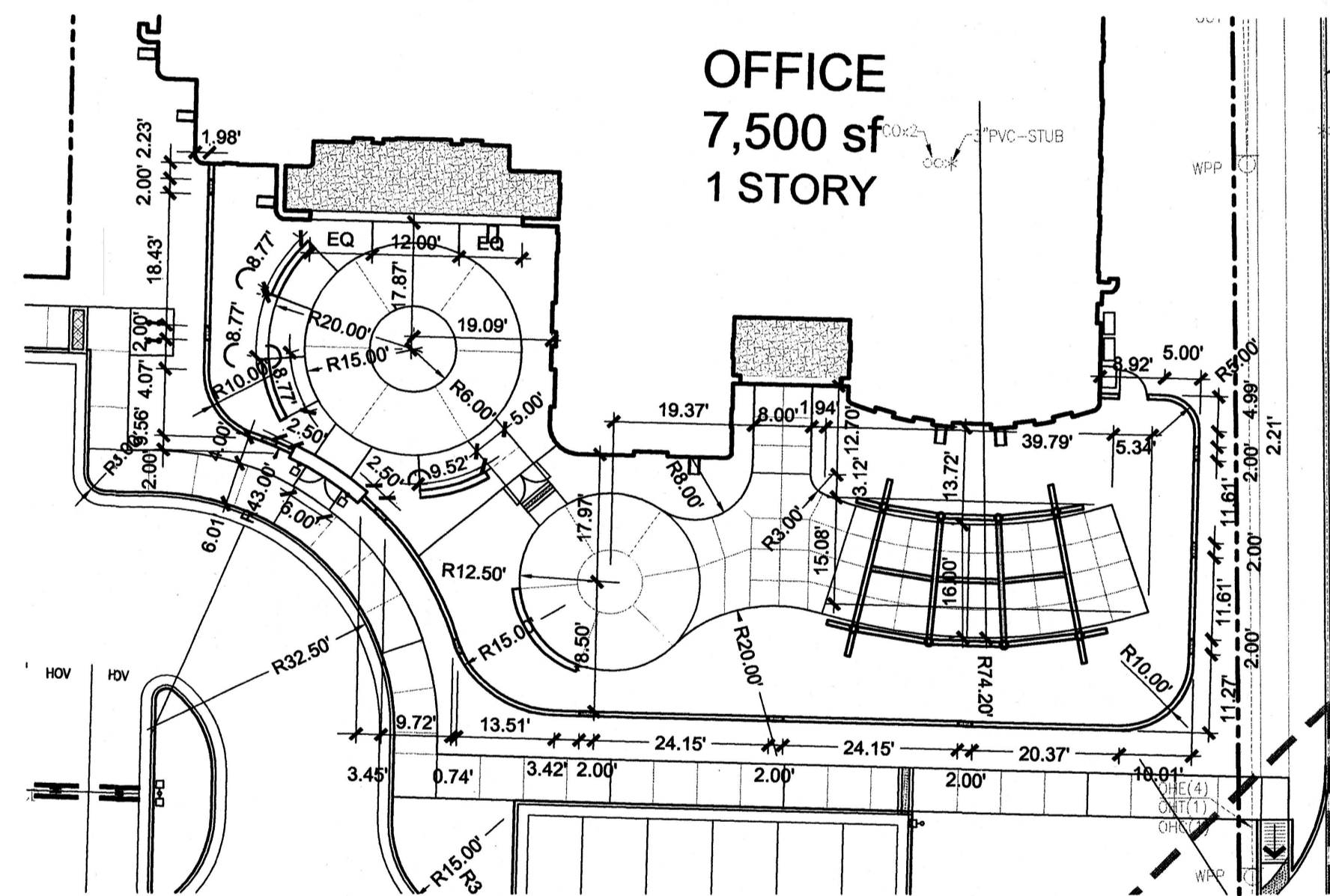


SITE PLAN
1" = 20'



COURTYARD LAYOUT PLAN
1" = 20'

KEYED NOTES (X)

- PROPERTY LINE.
- 15 FT. SETBACK.
- CONCRETE CURB & GUTTER, SEE CIVIL.
- CONCRETE WALK, SEE A1/A001.
- CONCRETE WALK WITH INTEGRAL COLOR, SEE A1/A001.
- CONCRETE PAVERS, SEE A2/A001.
- ACCESSIBLE RAMP, PER COA STD DWG 2426.
- ASPHALT PAVEMENT, SEE CIVIL.
- STAIR WITH HANDRAIL, SEE A3/A001.
- SEAT WALL, SEE C3/A001.
- COURTYARD WALL, 5 FT. STUCCO, COLOR TO MATCH BUILDING, SEE B2/A002.
- COURTYARD WALL OPENING, SEE B2/A002.
- DUMPSTER ENCLOSURE, SEE A1/A002.
- ORNAMENTAL GATE, SEE C2/A001.
- ORNAMENTAL FENCE & GATE, SEE C1/A001.
- BIKE RACKS, SEE SPECS.
- MONUMENT SIGN, SEE B1 & B2/A001.
- SHADE STRUCTURE, SEE B4 AND C1/A002 - ADD ALTERNATE #.
- SPLASHBLOCK, 18"x30" PRECAST CONCRETE.
- TRANSFORMER, SEE ELECTRICAL.
- BACKFLOW PREVENTER, SEE CIVIL.
- GAS METER, SEE MECHANICAL.
- SITE LIGHTING, SEE ELECTRICAL.
- EXISTING POWER POLE.
- EXISTING FIRE HYDRANT.
- SIDEWALK CULVERT, SEE CIVIL.
- ACCESSIBLE PARKING SIGNS, SEE D3/A001.
- ACCESSIBLE RAMP, PER COA STD DWG 2441.
- TEMPORARY ASPHALT CURB, SEE CIVIL.
- DRIVEWAY, PER COA STD DWG 2426.
- SIDEWALK, PER COA STD DWG 2430.
- SIDEWALK OBSTRUCTION, PER COA STD DWG 2431.
- LIMITS OF SITEWORK.
- COURTYARD WALL DRAINAGE OPENING, SEE CIVIL.
- LANDSCAPE AREA.
- ACCESSIBLE PARKING SPACES, SEE D1/A001.
- PARKING STRIPING, 4" WHITE.
- HOV AND LOW-E PARKING SIGNS, SEE D3/A001.
- EXPANSION JOINT, SEE B3/A001.
- CONTROL JOINT, SEE B3/A001.

GENERAL NOTES

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWING #2426 AND SHALL RECEIVE DETECTABLE WARNINGS (TRUNCATED DOMES).
- THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9. AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT 2, LANDS OF MCCLAIN, ALBUQUERQUE NM, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 5, 2006, BOOK 2006C, PAGE 145, TOGETHER WITH TRACT A-3 LANDS OF WILLIAM ANDREW MCCORD, ALBUQUERQUE NM, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 25, 2003, BOOK 2003C, PAGE 190.

GROSS BUILDING AREA (GBA):
BUILDING (1-STORY) = 7,500 SF

TOTAL SITE AREA: 40,066 SF

TOTAL BUILDING FOOTPRINT: 7,500 SF

NET LOT AREA: 32,566 SF

GROSS F.A.R. (GBA/SITE AREA): 0.19

LANDSCAPE AREA
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA): 4,885 SF
PROVIDED LANDSCAPE AREA (47% OF NET LOT AREA): 15,249 SF

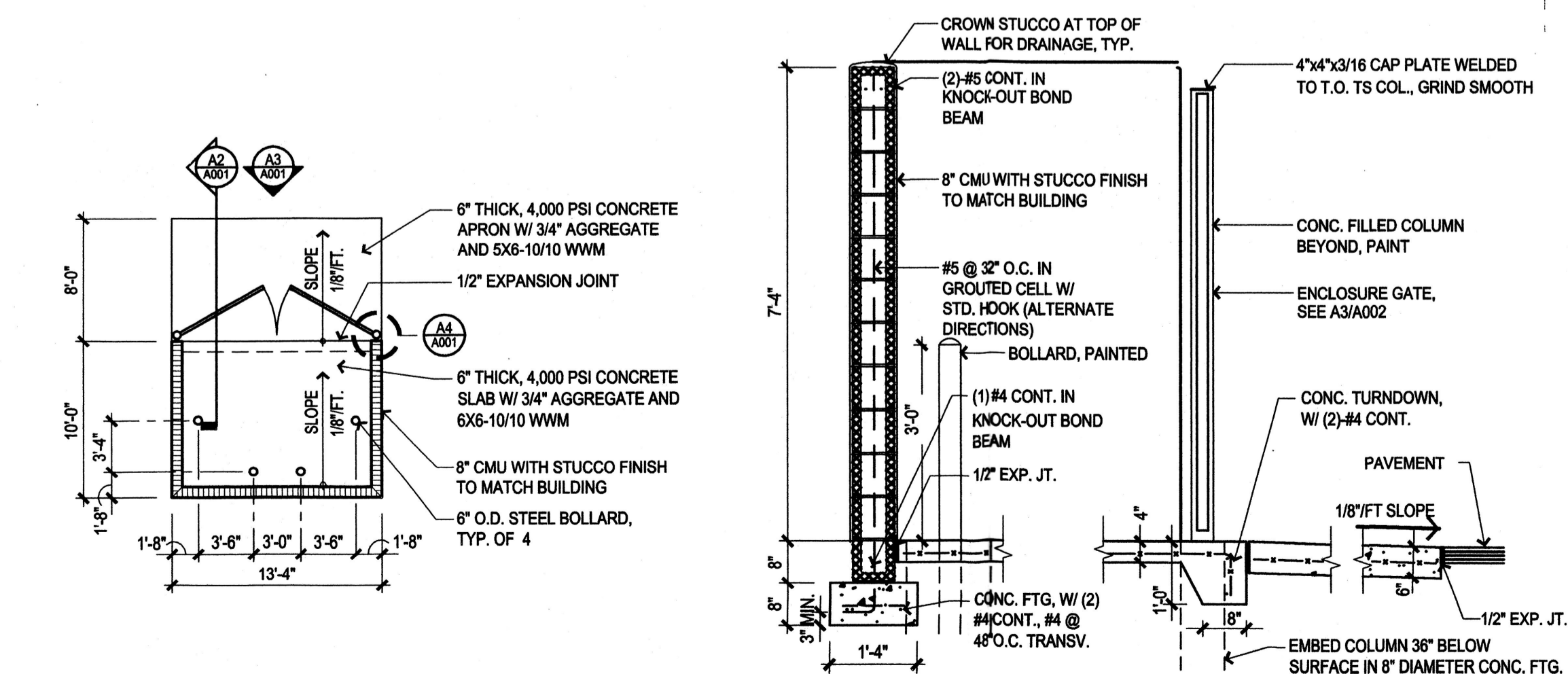
PARKING INFORMATION

TOTAL PARKING:
NET LEASABLE AREA: 6740 SF / 200 SF = 33.7 = 34 PARKING SPACES
10% TRANSIT REDUCTION = 4 PARKING SPACES
TOTAL REQUIRED WITH TRANSIT REDUCTION = 30 PARKING SPACES
TOTAL PARKING PROVIDED = 33

ACCESSIBLE PARKING SPACES:
25-50 PARKING SPACES = 2 (1 VAN) REQUIRED
PROVIDED = 2 (1 VAN)

BIKE PARKING:
1:20 AUTOS = 2 REQUIRED
PROVIDED = 4

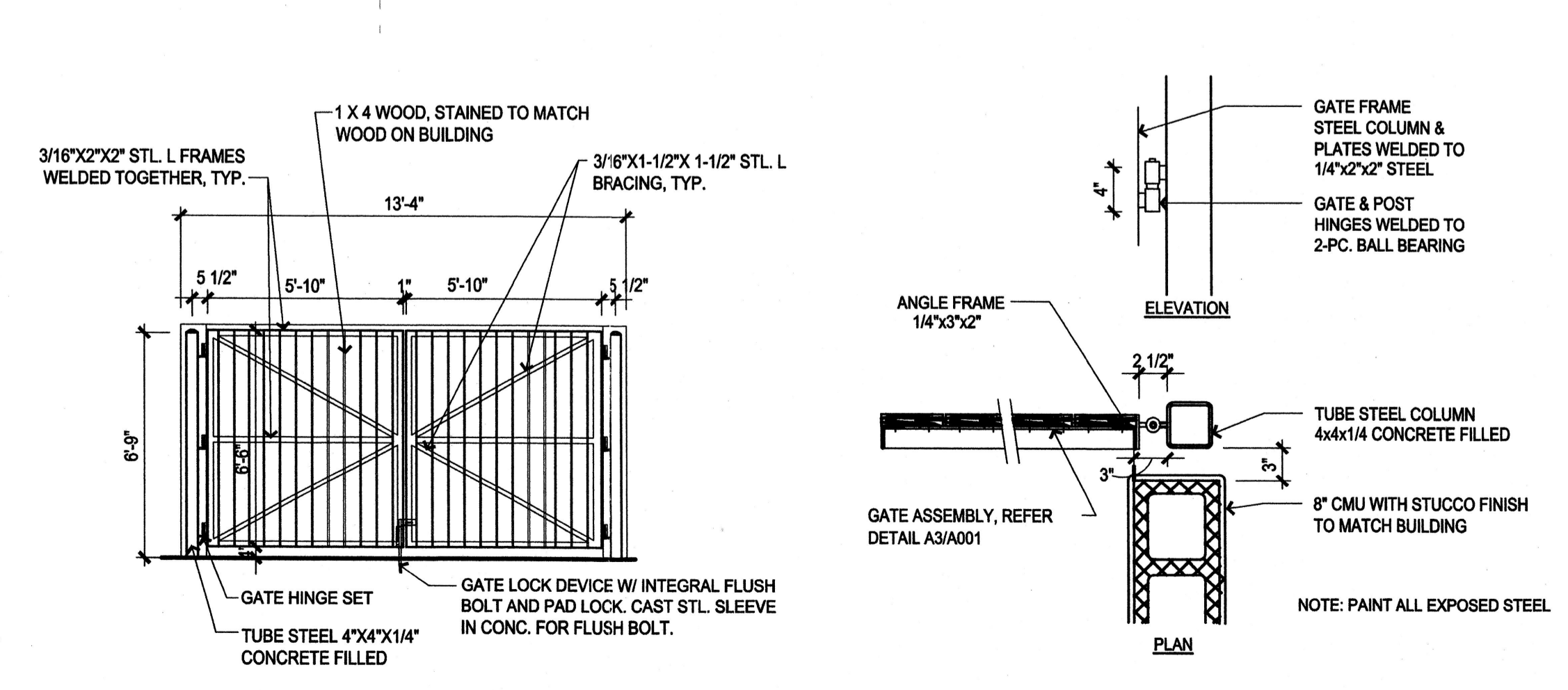
MOTORCYCLE PARKING:
25-50 PARKING SPACES = 2 REQUIRED
PROVIDED = 2



A1 DUMPSTER ENCLOSURE PLAN
1/8" = 1'-0"

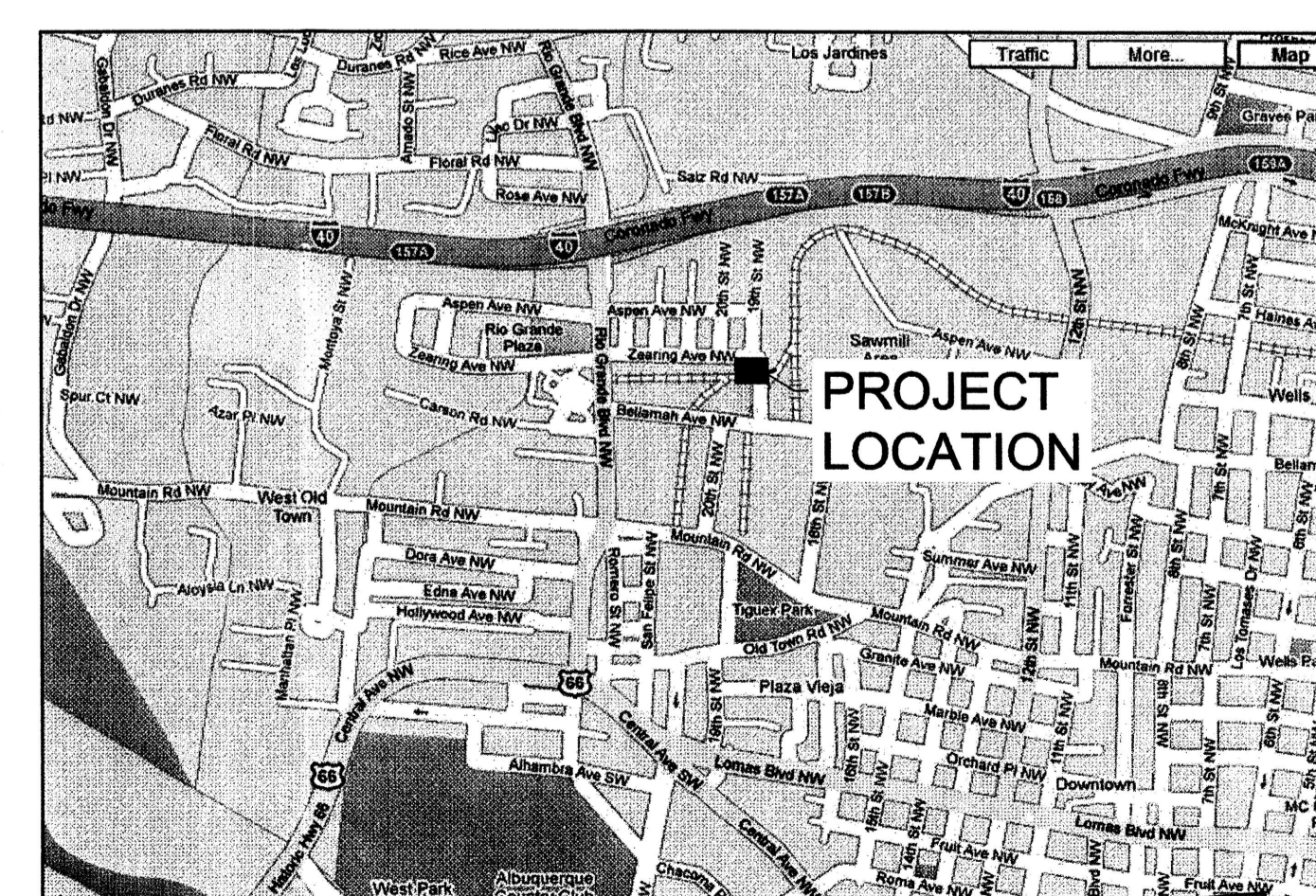
A2 DUMPSTER ENCLOSURE SECTION
1/2" = 1'-0"

A3 DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

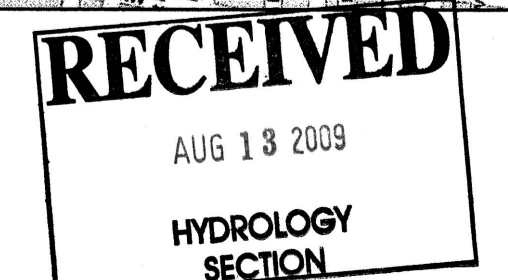


A4 DUMPSTER ENCLOSURE GATE
1/4" = 1'-0"

A5 DUMPSTER ENCLOSURE COLUMN
1" = 1'-0"



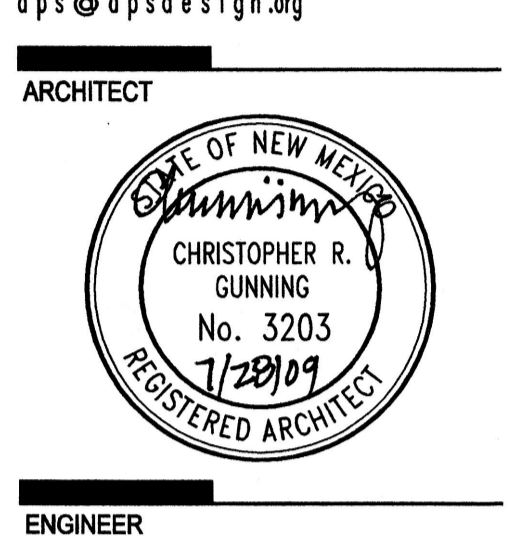
VICINITY MAP



architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org



ARCHITECT
ENGINEER
PROJECT

ACCION NEW MEXICO
Regional Headquarters
2000 Zearing Ave. NW
Albuquerque, New Mexico

REVISIONS
△
△
△
△

DRAWN BY RE
REVIEWED BY
DATE 07/24/09
PROJECT NO. 08-0111
DRAWING NAME
SITE PLAN AND PROJECT DATA

SHEET NO.
A001
OF

GENERAL NOTES

1. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
2. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
3. SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDINGS.
4. DIMENSIONS ARE TO FACE OF CURB, CP WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. PEDESTRIAN ACCESS RAMP WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWING #2426.
6. THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY.
7. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
8. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3.9- AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
9. SIGNAGE:

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:

TOTAL BUILDING FOOTPRINT:

NET LOT AREA:

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA):
FROM 10 LANDSCAPE AREA (20% OF NET LOT AREA):

KEYED NOTES (X)

1. PROPERTY LINE.
2. 25 FT. SETBACK.
3. CONCRETE CURB & GUTTER, SEE CIVIL.
4. CONCRETE WALK, SEE xx/A091.
5. CONCRETE WALK WITH INTEGRAL COLOR, SEE xx/A091.
6. CONCRETE PAVERS, SEE xx/A091.
7. ACCESSIBLE RAMP, SEE CIVIL.
8. ASPHALT PAVEMENT, SEE CIVIL.
9. STAIR WITH HANDRAIL, SEE xx/A091.
10. SEAT WALL, SEE xx/A091.
11. COURTYARD WALL, 5' HT, STUCCO, COLOR TO MATCH BUILDING, SEE A092.
12. COURTYARD WALL WINDOW, SEE A092.
13. DUMPSTER ENCLOSURE, SEE xx/A091.
14. ORNAMENTAL GATE, SEE xx/A091.
15. ORNAMENTAL FENCE & GATE, SEE xx/A091.
16. BIKE RACKS, SEE SPECS.
17. MONUMENT SIGN, SEE xx/A091.
18. SHADE STRUCTURE, SEE A093.
19. SPLASHBLOCK, SEE xx/A091.
20. TRANSFORMER, SEE ELECTRICAL.
21. BACKFLOW PREVENTER, SEE PLUMBING.
22. GAS METER, SEE MECHANICAL.
23. SITE LIGHTING, SEE ELECTRICAL.
24. EXISTING POWER POLE.
25. EXISTING FIRE HYDRANT.
26. SIDEWALK CULVERT, SEE CIVIL.
27. PARKING SIGNS, SEE xx/A091.

