification for the queuing length for the vehicles, list the total length of the queue for both the Burger King and the Starbucks drive-thru on the site plan view.
13. For Keyed Note 7, please list the length for each one of the curb cut removals and replacements on the plan view.
14. Near Keyed Note 9, call out the existing sidewalk width. For Keyed Note 8, have call-out note saying that existing sidewalk is to remain undisturbed. Make sure Keyed Note 8 is called out on all areas in between existing curb cuts where sidewalk is supposed to remain undisturbed.
15. For the 6-foot sidewalk tie-in to existing sidewalk on Rio Grande Boulevard, call out for a smooth tie-in.
16. For the uni-directional ramps shown as part of Keyed Note 40 for the drive onto Rio Grande Boulevard, provide detail complete with detectable warning devices.
17. For Keyed Note 21, provide a ramp detail.
18. For the aisle for handicapped parking in the center of the parking lot, increase from 3.5 feet to the required minimum width of 5 feet. If it helps, in order to gain this extra width for this aisle, parking spaces only need to be a minimum width of 8.5 feet.
19. Please include two copies of the traffic circulation layout at the next submittal.

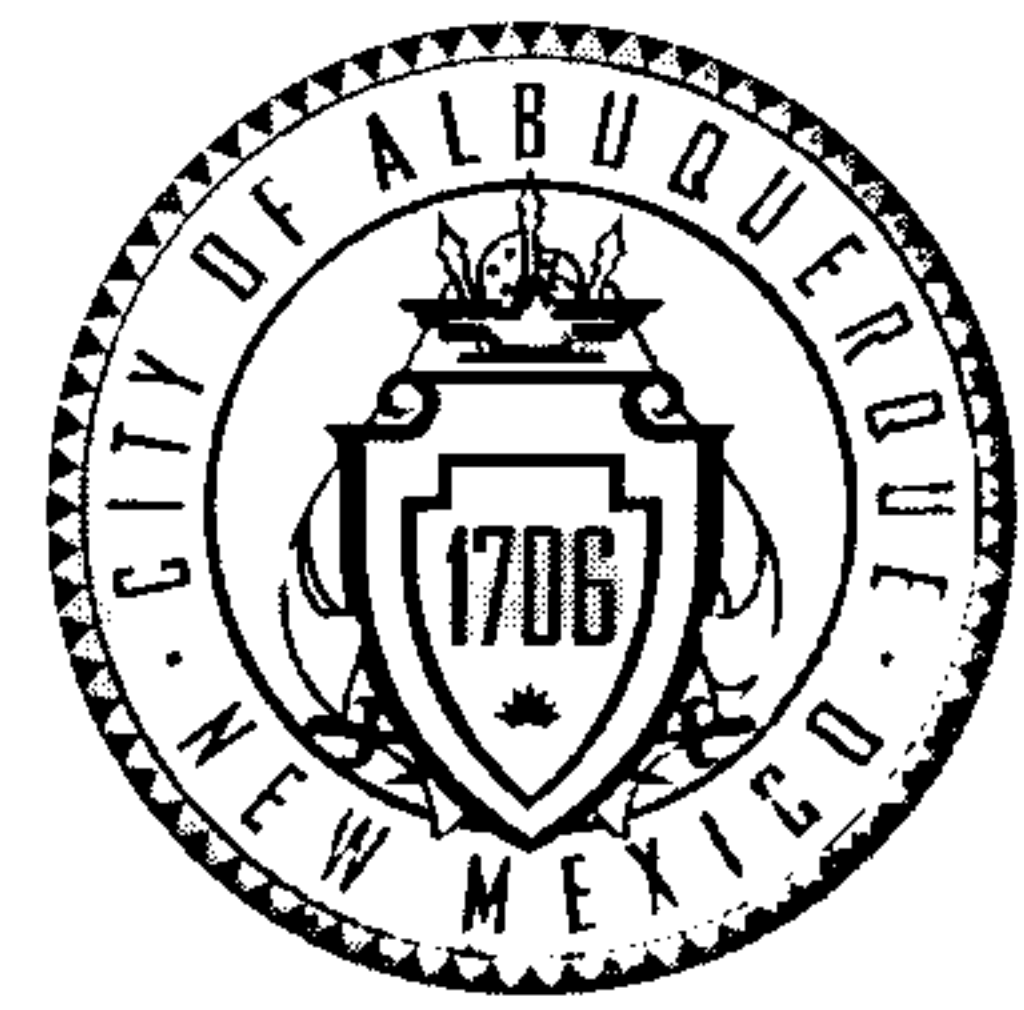
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

February 2, 2015

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Court
Albuquerque, NM 87114

Re: Starbucks and Burger King, 1000 Rio Grande Blvd. NW
Traffic Circulation Layout
Engineer's Stamp dated 01-16-15 (H13-D021)

Dear Mr. Biazar:

Based upon the information provided in your submittal received 01-22-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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2. Label existing curb ramp at the corner of Aspen Avenue and Rio Grande Blvd. Call out for it to remain undisturbed.
3. Label curb radii for all dead-end islands. Radii needs to be a minimum of 15 feet for passenger cars (See Figure 23.7.2, Page 23-88 of DPM.). For the southeast corner of the site development, radii of 10 feet and 8 feet are shown, and they need to be increased to 15 feet.
4. Please show and label the Aspen Avenue/23rd Street intersection to show the proximity of new drivepad location to this intersection.
5. The drive onto Rio Grande Blvd. does not meet the required queuing throat length for an arterial street (Table 23.7.1, page 23-91). The throat will have to be lengthened. It's best to call and discuss this comment.
6. The design delivery route for the larger delivery vehicles needs to be shown.
7. At the northwest corner of Burger King, add curb or barrier to separate pedestrian traffic from vehicular traffic where the radius of 23 feet is shown.
8. For Notes 14, 10 and 27, increase the width of the ADA accessible route from 4 feet to 6 feet. Per the DPM, a 6-foot wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances.
9. Provide a pavement typical section for the asphalt parking lot.

10. Show the mini clear sight distance triangle per page 23-74 of the DPM for the drivepad onto Aspen. Please add the following note to this clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
11. For the new site drive onto Rio Grande Boulevard, provide a clear sight triangle that is in compliance with Page 23-28 of the DPM for intersections. Also add the note "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
12. To provide further clarification for the queuing length for the vehicles, list the total length of the queue for both the Burger King and the Starbucks drive-thru on the site plan view.
13. For Keyed Note 7, please list the length for each one of the curb cut removals and replacements on the plan view.
14. Near Keyed Note 9, call out the existing sidewalk width. For Keyed Note 8, have call-out note saying that existing sidewalk is to remain undisturbed. Make sure Keyed Note 8 is called out on all areas in between existing curb cuts where sidewalk is supposed to remain undisturbed.
15. For the 6-foot sidewalk tie-in to existing sidewalk on Rio Grande Boulevard, call out for a smooth tie-in.
16. For the uni-directional ramps shown as part of Keyed Note 40 for the drive onto Rio Grande Boulevard, provide detail complete with detectable warning devices.
17. For Keyed Note 21, provide a ramp detail.
18. For the aisle for handicapped parking in the center of the parking lot, increase from 3.5 feet to the required minimum width of 5 feet. If it helps, in order to gain this extra width for this aisle, parking spaces only need to be a minimum width of 8.5 feet.
19. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1000 RIO GRANDE BLVD., NW Building Permit #: City Drainage #: ~~5-74-0-1074~~

DRB#:	EPC#:	Work Order#:
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Legal Description: TRACT 338-B, MRGCD MAP 35

City Address: 1000 RIO GRANDE, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: 505-804-5013 **Fax#:** 505-897-4996 **E-mail:** AECLLC@AOL.COM

Owner: _____ Contact: _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: Contact:

Address:

Phone#: Fax#: E-mail:

Surveyor: _____ **Contact:** _____

Address:

Phone#: Fax#: E-mail:

Contractor: _____ **Contact:** _____


Address: _____

Phone#: Fax#: E-mail:

TYPE OF SUBMITTAL:

_____	DRAINAGE REPORT
_____	DRAINAGE PLAN 1st SUBMITTAL
_____	DRAINAGE PLAN RESUBMITTAL
_____	CONCEPTUAL G & D PLAN
_____	GRADING PLAN
_____	EROSION & SEDIMENT CONTROL PLAN (ESC)
_____	ENGINEER'S CERT (HYDROLOGY)
_____	CLOMR/LOMR
_____	x TRAFFIC CIRCULATION LAYOUT (TCL)
_____	ENGINEER'S CERT (TCL)
_____	ENGINEER'S CERT (DRB SITE PLAN)
_____	ENGINEER'S CERT (ESC)
_____	SO-19
_____	OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

<input type="checkbox"/>	SIA/FINANCIAL GUARANTEE RELEASE		
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL		
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D APPROVAL		
<input type="checkbox"/>	S. DEV. FOR BLDG. PERMIT APPROVAL		
<input type="checkbox"/>	SECTOR PLAN APPROVAL		
<input type="checkbox"/>	FINAL PLAT APPROVAL	LAND AND DEVELOPMENT SECTION <i>Complete Submit 1/22/15</i>	
<input type="checkbox"/>	CERTIFICATE OF OCCUPANCY (PERM)		
<input type="checkbox"/>	CERTIFICATE OF OCCUPANCY (TCL TEMP)		
<input type="checkbox"/>	FOUNDATION PERMIT APPROVAL		
<input checked="" type="checkbox"/>	BUILDING PERMIT APPROVAL		
<input type="checkbox"/>	GRADING PERMIT APPROVAL	<input type="checkbox"/>	SO-19 APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL	<input type="checkbox"/>	ESC PERMIT APPROVAL
<input type="checkbox"/>	WORK ORDER APPROVAL	<input type="checkbox"/>	ESC CERT. ACCEPTANCE
<input type="checkbox"/>	GRADING CERTIFICATION	<input type="checkbox"/>	OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 01/16/2015 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development