All ramps in City
Right of way must
have truncated domes

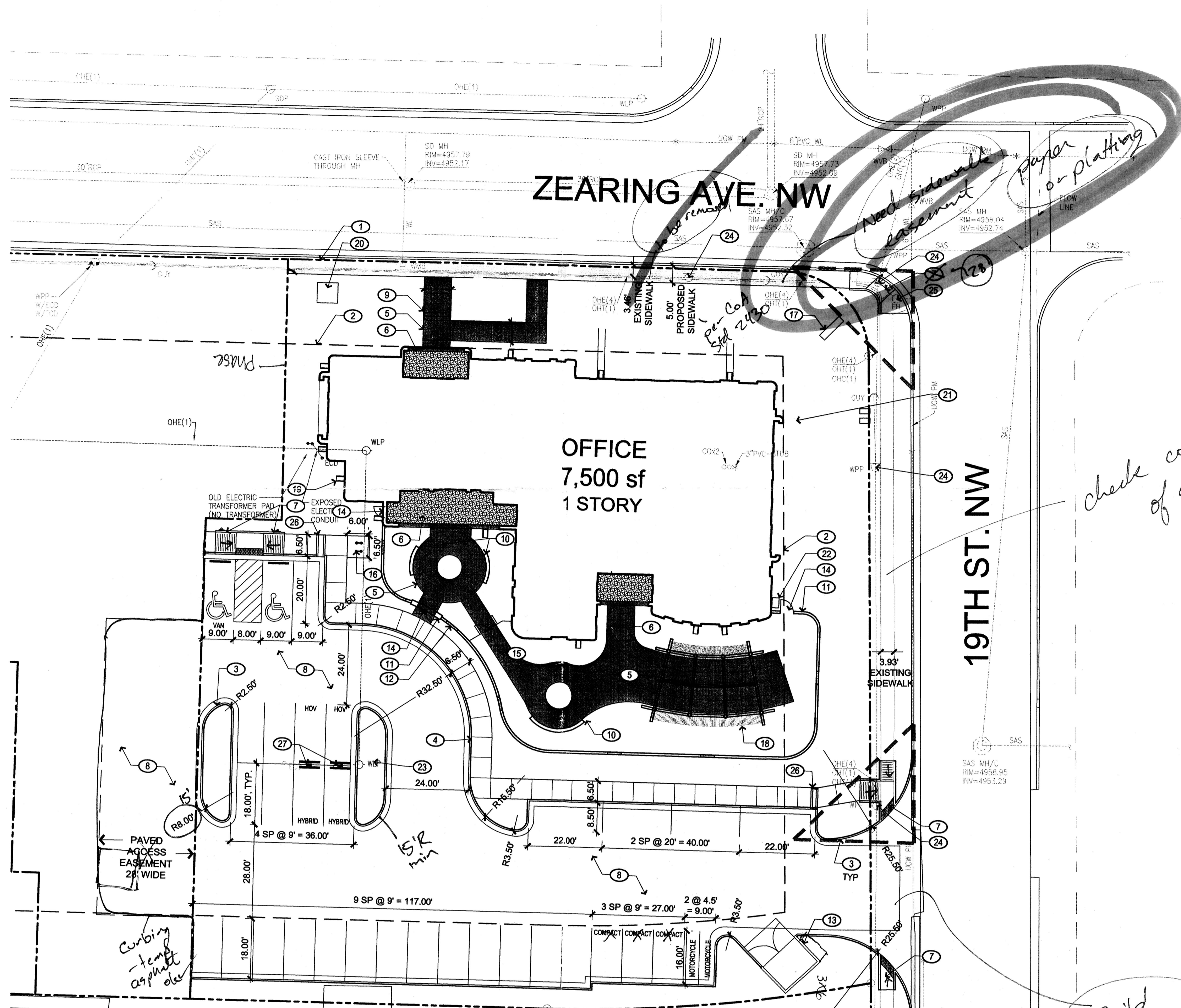
(28) New accessible ramp
per CoA Std 2441

REVISIONS
△ *Per Design*
△ *CONFERENCE*
△ *NOTES*

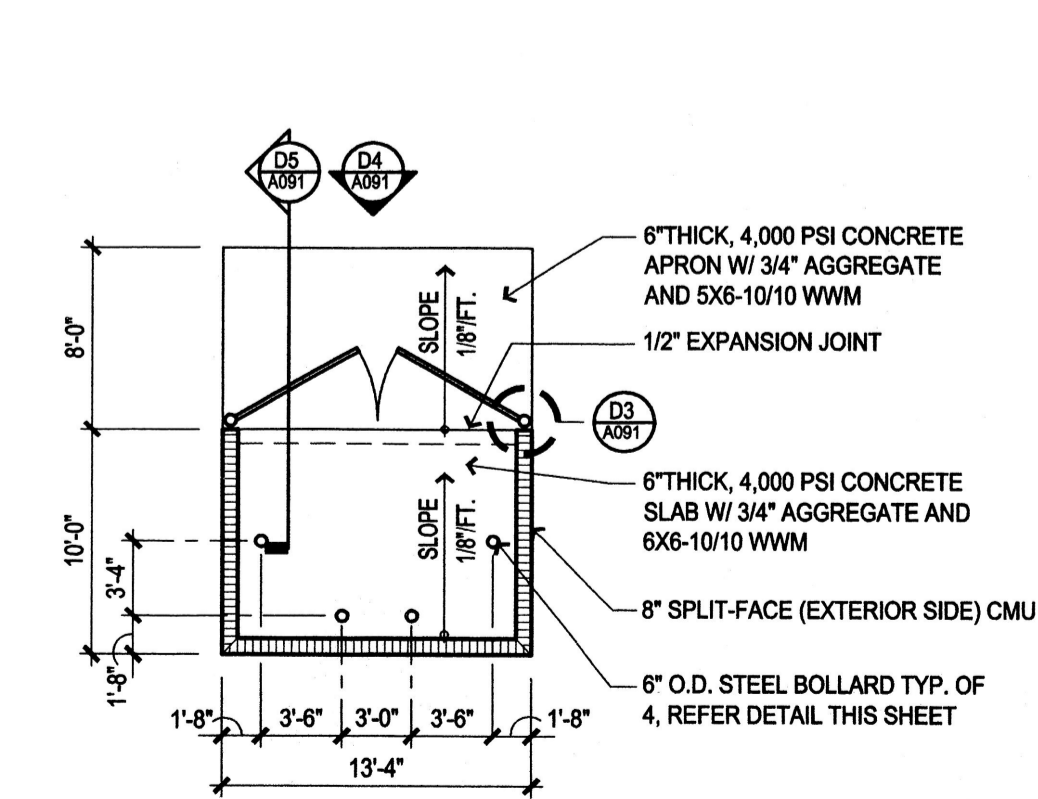
DRAWN BY
REVIEWED BY
DATE 04-16-09
PROJECT NO. 08-0111
DRAWING NAME
SITE PLAN

SHEET NO.
A002
OF

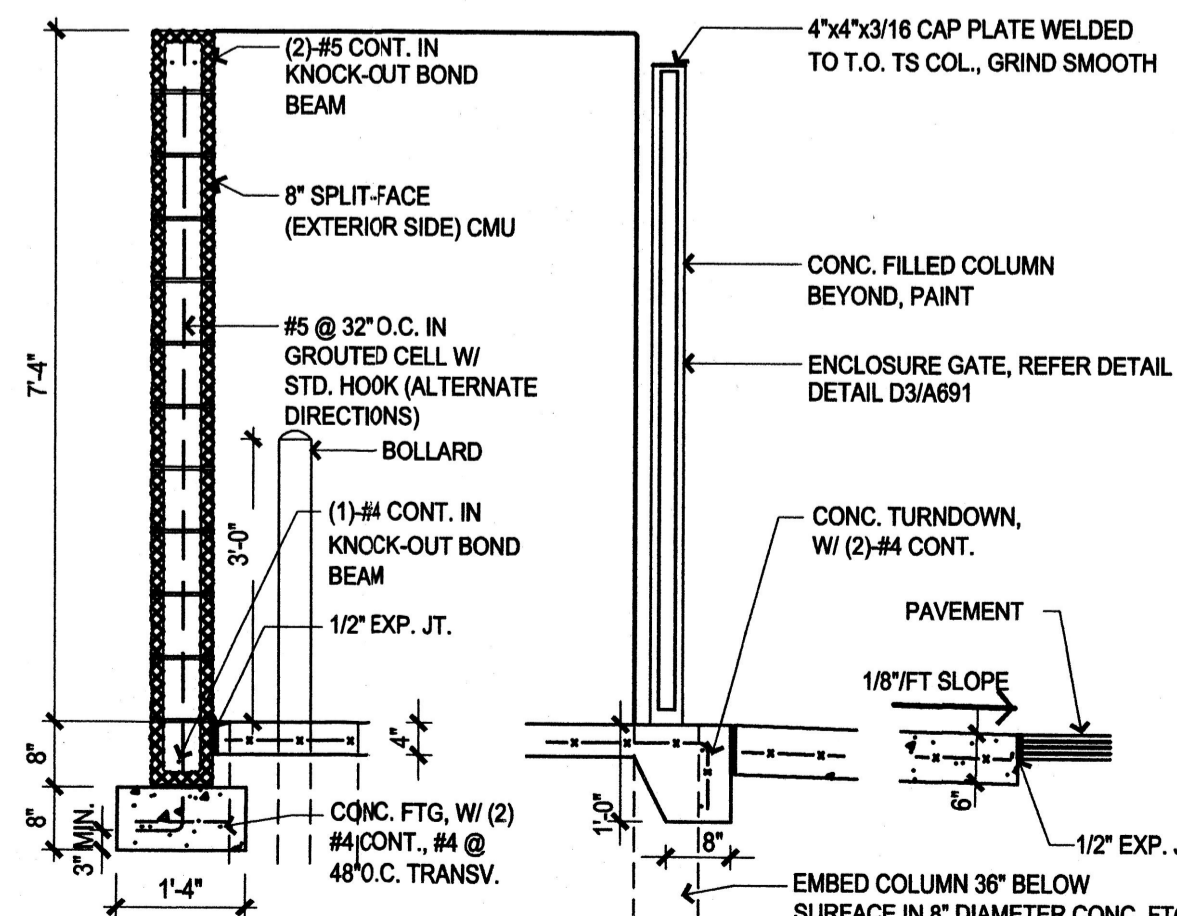
RECEIVED
AUG 13 2009
HYDROLOGY
SECTION



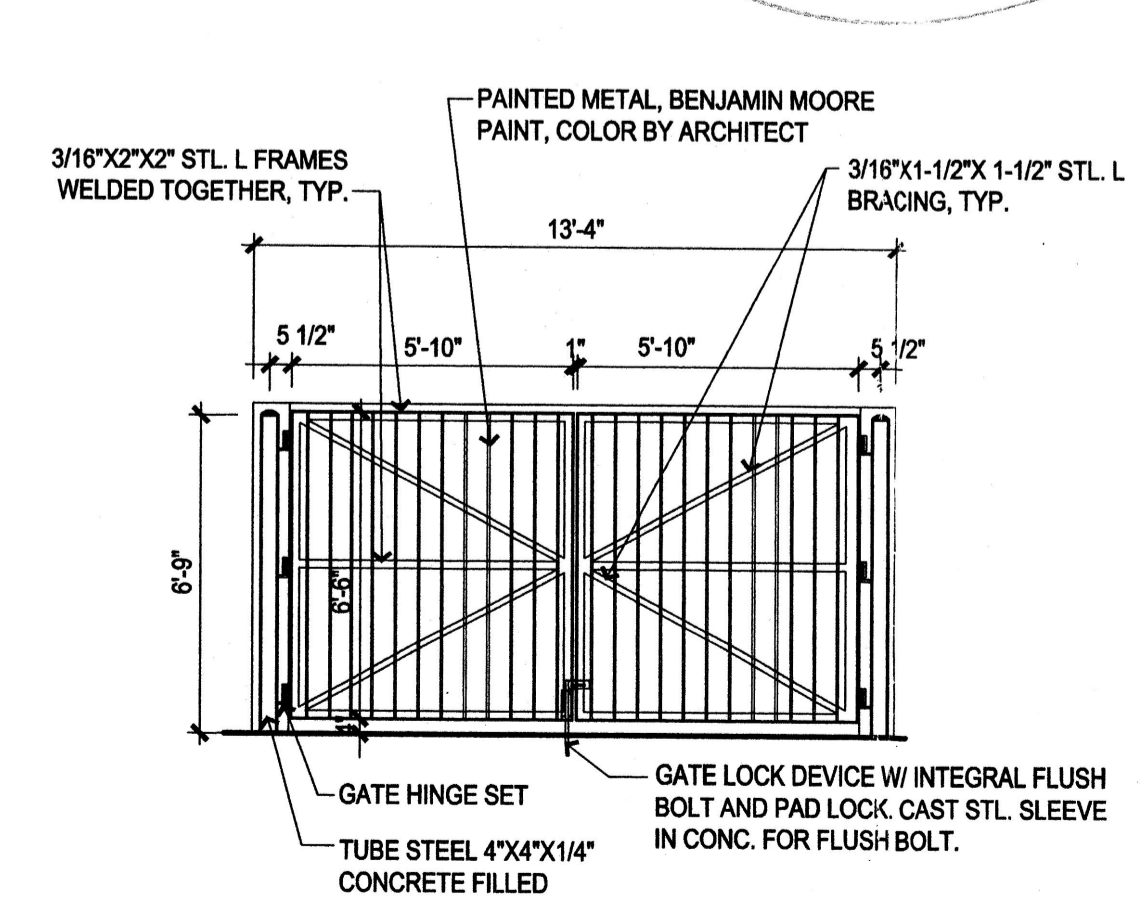
SITE PLAN
1" = 20'



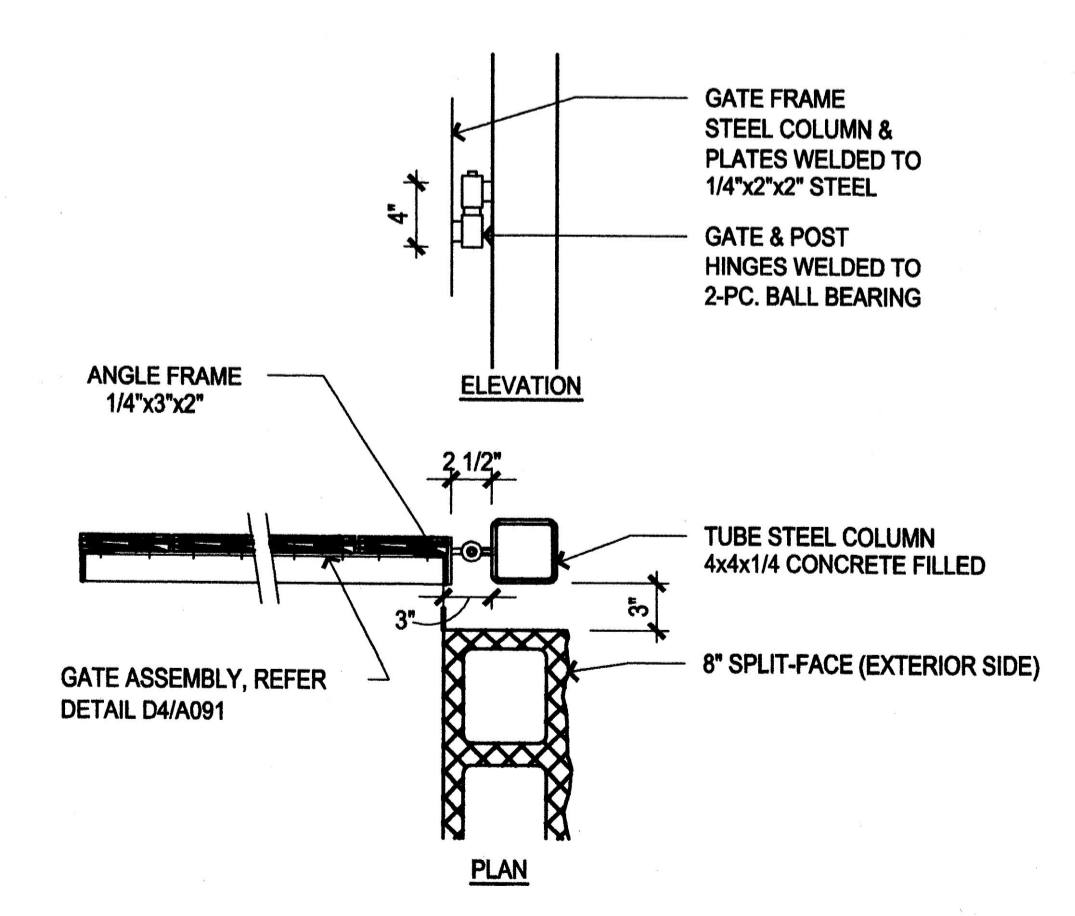
DUMPSTER ENCLOSURE PLAN
1/8" = 1'-0"



DUMPSTER ENCLOSURE SECTION
1/2" = 1'-0"



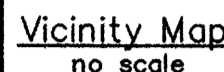
DUMPSTER ENCLOSURE GATE ELEVATION
1/4" = 1'-0"



DUMPSTER ENCLOSURE COLUMN
1" = 1'-0"

VICINITY MAP

6/5/09
KIDZ



SUBDIVISION DATA

- ## PUBLIC UTILITY EASEMENTS

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

LEGAL DESCRIPTION

together with:

and being more particularly described by metes and bounds as follows:

FREE CONSENT AND DEDICATION BY OWNERS OF TRACT 2 AND TRACT A-3

OWNERS OF TRACT 2 AND TRACT A-3

ACKNOWLEDGMENT

SURVEYOR'S AFFIDAVIT

A circular professional seal for a surveyor. The outer ring contains the text "PROFESSIONAL SURVEYOR" at the top and "RONALD A. FORSTBAUER" at the bottom. Inside this is a smaller circle with "STATE OF" at the top and "NEW MEXICO" at the bottom. In the center of the seal is the license number "6126".

Utility Approvals:

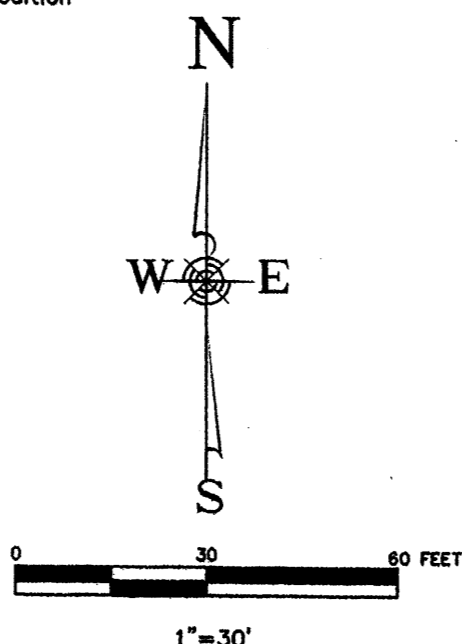
City Approvals:

BERNALILLO COUNTY TREASURER'S OFFICE:

RECEIVED
SEP 25 2009
HYDROLOGY
SECTION

Tracts 1 & 2
Lands of Accion New Mexico
being a replat of
Tract 2, Lands of McClain and
Tract A-3, Lands of William Andrew McCord
Projected Section 18, T.10N., R.3E., N.M.P.M.
Town of Albuquerque Grant
City of Albuquerque
Bernalillo County, New Mexico
August 2009

Albuquerque Control Survey Monument "8-H13" Geographic Position
(NAD 83)
N.M. State Plane Coordinates (Central Zone)
Northing = 1,495,058.484
Easting = 1,514,348.572
Ground-to-Grid Factor = 0.999684701
delta alpha = -00° 14' 32.76"
NAVD 1988 Elevation = 4963.168



21st Street NW
N23° 58' 05" W
2428.81'

20th Street NW

19th Street NW

Zearing Avenue NW
(R.O.W. width varies)

Tract 1
Lands of McClain
filed 5/5/2006,
Book 2006C, Page 145

Tract 1
(1.6461 acres)

Tract 2
(0.9198 acres)

Tract A-2
Lands of William Andrew McCord
filed 6/25/2003,
Book 2003C, Page 190

Tract A-3

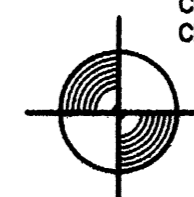
unplatted
Tract 340A2A1C
M.R.G.C.D. Property Map No. 35

Line Table		
Line No.	Length	Direction
L1	5.60	N1° 25' 44"E
L2	110.29	S88° 34' 16"E
L3	36.72	S88° 34' 16"E

Curve Table					
Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	3.13	4.00	44° 46' 52"	N66° 10' 50"W	3.05
C2	9.38	6.00	89° 33' 44"	S88° 34' 16"E	8.45
C3	3.13	4.00	44° 46' 52"	S69° 02' 18"W	3.05

DOCN 2009104309

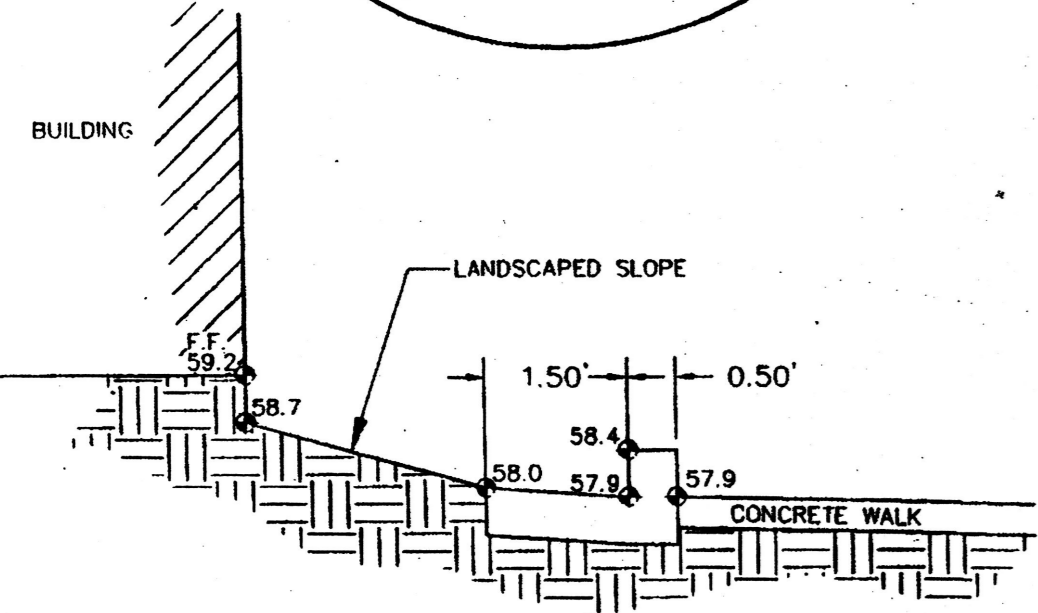
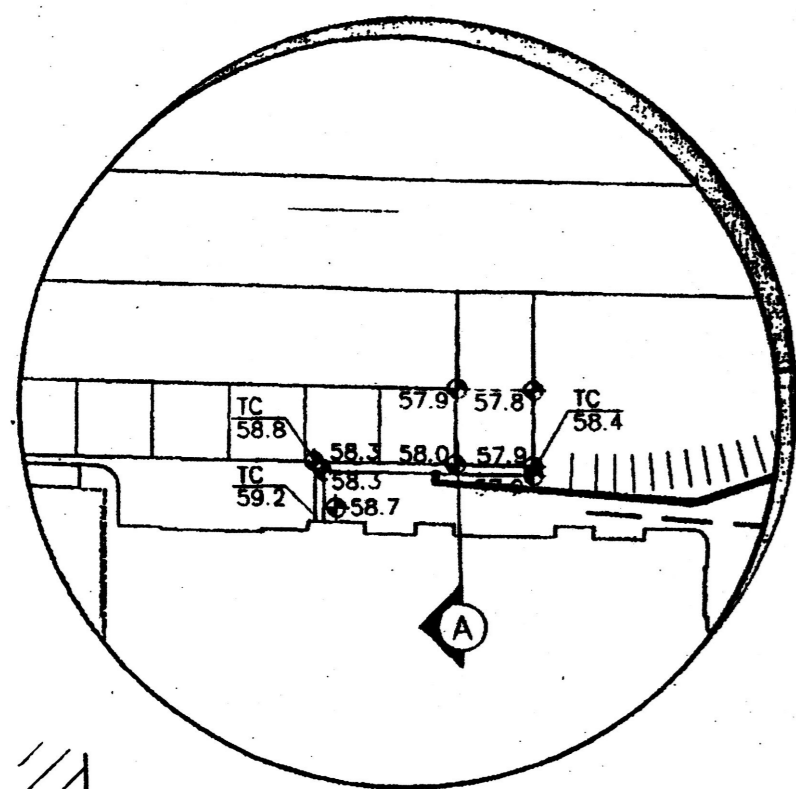
09/16/2009 10:46 AM Page: 2 of 2
ty:PLAT R:12.00 B: 2009C P: 0143 M. Toulouse Olivere, Bernalillo Cour



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

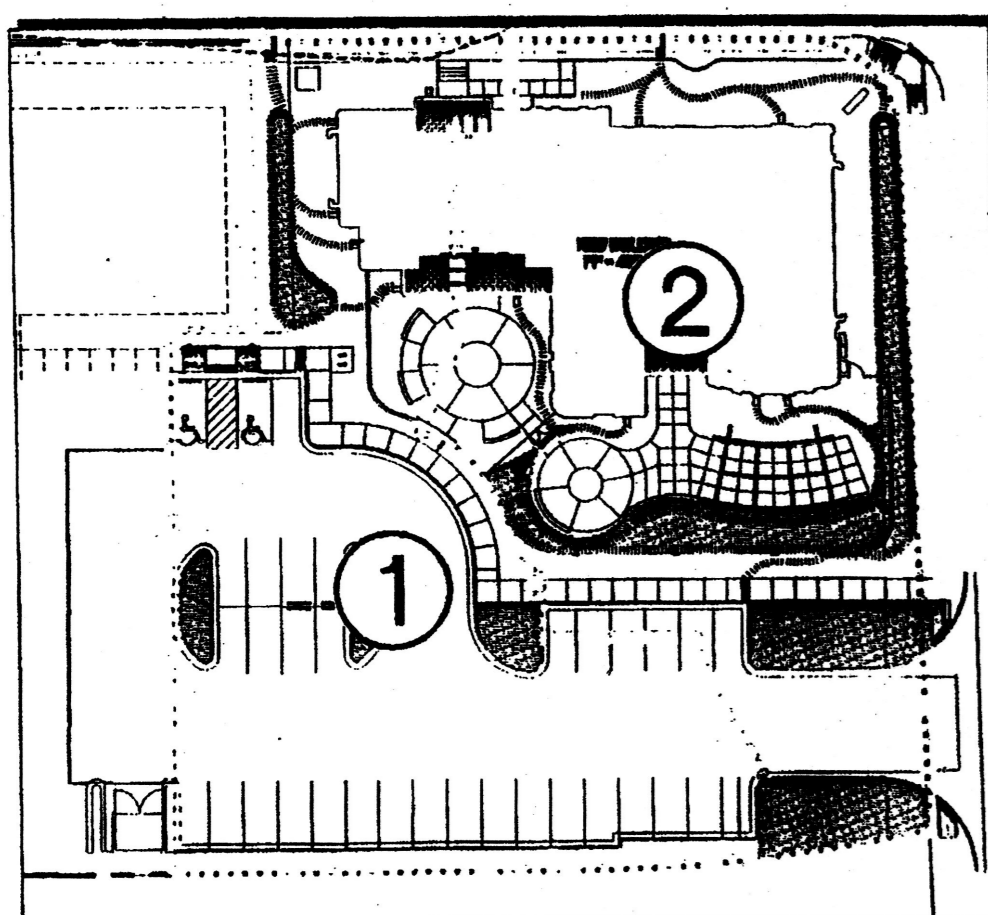
Sheet 2 of 2

CONCRETE RUNDOWN

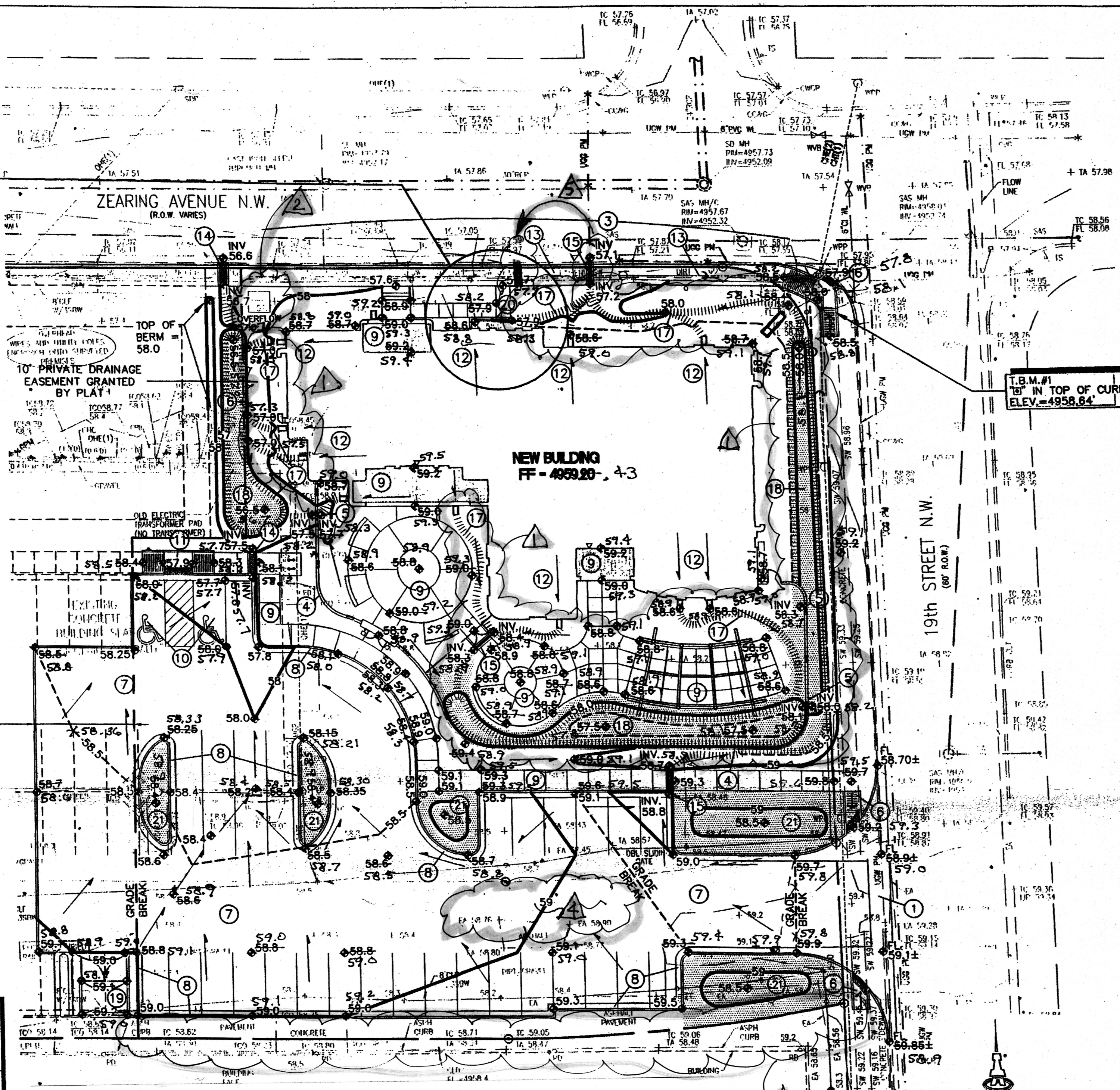


CONCRETE RUNDOWN SECTION A

DRAINAGE SUB-BASINS



Spoke w/ Bob 9-3-10.
I told him that when he has a
crow out drive tearing it out and
they have more progress on the report,
I will look at it and give him a temp CO and
I will give him a temp CO and
count on him to do it right.
Curtis a few 9-3-10
OK - 9/24/10
cmc/45



TEMPORARY DRAINAGE CERTIFICATION

I, Genevieve L. Donat, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 07/28/09 with the following exceptions:

1. Need to install fractured face rock swales to prevent erosion along drainage paths per keyed notes #16 & #17. Any gravel that is in place will need to be removed, the subgrade dug down to keep the top of rock at the surrounding grade, then the rock added.
2. There is a transformer installed on the NW corner of the building. The slope on the north side of the transformer is too steep. The gravel is sloughing off the landscape fabric. It needs fractured face rock or concrete slope protection.
3. Need additional survey shots on the retaining wall and pond that were added along the south edge of the parking lot during construction.
4. There is a minor bird bath in the parking lot.
5. The sidewalk culvert moved west.

The following change occurred that is acceptable:

The record information edited onto the original design document was obtained by Vladimir Jirik, NMPS #10464, of the firm Albuquerque Surveying Company, Inc. I further certify that I have personally visited the project site on 08/28/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donat
NMPE #15088
Date 9/1/10
NEW MEXICO
15088
ENGINEER

S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME DATE
INSPECTOR

GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, FINISH FLOOR ELEVATION OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- D. THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS), A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- E. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR 'L', TRANSITIONS TO EXISTING SHALL BE SMOOTH AND LEVEL.
- G. ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERRING F.F. ROCK EROSION PROTECTION.
- H. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- I. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- J. POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- K. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF TRACT 2, LANDS OF MCCLAIN, ALBUQUERQUE, NEW MEXICO.

SITE AREA: 0.9199 ACRES

FLOOD ZONE: F.I.R.M. PANEL 331 INDICATES A ZONE AH 1929 DATUM BASE FLOOD ELEVATION = 4956** (1988 DATUM BASE FLOOD ELEVATION = 4959) DESIGNATION WHICH IS FURTHER DESCRIBED AS SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; FLOOD DEPTHS OF 1 TO 3 FEET. **1929 ELEVATION USED ON PLAN CORRESPONDS WITH 1929 DATUM USED FOR TOPOGRAPHIC SURVEY DATA PROVIDED.

ENGINEER: SCOTT MCGEE
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABO. NM 87108
PHONE: (505) 268-8828

SURVEYOR: HIGH MESA CONSULTING GROUP
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NM 87109
PHONE: (505)345-4250

TEMPORARY BENCHMARK: "B" IN TOP OF CURB AS SHOWN ELEVATION = 4956.64'

BENCHMARK: ACS STANDARD BRASS TABLET STAMPED "B-134" SET FLUSH WITH THE TOP OF CURB AT THE E.N.E. CURB RETURN AT INTERSECTION OF MOUNTAIN ROAD N.W. AND 18TH STREET N.W.

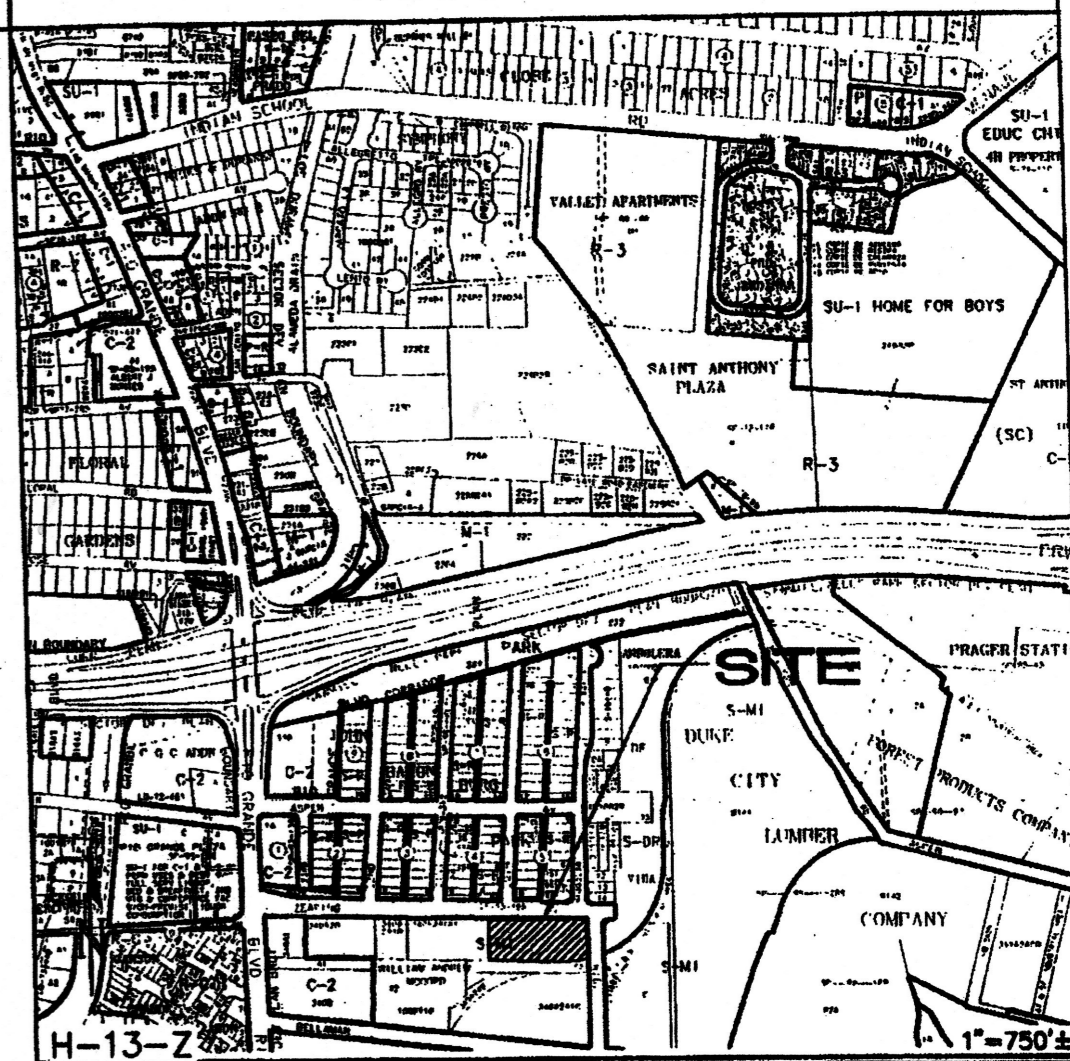
ELEVATION = 4956.62 FEET (NGVD 1929)

PROPOSED DRAINAGE CONCEPT: DEVELOPED PROPERTY WILL GENERATE 4.2 CFS WHICH REPRESENTS A MINOR INCREASE OF 0.5 CFS OVER HISTORIC. THE SITE IS DIVIDED INTO TWO SUB-BASINS (SEE MAP AT LEFT). SUB-BASIN 1 WILL DISCHARGE 2.1 CFS TO ZEARING AVENUE AND SUB-BASIN 2 WILL PASS 2.1 CFS TO ON-SITE PONDING TO ACHIEVE LEAD POINT, IN THE EVENT THAT THE POND SYSTEM FILLS TO CAPACITY, EXCESS FLOW WILL PASS AS SHEETFLOW TO ZEARING AVE.

LEGEND

- + 59.2 EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOW ARROW
- FF = 4959.20 FINISH FLOOR ELEVATION
- TC 81.2 TOP OF CURB ELEVATION
- FL 81.4 FLOWLINE
- INV = 72.5 INVERT ELEVATION

VICINITY MAP



KEYED NOTES

1. CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWG. 2526. MATCH EXISTING FOR SMOOTH TRANSITION.
2. NOT USED
3. NEW PUBLIC WALK PER C.O.A. STD. DWGS. 2430 AND 2431 TO BE CONSTRUCTED THIS AREA. MATCH EXISTING FOR SMOOTH TRANSITION.
4. NEW COURTYARD PRIVACY WALL. SEE ARCHITECTURAL FOR DESIGN. GRADE ON EACH SIDE OF WALL TO ELEVATIONS SHOWN (MAX. GRADE DIFFERENCE = 18").
5. PROVIDE 8" HIGH X 16" WIDE OPENING THROUGH WALL AT GRADE. (THREE LOCATIONS).
6. NEW PUBLIC HANDICAP RAMP PER C.O.A. STANDARDS AND ADA REQUIREMENTS. BUILD RAMPS AT 12:1 (HOR:VERT) SLOPE MAXIMUM. LANDING AREA AT BOTTOM OF RAMPS SHALL BE MIN. 5'X5' AND 2% SLOPE MAXIMUM. INSTALL 2' WIDE TRUNCATED DOMES PER ADA REQUIREMENTS.
7. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT.
8. CONSTRUCT MEDIAN CURB AND GUTTER AT ALL ON-SITE CURB LOCATIONS UNLESS NOTED OTHERWISE. SEE ARCH. FOR DETAIL.
9. CONSTRUCT CONCRETE WALK / PATIO AT ELEVATIONS SHOWN.
10. SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
11. CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
12. CONCENTRATED ROOF DISCHARGE THIS AREA WITH SPLASHBLOCK FOR EROSION CONTROL. SEE ARCHITECTURAL FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING.
13. NEW 6' PUBLIC SIDEWALK - SEE SITE PLAN.
14. CONSTRUCT 1.5' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO PASS FLOW. (TWO LOCATIONS).
15. CONSTRUCT 1.0' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO PASS FLOW. (THREE LOCATIONS).
16. CONSTRUCT 3' WIDE (MIN.) MAIN FRACTURED FACE ROCK SWALE (SHOWN HATCHED) AT 1% MIN. SLOPE.
17. CONSTRUCT 2.0' WIDE FRACTURED FACE ROCK SWALES FROM SPLASH PADS TO DIRECT CONCENTRATED DISCHARGE.
18. CONSTRUCT GRADED DETENTION BASIN / POND TO COLLECT SITE FLOW, UTILIZE FOR LANDSCAPING AND RELEASE EXCESS AS SHEETFLOW. PROVIDE EROSION PROTECTION ON ALL SIDE SLOPES TO MAINTAIN BASIN DEFINITION. SHADED AREA REPRESENTS MAXIMUM EXTENTS OF PONDING.
19. CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
20. SEE DETAIL THIS SHEET FOR CONCRETE RUNDOWN THIS AREA.
21. LANDSCAPING THIS AREA TO BE DEPRESSED TO TO ELEVATIONS SHOWN TO PROVIDE VOLUME FOR RAINFALL.

ISAACSON & ARFMAN, P.A.
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128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1709 CG-101.dwg Jul 28, 2009

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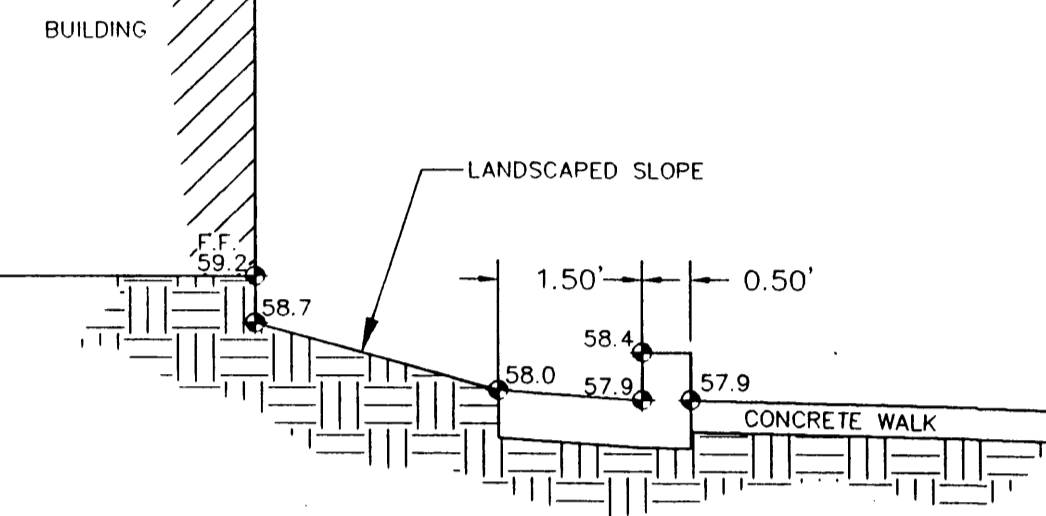
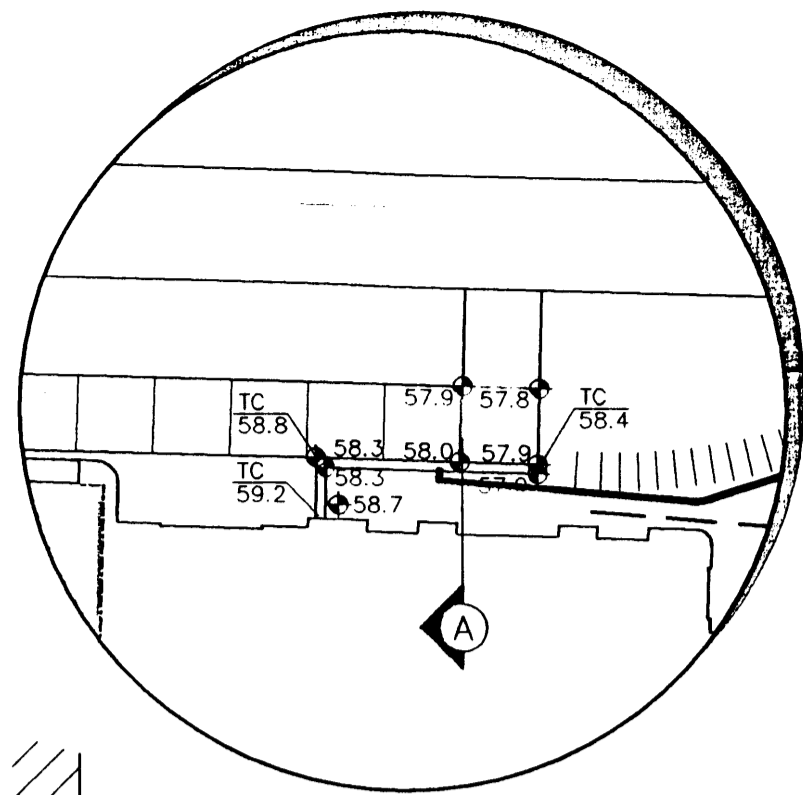
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HYDROLOGY SECTION

GRADING AND DRAINAGE

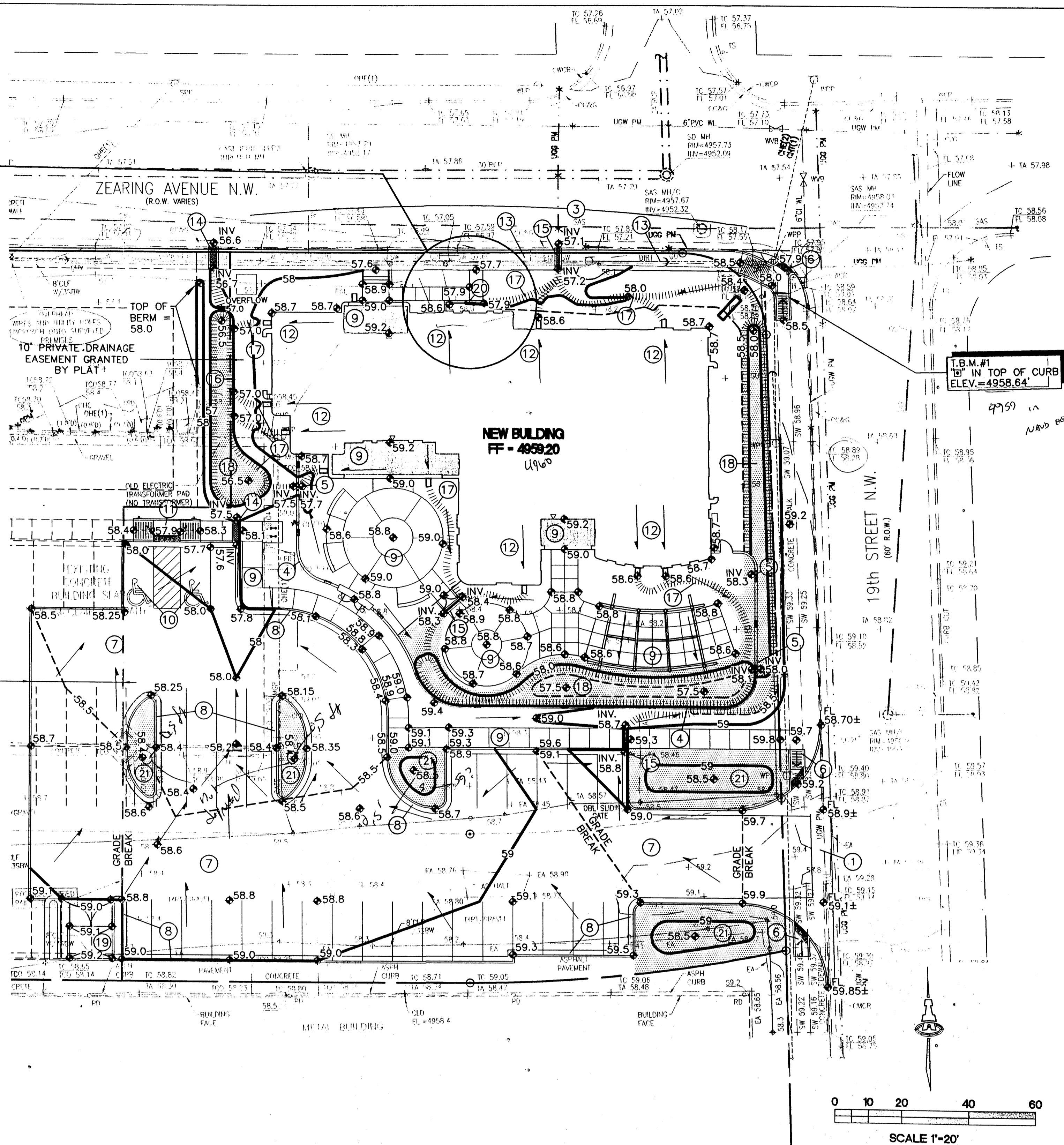
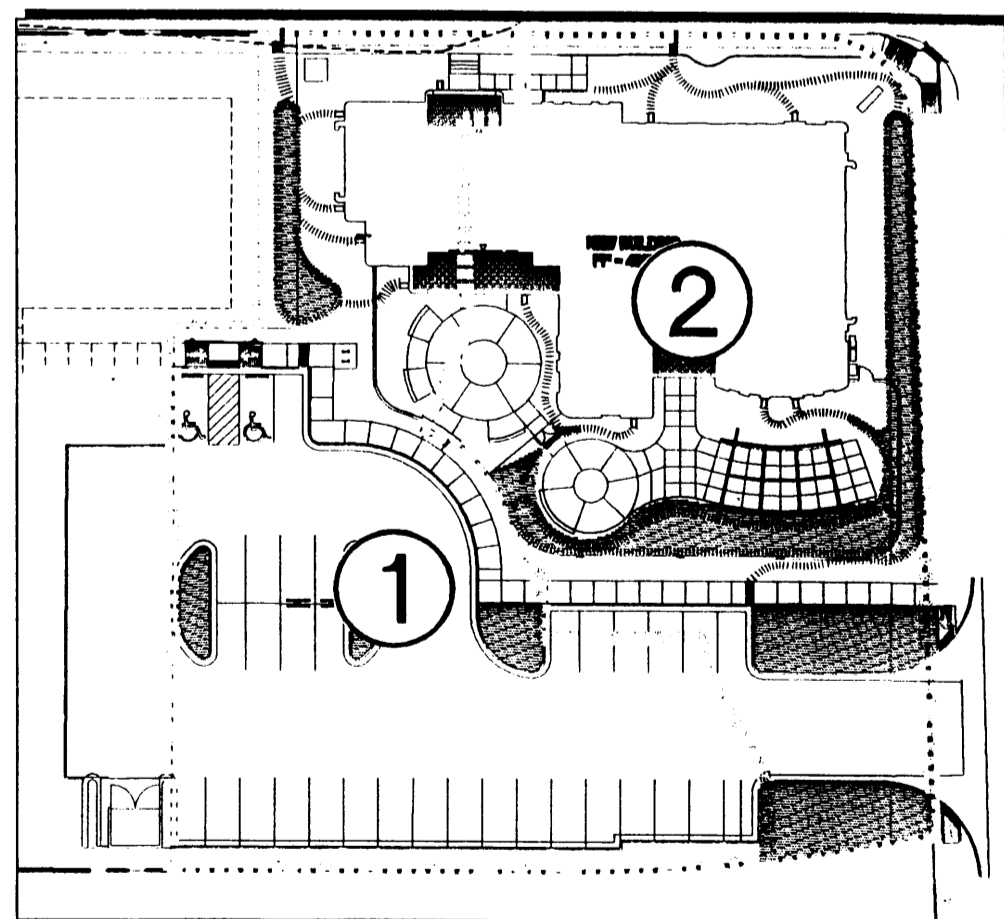
Date:	No. Revisions	Date	Job No.
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Drawn By:			CG-101
BJB			
Chd By:			SH. OF
SMM			

CONCRETE RUNDOWN



CONCRETE RUNDOWN SECTION A

DRAINAGE SUB-BASINS



S.O.19 : NOTICE TO CONTRACTORS

1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.	
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.	
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.	
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.	
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.	
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.	
APPROVAL		NAME
INSPECTOR		DATE

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, FINISH FLOOR ELEVATION OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR 'X' TRANSITIONS TO EXISTING SHALL BE 'SMOOTH' AND 'LEVEL'.
- ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF TRACT 2, LANDS OF MCCLAIN, ALBUQUERQUE, NEW MEXICO.

SITE AREA: 0.9199 ACRES

FLOOD ZONE: F.I.R.M. PANEL 331 INDICATES A ZONE AH 1929 DATUM BASE FLOOD ELEVATION = 4956** (1988 DATUM BASE FLOOD ELEVATION = 4959) DESIGNATION WHICH IS FURTHER DESCRIBED AS SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; FLOOD DEPTHS OF 1 TO 3 FEET.

****1929 ELEVATION USED ON PLAN CORRESPONDS WITH 1929 DATUM USED FOR TOPOGRAPHIC SURVEY DATA PROVIDED.**

ENGINEER: SCOTT MCGEE
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABO. NM 87108
PHONE: (505) 268-8828

SURVEYOR: HIGH MESA CONSULTING GROUP
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NM 87109
PHONE: (505)345-4250

TEMPORARY BENCHMARK: "9" IN TOP OF CURB AS SHOWN ELEVATION= 4958.64'-1"

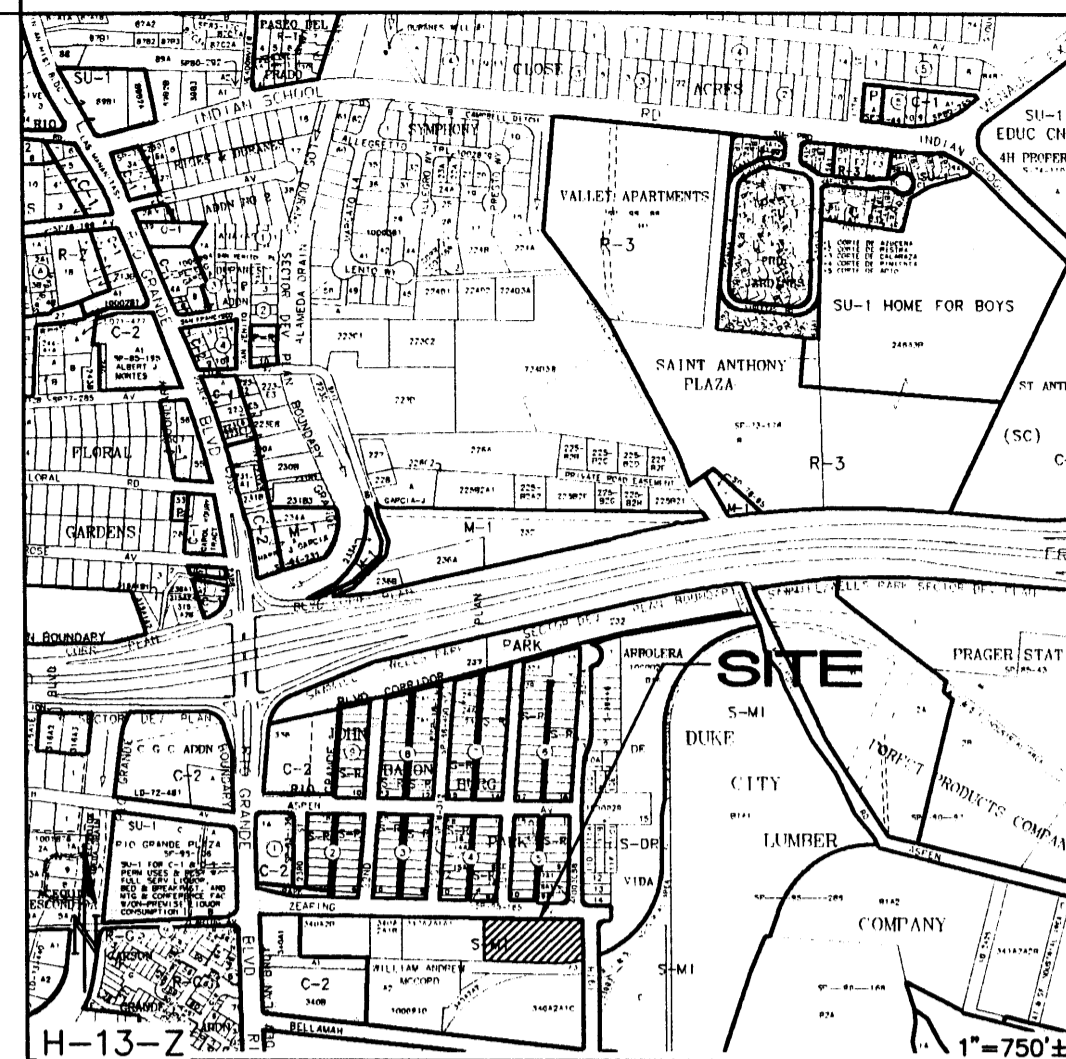
BENCHMARK: ACS STANDARD BRASS TABLET STAMPED "8-J13A" SET FLUSH WITH THE TOP OF CURB AT THE E.N.E. CURB RETURN AT INTERSECTION OF MOUNTAIN ROAD N.W. AND 18TH STREET N.W.

ELEVATION= 4956.62 FEET (NGVD 1929) -

LEGEND

+ 59.2	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
◆ 78.3	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF = 4959.20	FINISH FLOOR ELEVATION
TC 81.9 FL 81.4	TOP OF CURB ELEVATION
INV=72.5	INVERT ELEVATION

VICINITY MAP



KEYED NOTES

- CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWG. 2526. MATCH EXISTING FOR SMOOTH TRANSITION.
- NOT USED
- NEW PUBLIC WALK PER C.O.A. STD. DWGS. 2430 AND 2431 TO BE CONSTRUCTED THIS AREA. MATCH EXISTING FOR SMOOTH TRANSITION.
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Ph. 505-268-8828 Fax. 505-268-2632
1709 CG-101.dwg Jul 28, 2009

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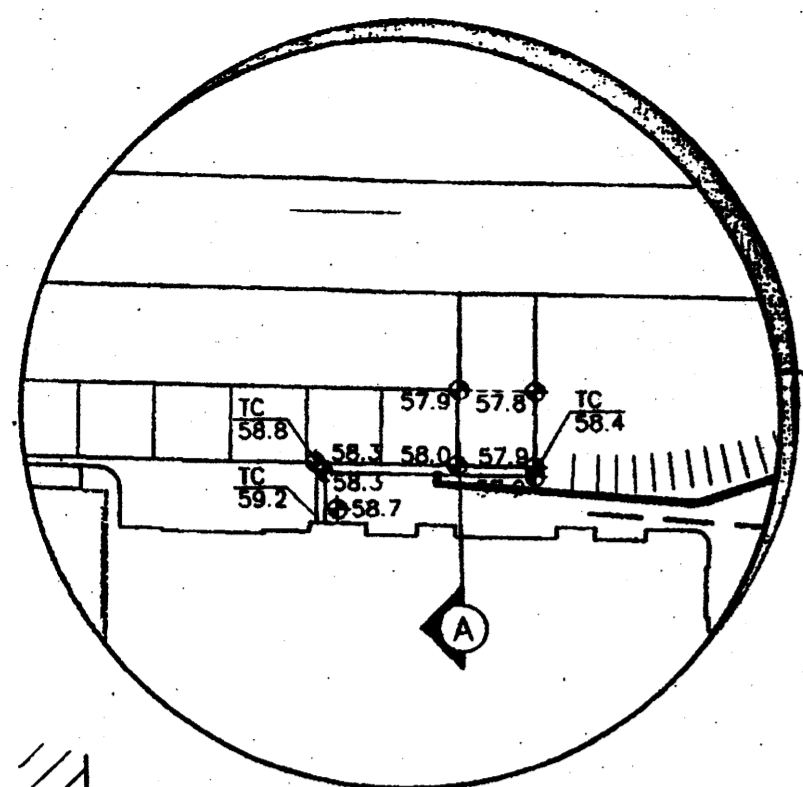
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GRADING AND DRAINAGE

Date:	07-01-09	No.:	Revision:	Date:	Job No.:
Drawn By:	BJB				1709
Ckd By:	SMM				CG-101
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 HYDROLOGY SECTION

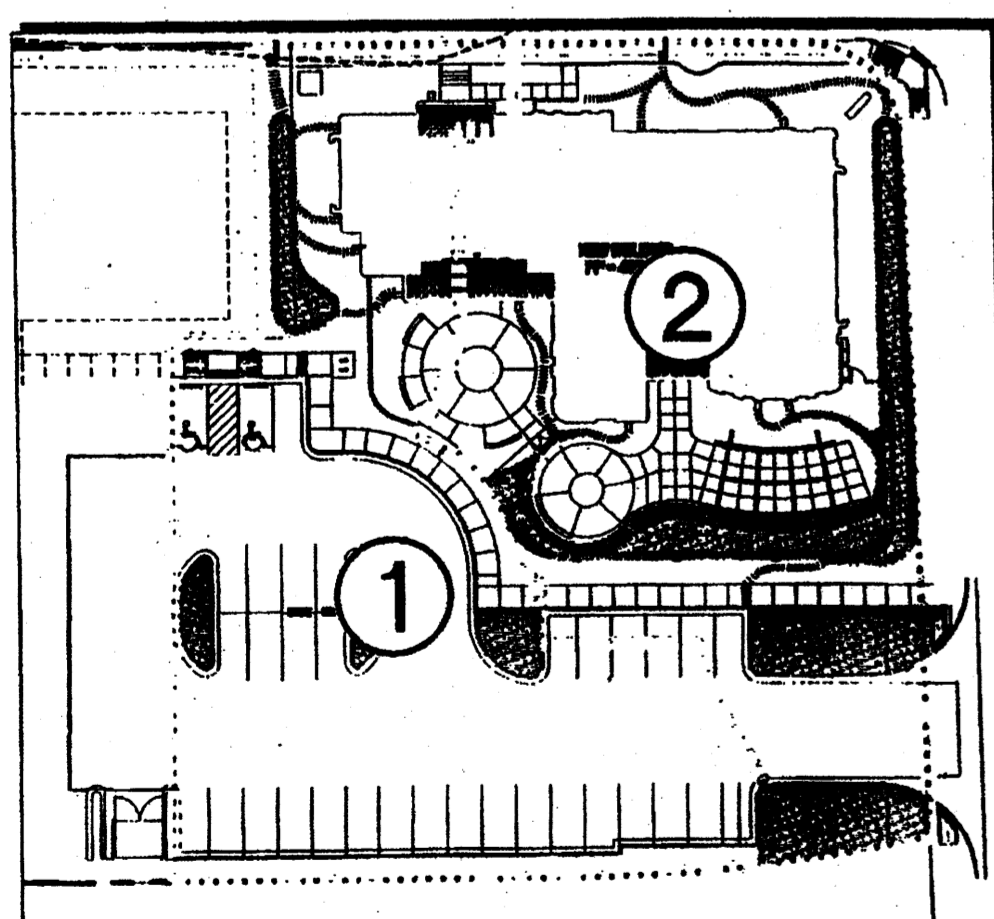
CONCRETE RUNDOWN



CONCRETE RUNDOWN SECTION A

PRIVATE DRAINAGE
EASEMENT GRANTED
BY PLAT

DRAINAGE SUB-BASINS



DRAINAGE CERTIFICATION

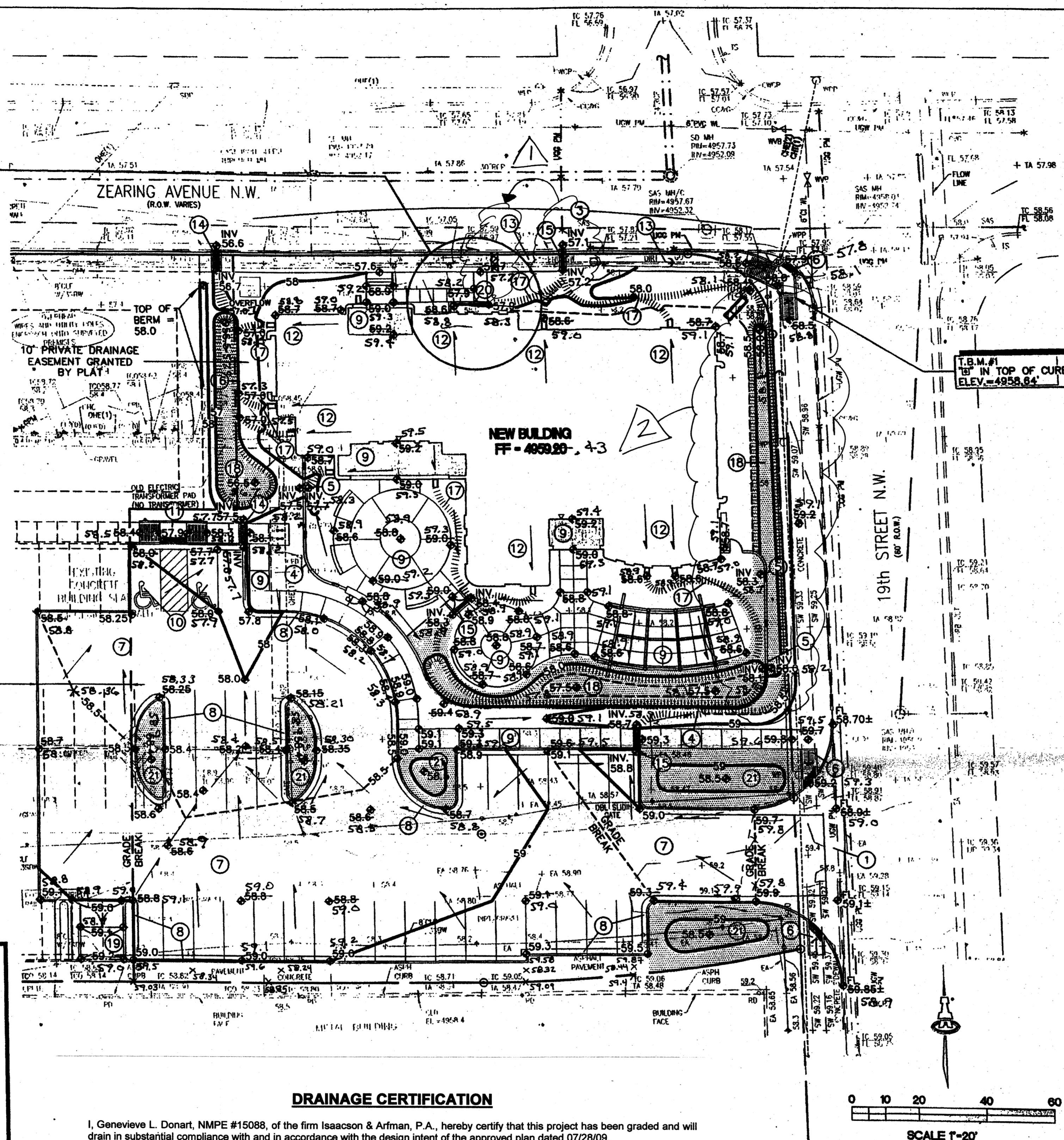
I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 07/28/09. The following changes occurred that are acceptable:

1. The sidewalk culvert moved west.
2. No cobble was installed on the east side of the building where constructed slopes are much shallower than designed.

The record information edited onto the original design document was obtained by Vladimir Jirik, NMPS #10464, of the firm Albuquerque Surveying Company, Inc. I further certify that I have personally visited the project site on 11/18/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart
Genevieve L. Donart
11/18/10
Date
NMPE #15088
NEW MEXICO
15088
LICENSED PROFESSIONAL ENGINEER



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7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
APPROVAL NAME	
INSPECTOR	
DATE	

GENERAL NOTES

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- G. ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCE F.F. ROCK EROSION PROTECTION.
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PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF TRACT 2, LANDS OF MCCLAIN, ALBUQUERQUE, NEW MEXICO.

SITE AREA: 0.9199 ACRES

FLOOD ZONE: F.I.R.M. PANEL 331 INDICATES A ZONE AH 1929 DATUM BASE FLOOD ELEVATION = 4956.66 (1988 DATUM BASE FLOOD ELEVATION = 4959) DESIGNATION WHICH IS FURTHER DESCRIBED AS SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; FLOOD DEPTHS OF 1 TO 3 FEET. **1929 ELEVATION USED ON PLAN CORRESPONDS WITH 1929 DATUM USED FOR TOPOGRAPHIC SURVEY DATA PROVIDED.

ENGINEER: SCOTT MCGEE
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ALBUQUERQUE, NM 87109
PHONE: (505)345-4250

TEMPORARY BENCHMARK: "B" IN TOP OF CURB AS SHOWN
ELEVATION= 4958.64'

BENCHMARK: ACS STANDARD BRASS TABLET STAMPED "B-J13A" SET FLUSH WITH THE TOP OF CURB AT THE E.N.E. CURB RETURN AT INTERSECTION OF MOUNTAIN ROAD N.W. AND 18TH STREET N.W.

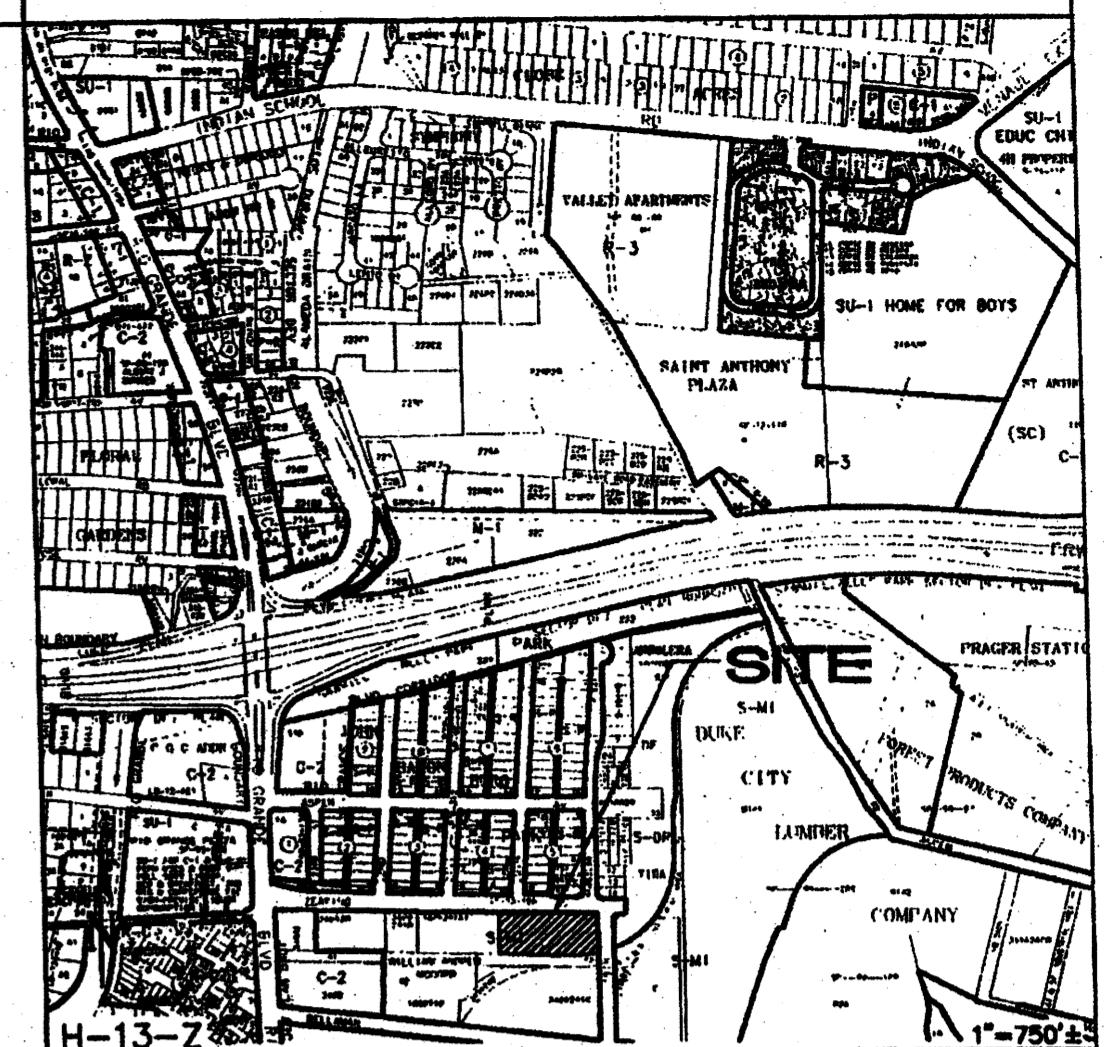
ELEVATION= 4956.62 FEET (NGVD 1929)

PROPOSED DRAINAGE CONCEPT: DEVELOPED PROPERTY WILL GENERATE 4.2 CFS WHICH REPRESENTS A MINOR INCREASE OF 0.5 CFS OVER HISTORIC. THE SITE IS DIVIDED INTO TWO SUB-BASINS (SEE MAP AT LEFT). SUB-BASIN 1 WILL DISCHARGE 2.1 CFS TO ZEARING AVENUE AND SUB-BASIN 2 WILL PASS 2.1 CFS TO ON-SITE PONDING TO ACHIEVE LEED POINT. IN THE EVENT THAT THE POND SYSTEM FILLS TO CAPACITY, EXCESS FLOW WILL PASS AS SHEETFLOW TO ZEARING AVE.

LEGEND

+ 59.2	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
◆ 78.3	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF = 4959.20	FINISH FLOOR ELEVATION
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FL 81.4	FLOWLINE ELEVATION
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VICINITY MAP



KEYED NOTES

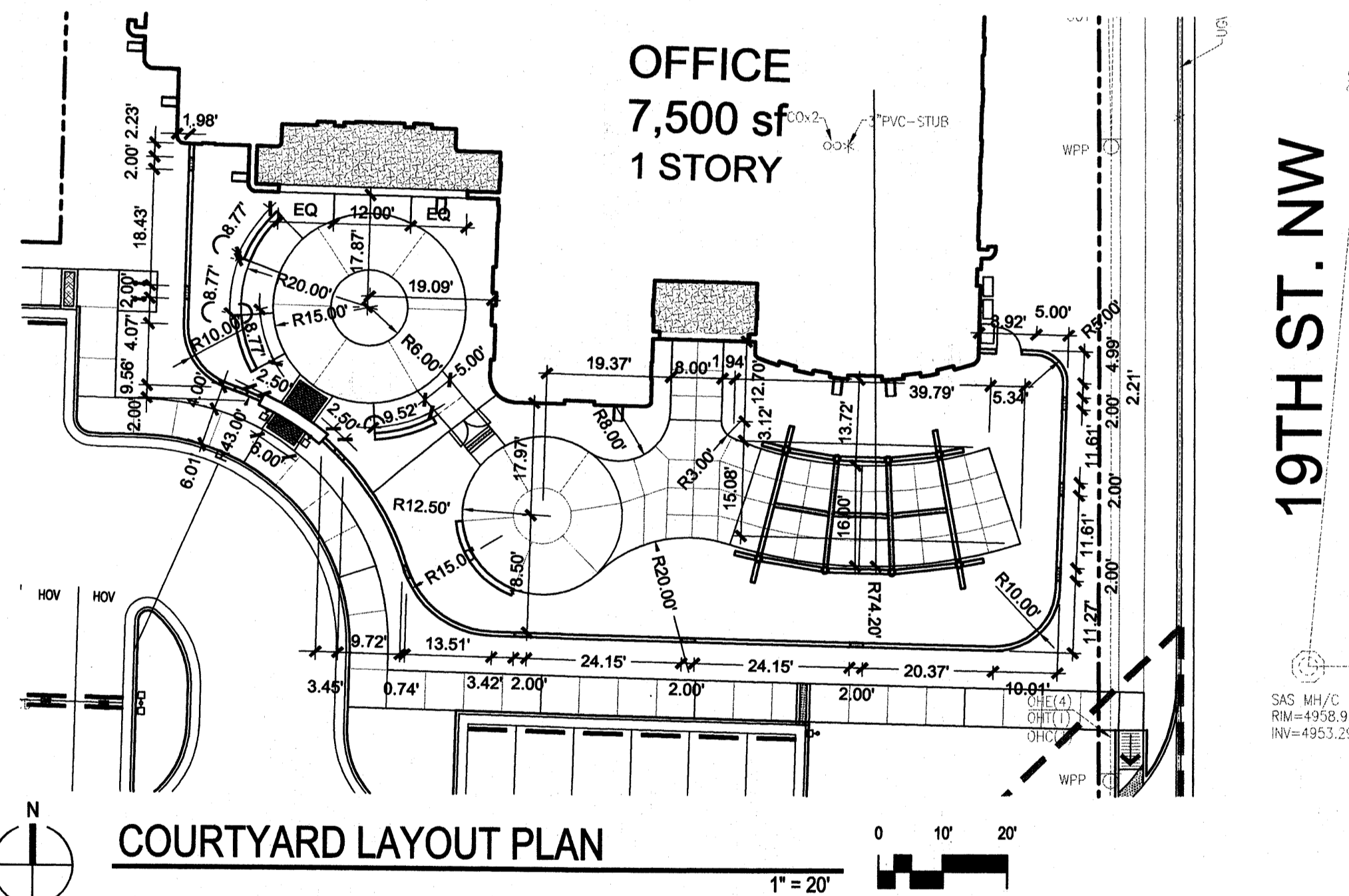
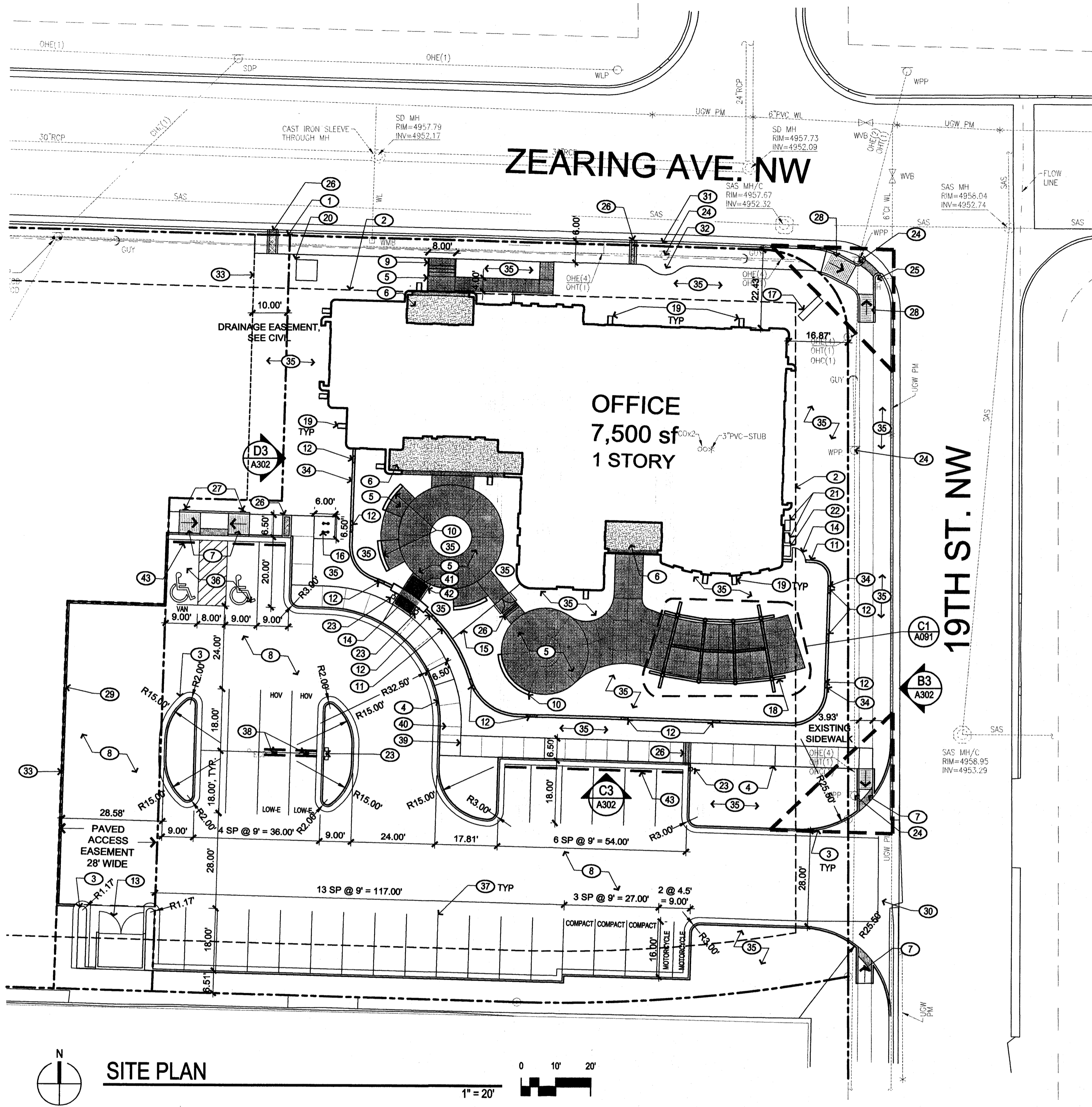
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2. NOT USED
3. NEW PUBLIC WALK PER C.O.A. STD. DWGS. 2430 AND 2431 TO BE CONSTRUCTED THIS AREA. MATCH EXISTING FOR SMOOTH TRANSITION.
4. NEW COURTYARD PRIVACY WALL. SEE ARCHITECTURAL FOR DESIGN. GRADE ON EACH SIDE OF WALL TO ELEVATIONS SHOWN (MAX. GRADE DIFFERENCE = 18").
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20. SEE DETAIL THIS SHEET FOR CONCRETE RUNDOWN THIS AREA.
21. LANDSCAPING THIS AREA TO BE DEPRESSED TO TO ELEVATIONS SHOWN TO PROVIDE VOLUME FOR RAINFALL.



ACCION NM

GRADING AND DRAINAGE

Date:	No. Revision:	Date:	Job No.
07-01-09			1709
Drawn By:			CG-101
BJB			
Old By:			SH. OF
SMM			



KEYED NOTES (X)

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- CONCRETE WALK WITH INTEGRAL COLOR, SEE A1/A091.
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- ACCESSIBLE RAMP, PER COA STD DWG 2426.
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- STAIR WITH HANDRAIL, SEE A3/A091.
- SEAT WALL, SEE C3/A091.
- COURTYARD WALL, 5' HT, STUCCO, COLOR TO MATCH BUILDING, SEE B2/A092.
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- MONUMENT SIGN, SEE B1 & B2/A091.
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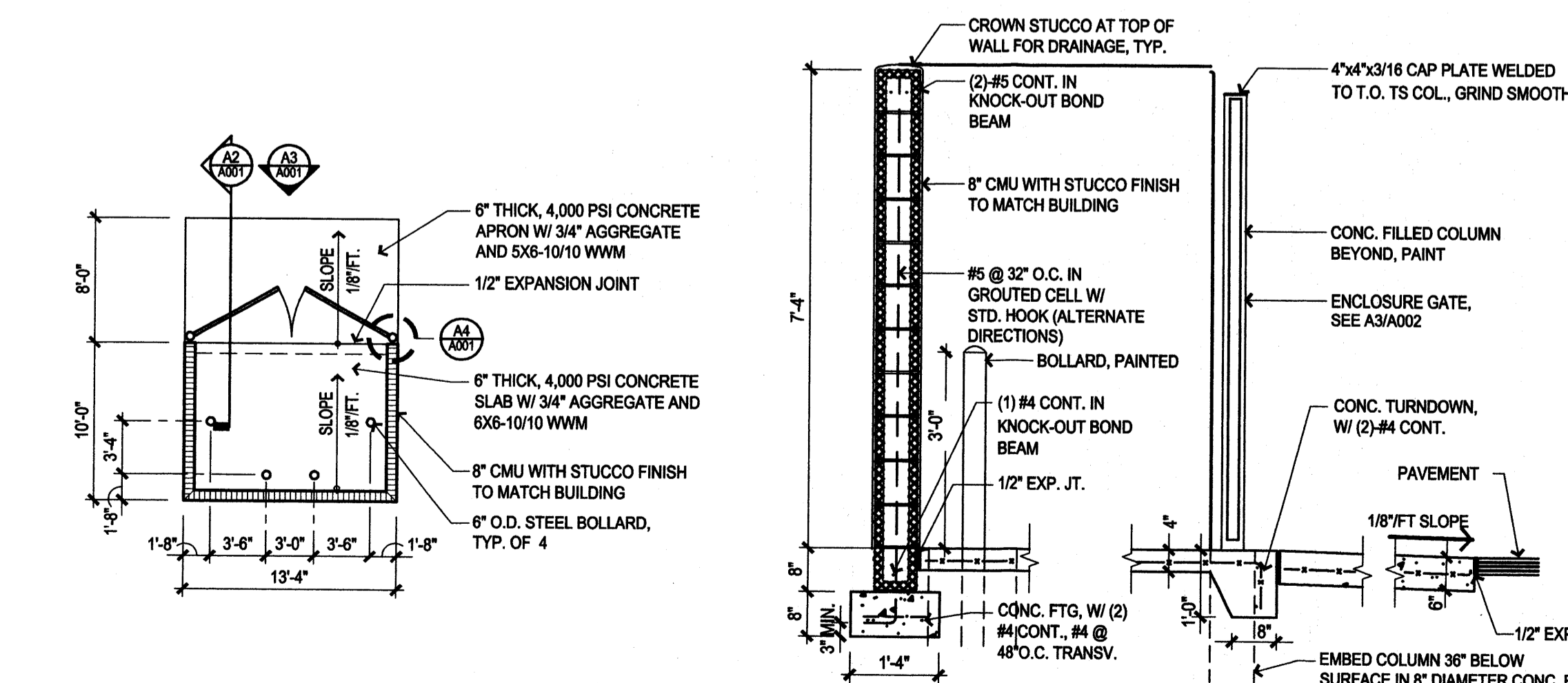
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TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] 10/1/09 Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

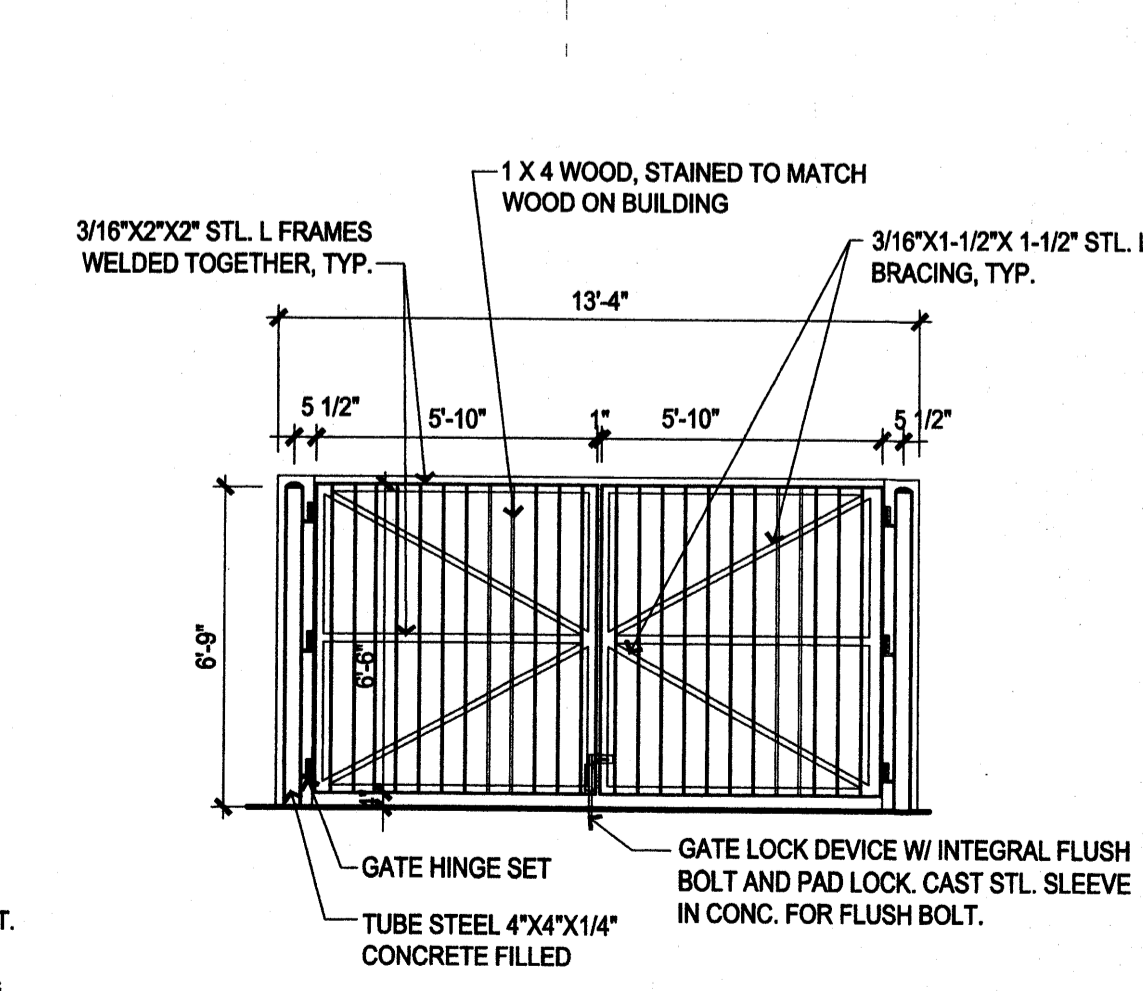
SITE PLAN
1" = 20'

COURTYARD LAYOUT PLAN
1" = 20'

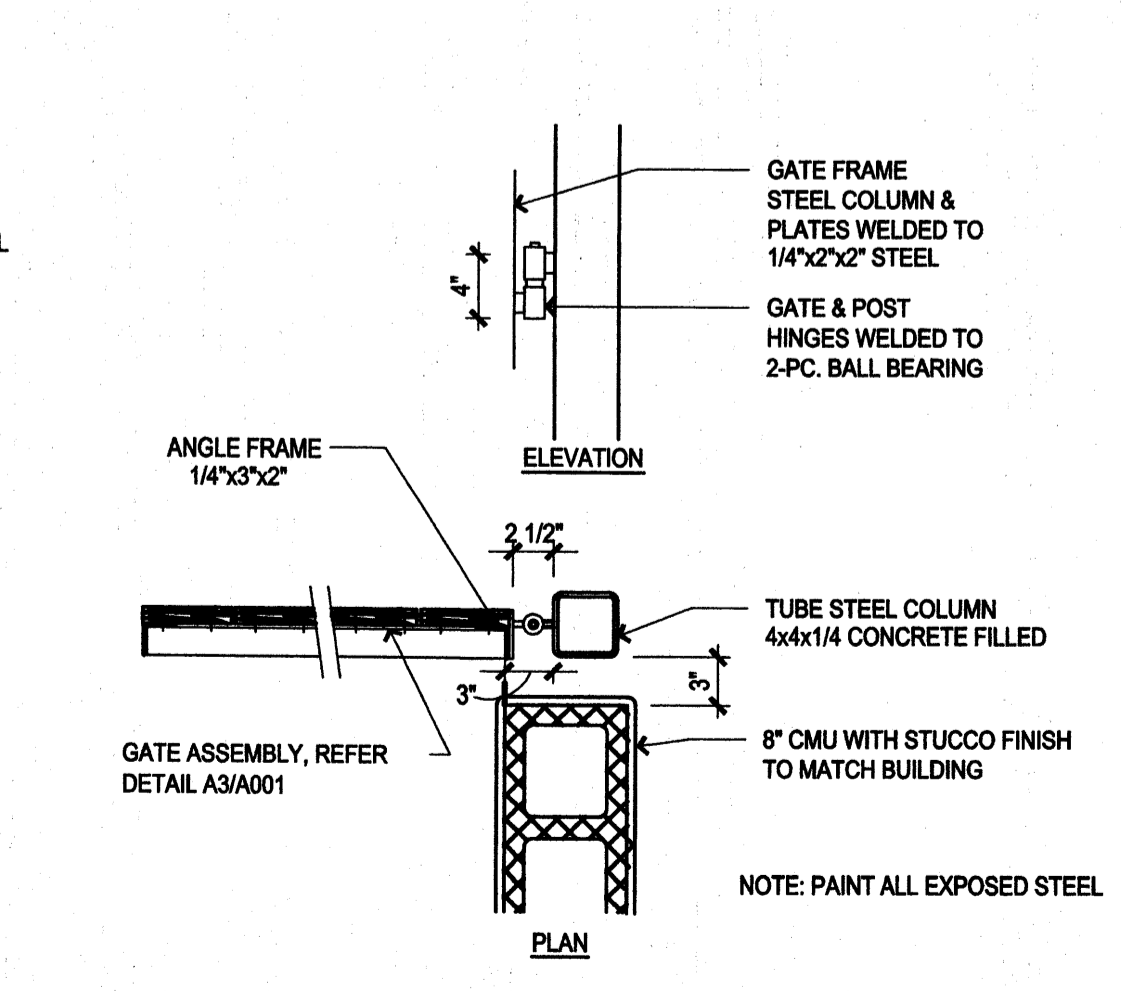


A1 DUMPSTER ENCLOSURE PLAN
1/8" = 1'-0"

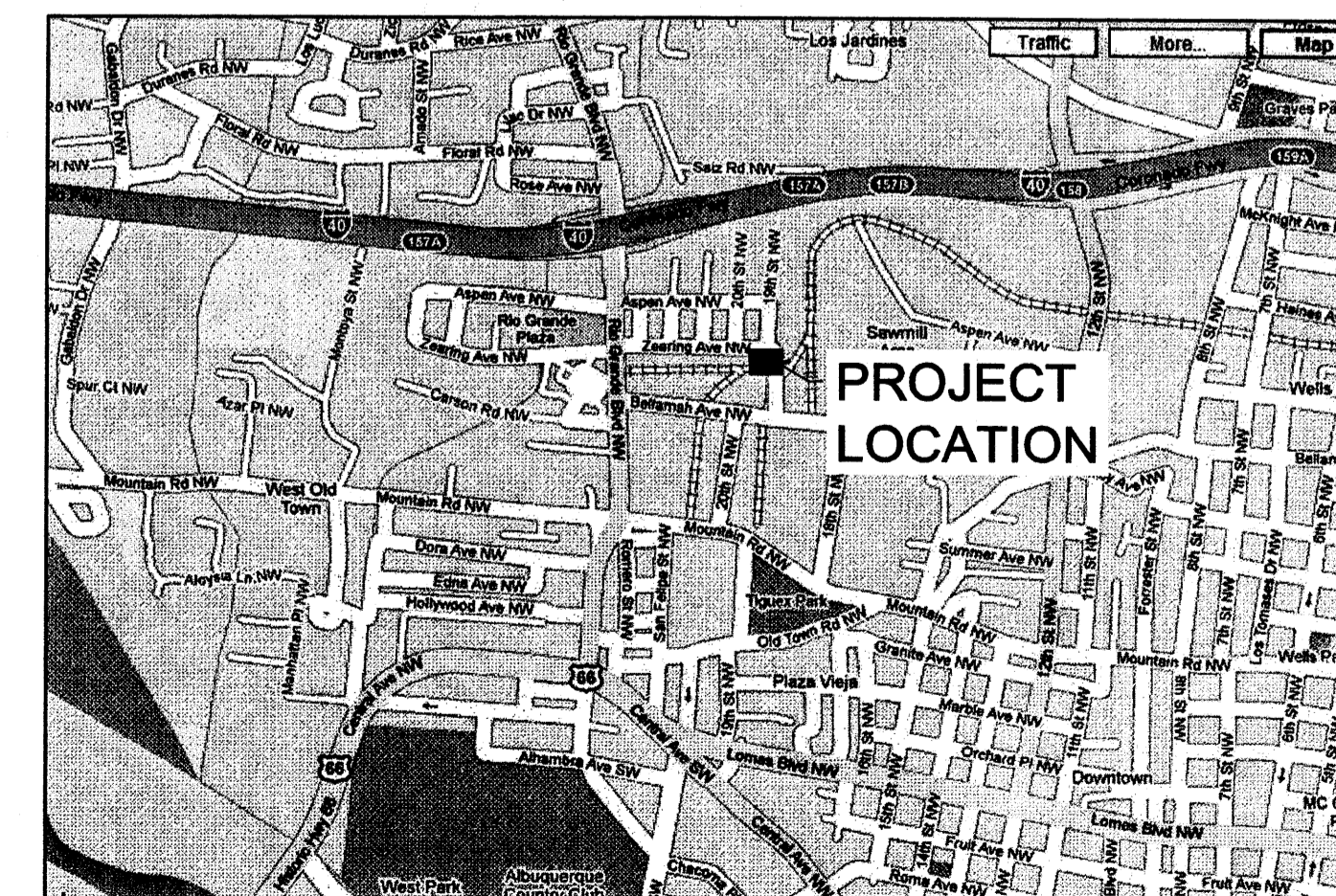
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1/2" = 1'-0"



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1/4" = 1'-0"



A4 DUMPSTER ENCLOSURE COLUMN
1" = 1'-0"



VICINITY MAP

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

ACCION NEW MEXICO
Regional Headquarters
2000 Zearing Ave. NW
Albuquerque, New Mexico

REVISIONS

NO.	DATE	DESCRIPTION
1	9/1/09	Addendum Rev.
2	9/25/09	Permit Comm. Rev.

DRAWN BY: RE

REVIEWED BY:

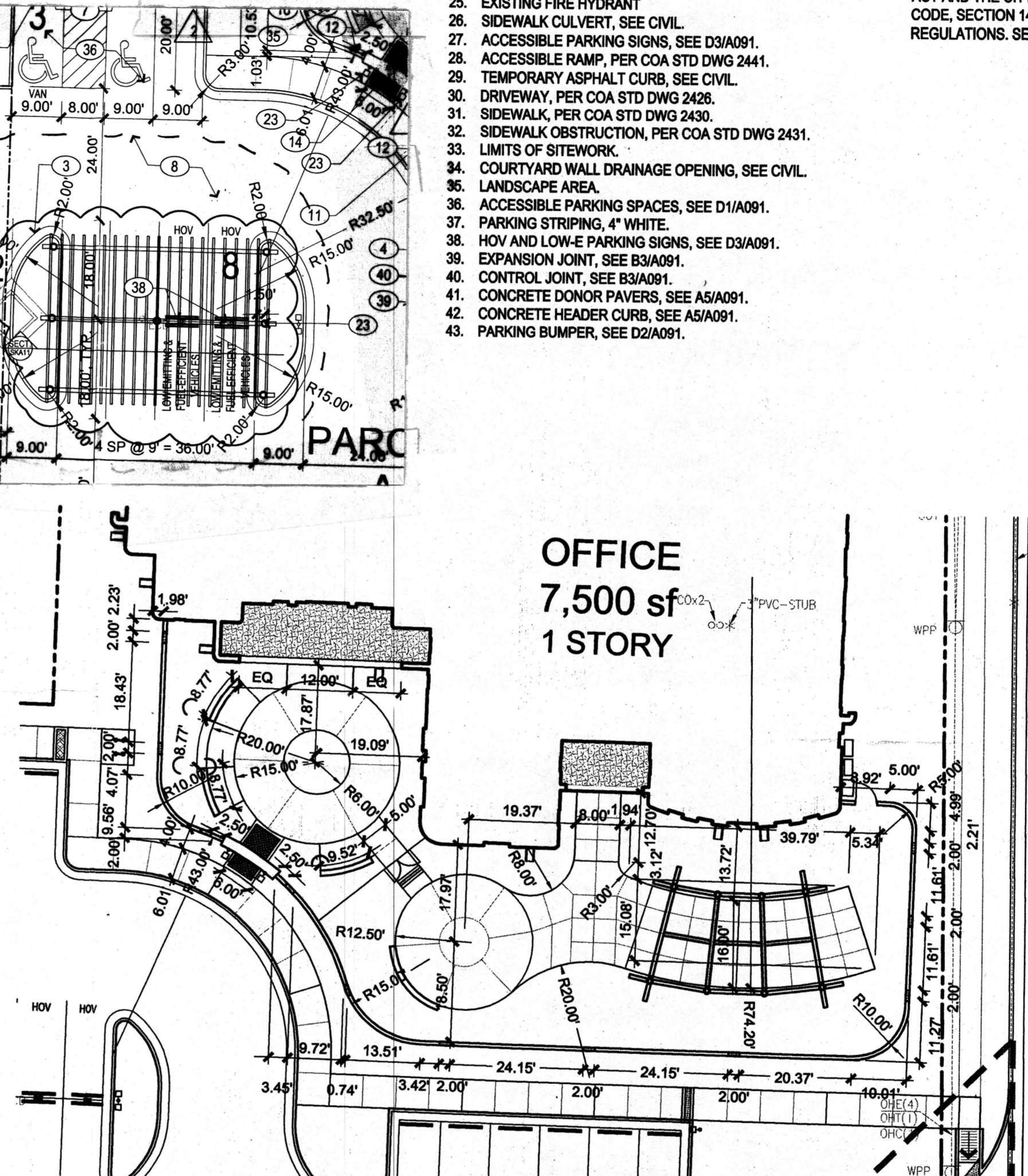
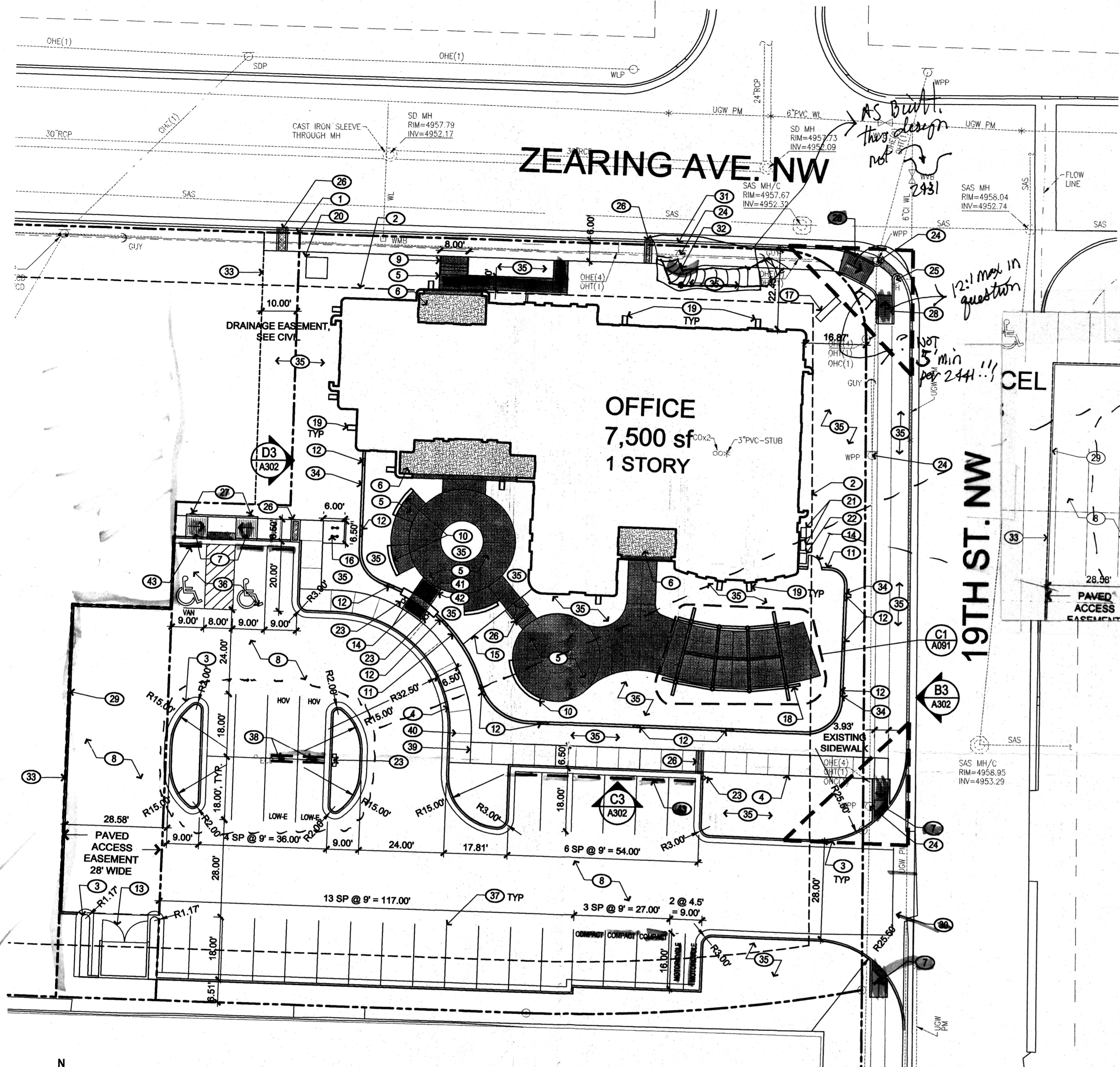
DATE: 09/25/09

PROJECT NO.: 08-0111

DRAWING NAME: SITE PLAN AND PROJECT DATA

HYDROLOGY SECTION

SHEET NO. A001 OF



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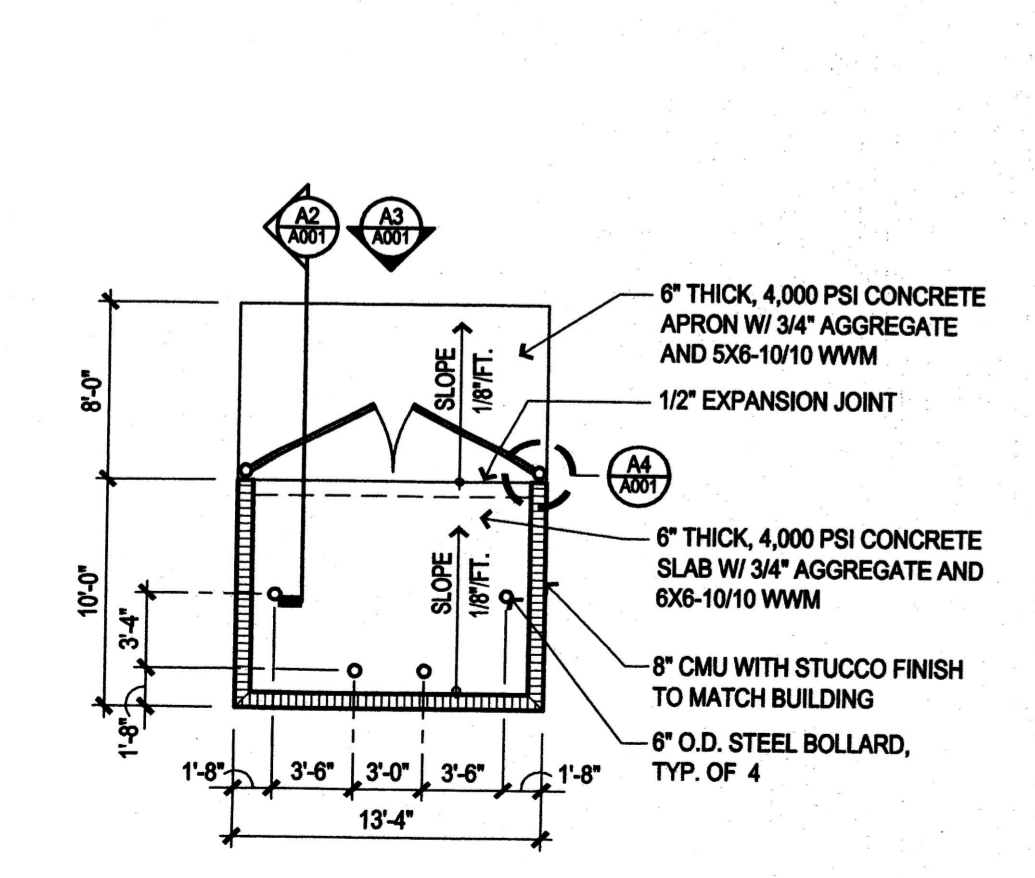
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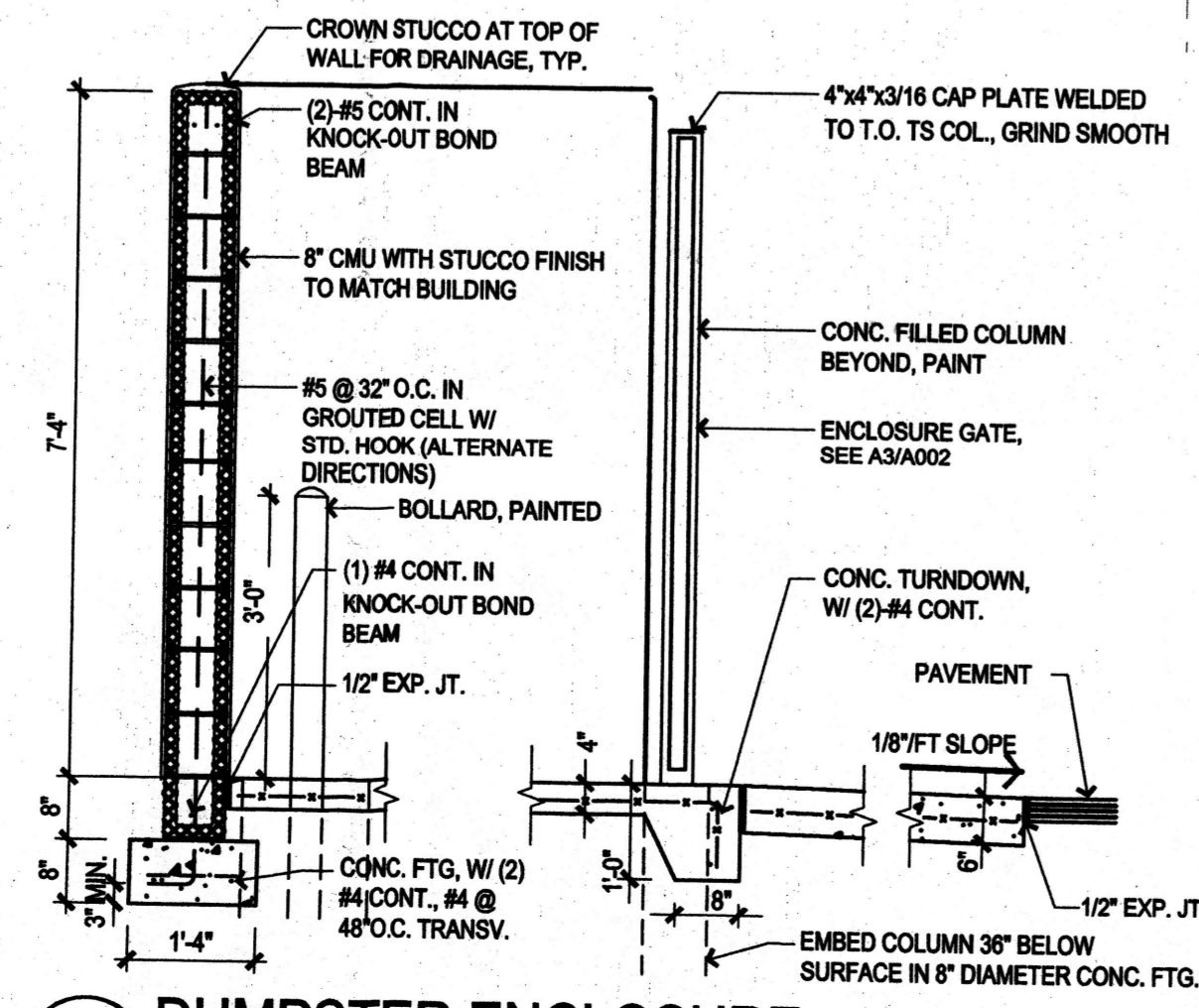
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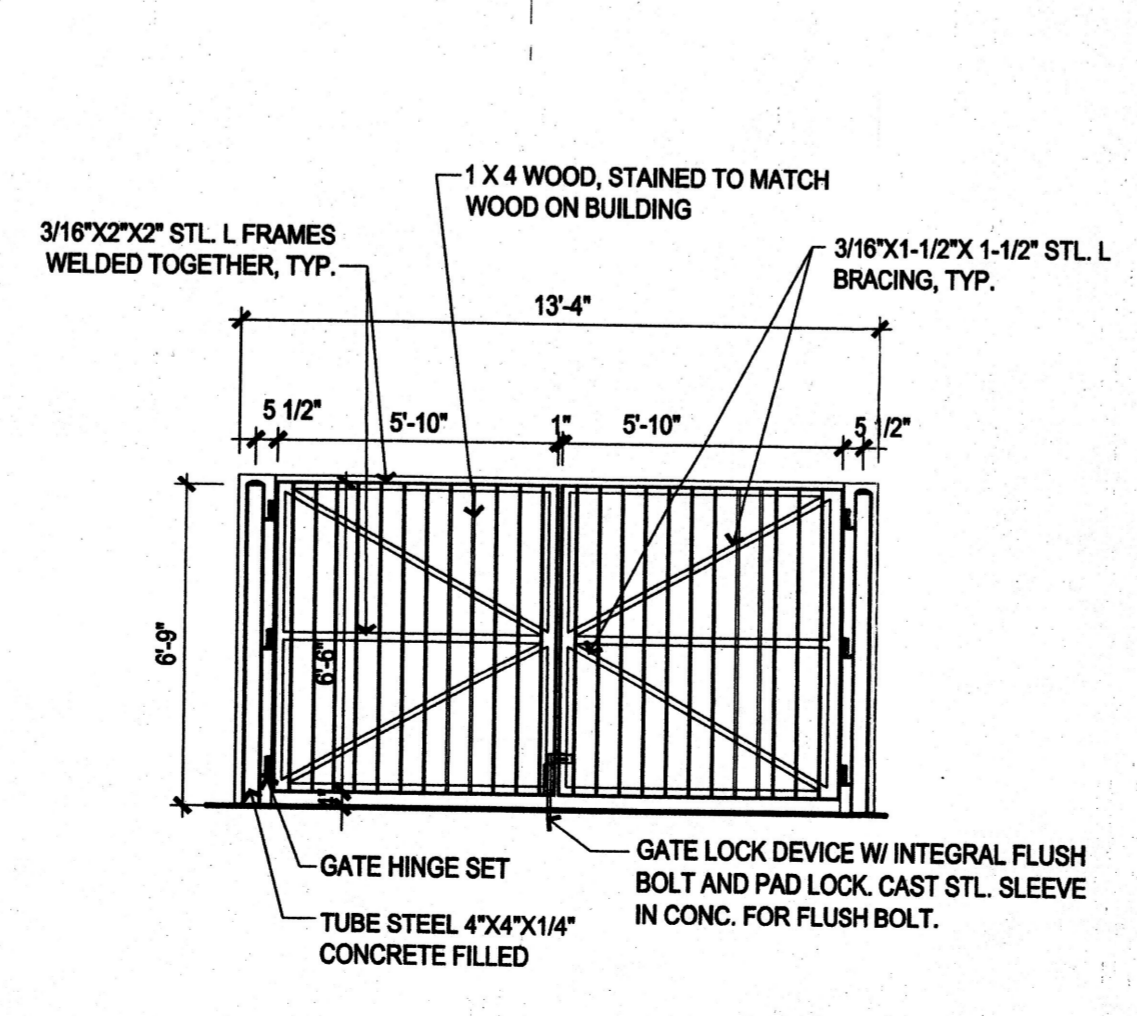
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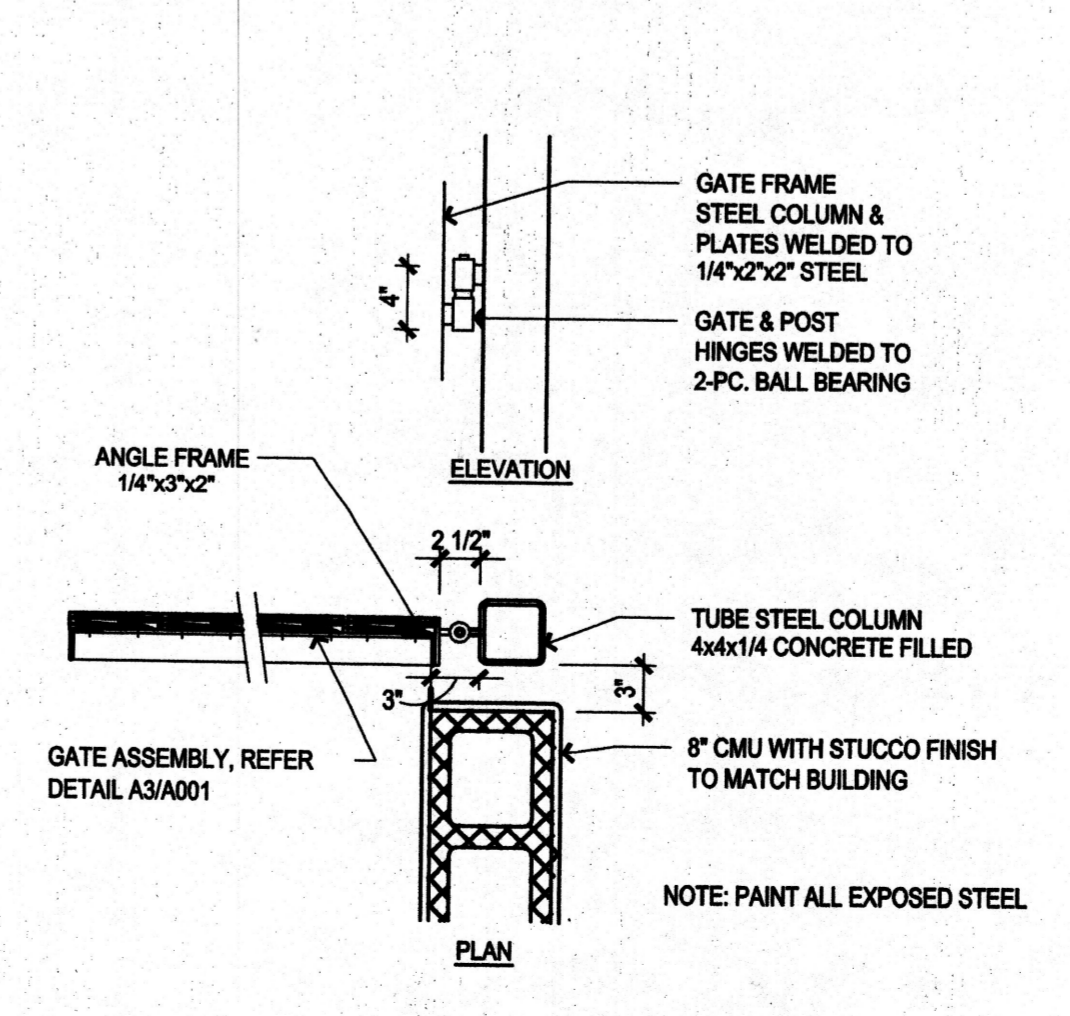
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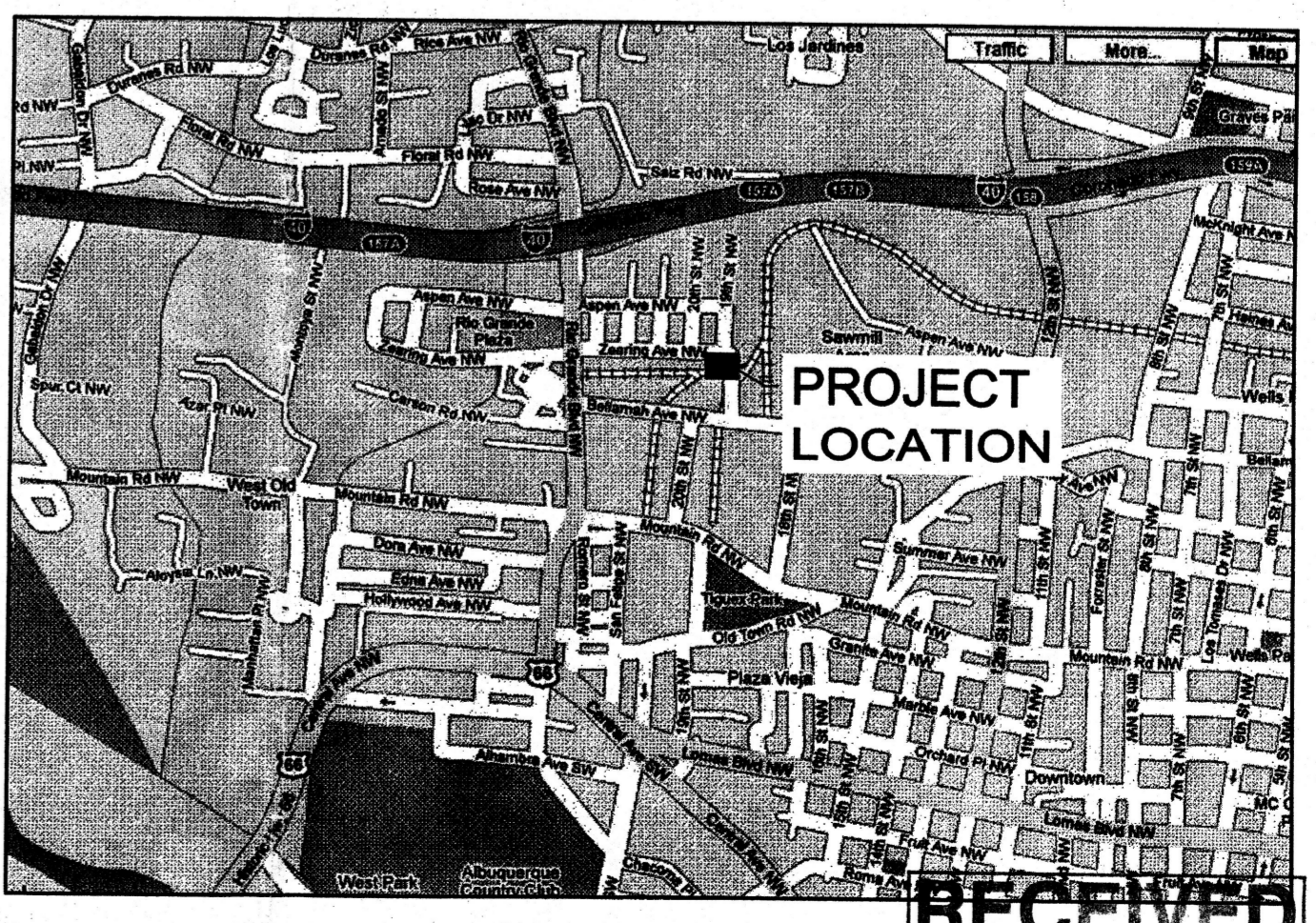
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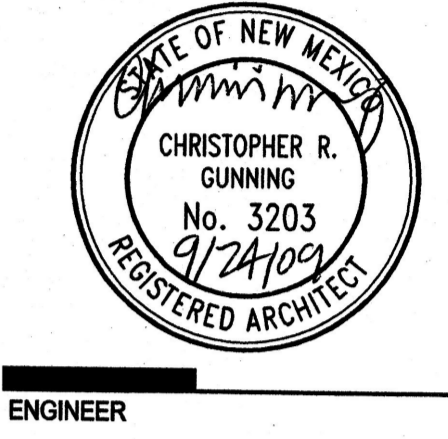
VICINITY MAP

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT



ENGINEER

PROJECT

ACCION NEW MEXICO
Regional Headquarters
2000 Zearing Ave. NW
Albuquerque, New Mexico

REVISIONS

NO.	DESCRIPTION	DATE
1	9/1/09 Addendum Rev.	
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DRAWN BY: RE
REVIEWED BY:
DATE: 09/25/09
PROJECT NO.: 08-0111
DRAWING NAME:

SITE PLAN AND PROJECT DATA

SEP 25 2009
HYDROLOGY SECTION
A001
OF



ACCION NEW MEXICO
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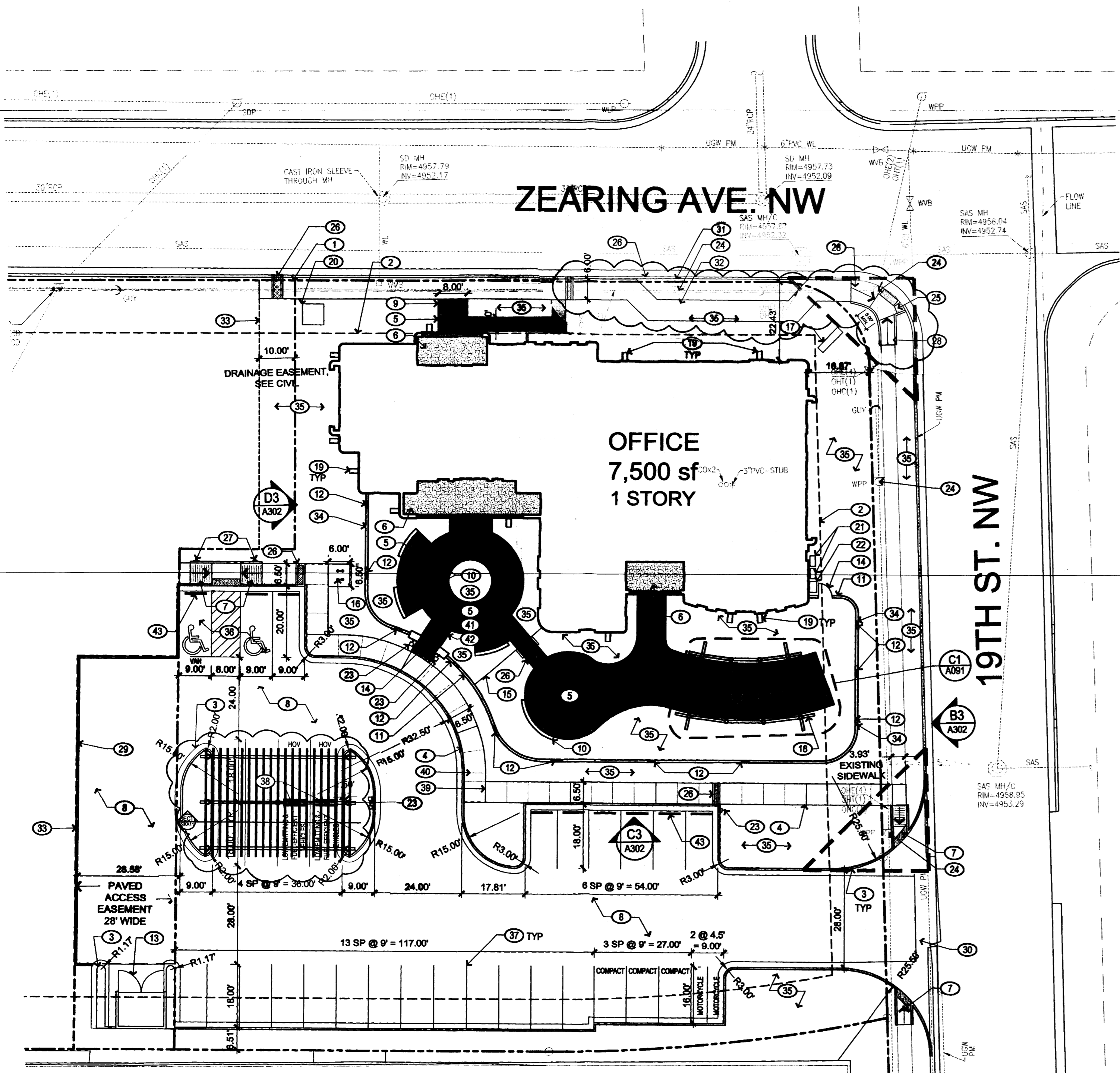
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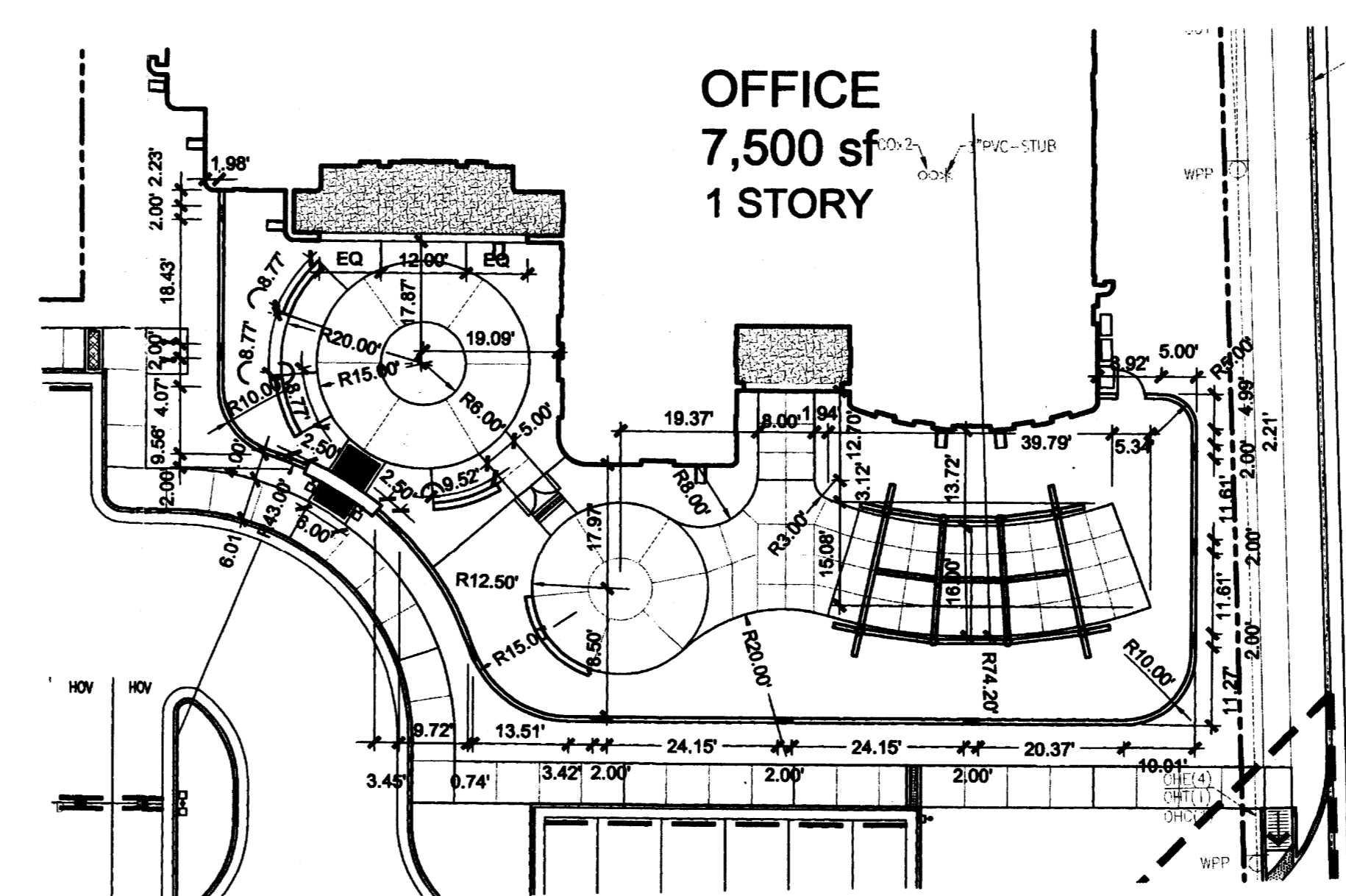
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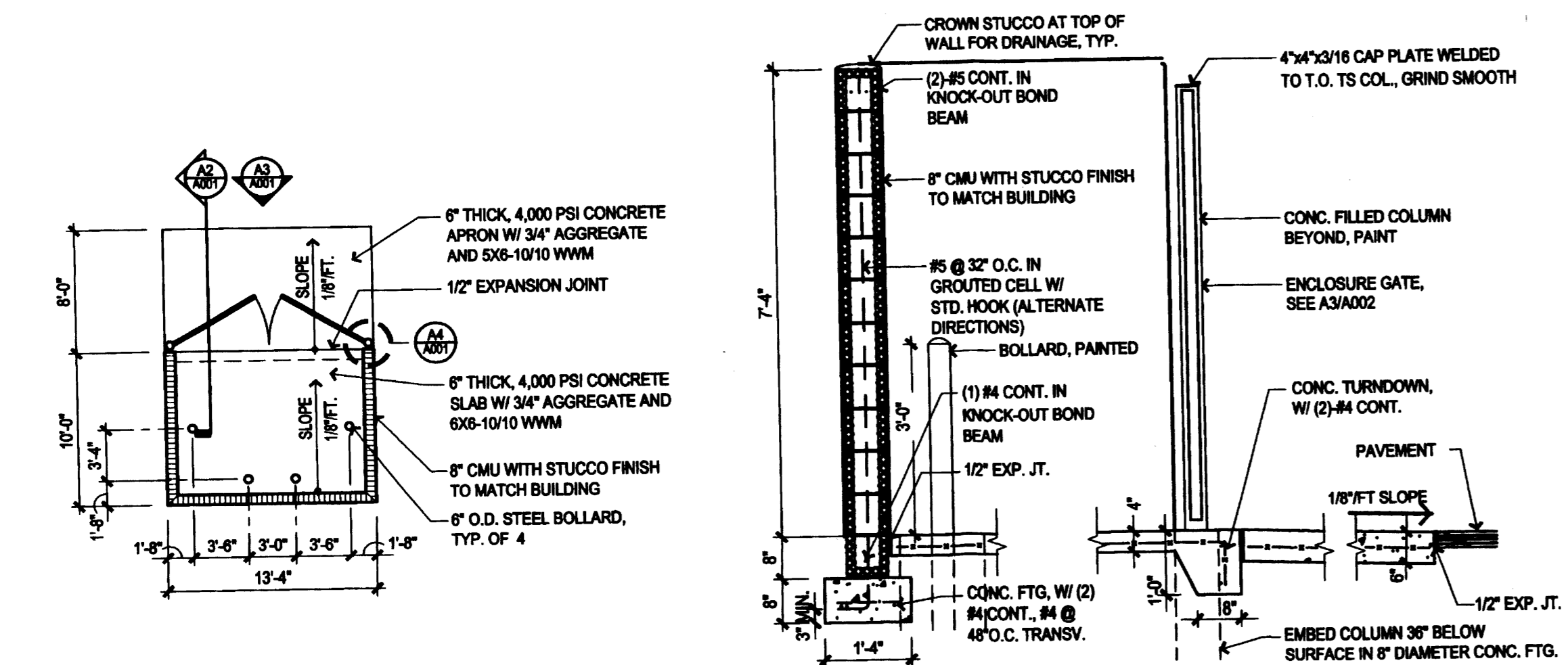


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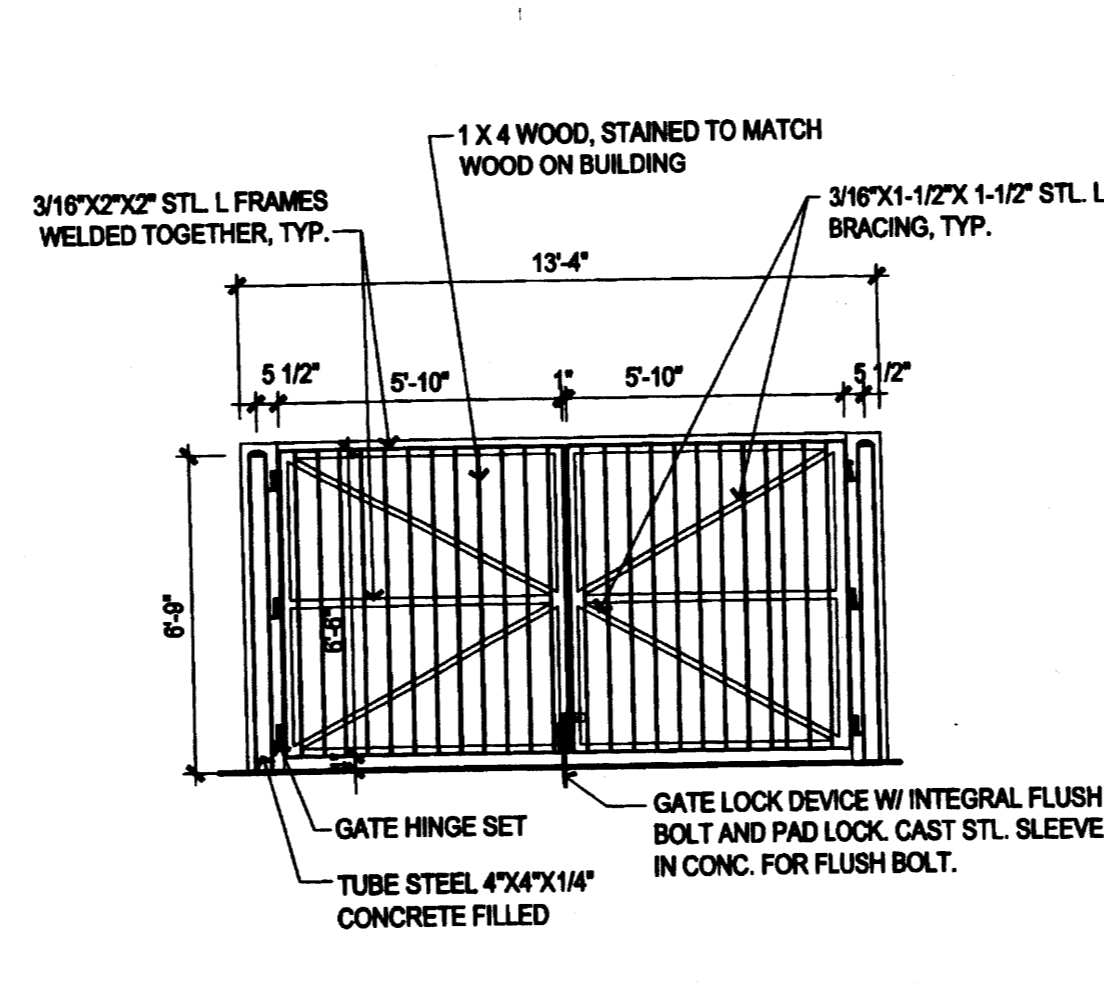
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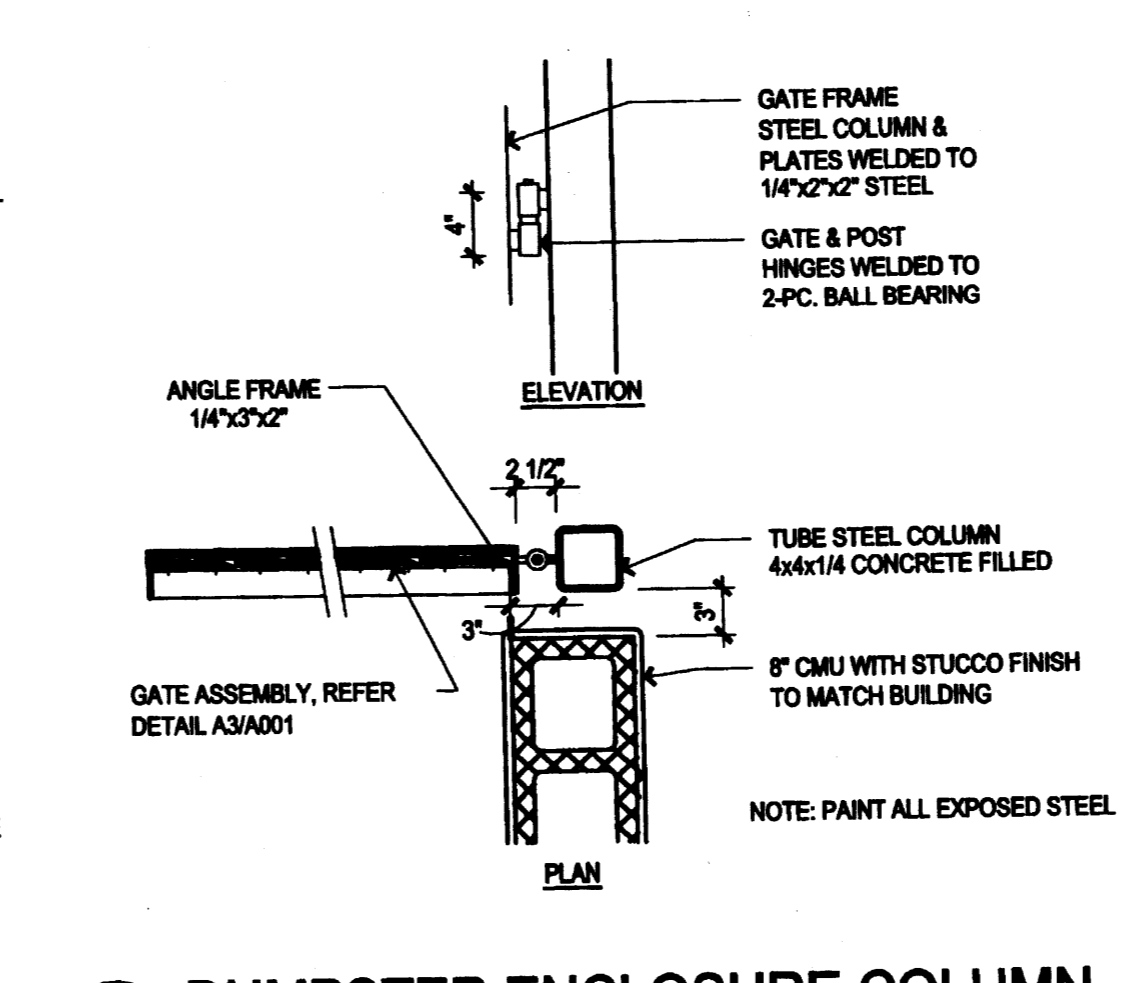
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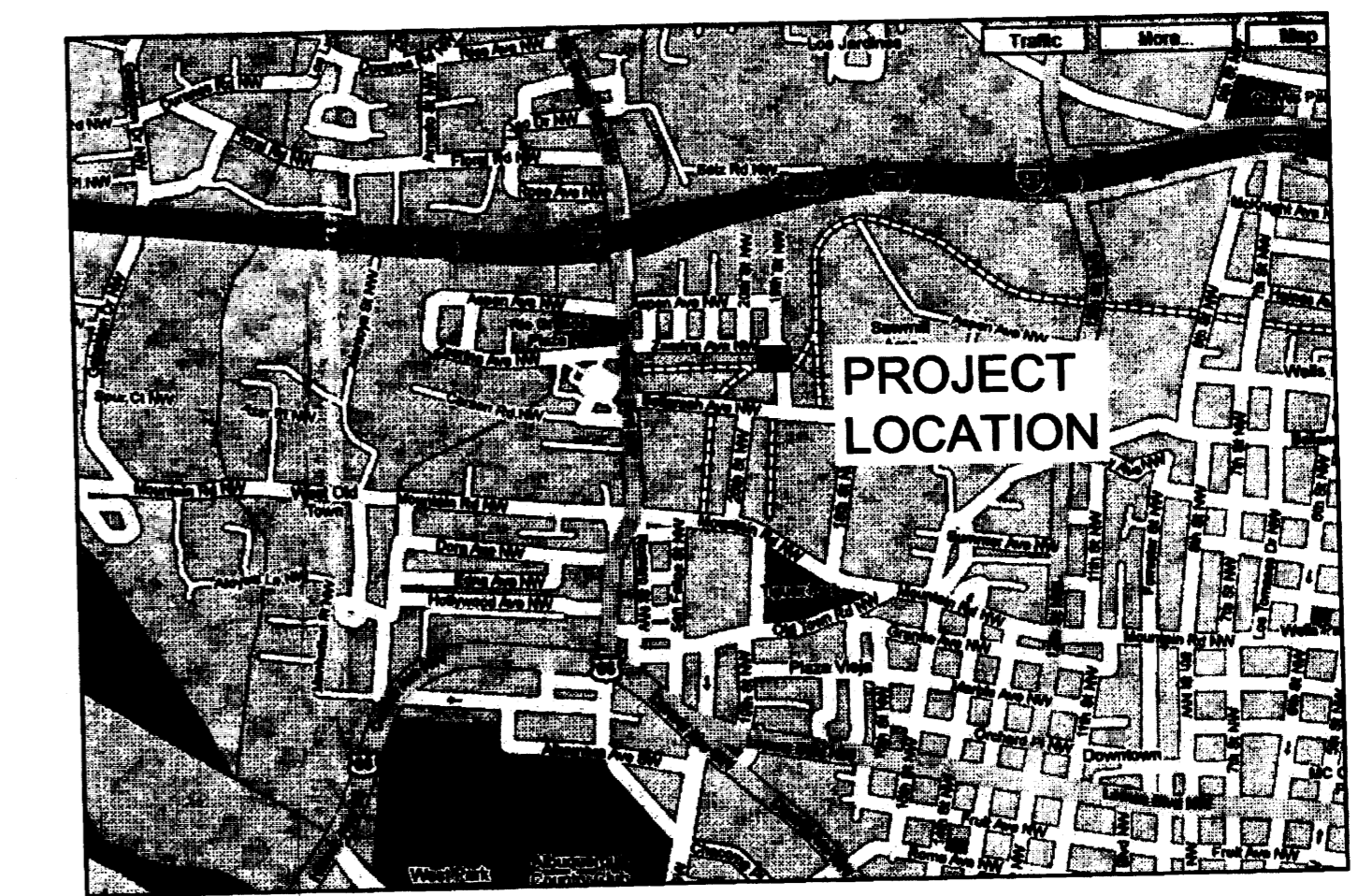
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VICINITY MAP

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9/1/09	Addendum Rev.
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