

May 8, 1998

Jeff Mortensen
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, New Mexico 87109

RE: ENGINEER CERTIFICATION FOR EL MANZANITO ESTATES FINANCIAL
GUARANTEE RELEASE (H13-D27) CERTIFICATION STATEMENT DATED
11/4/97

Dear Mr. Mortensen:

Based on the information provided on your April 14, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Terri Martin

Sincerely

Bernie J. Montoya CE
Associate Engineer





GRANDIN TESTING LAB, INC.

11 Roberts Circle • Los Lunas, NM 87031 • (505) 865-7949 Fax (505) 865-6239

QUALITY MATERIALS TESTING

Revised October 24, 1997, to correct spelling of the word "berm".
October 13, 1997

Mr. Gail Brown
Joe Boyden Construction, Inc.
11896 North Highway 14
Tijeras, NM 87059

GTL Job No. G97-6621

FIELD DENSITY TESTS

Project: El Manzanito Subdivision, Albuquerque, NM
Test Date: Subgrade Preparation, Tested on 10/08/97
Maximum Density Curve #5163: Maximum Density 112.6 pcf @ 13.4%

Test No.	Location	% Moisture	In-Place Density	Maximum Density	Percent Compaction	Percent Compaction Required
153*	Subgrade preparation for berm on S side of site, 30' E of W side of site, FSG	14.3	108.4	112.6	96	95
154*	Subgrade preparation for berm on S side of site, 120' E of W side of site, FSG	12.1	107.9	112.6	96	95

* Nuclear Method

Robert E. Grandin
President

cc: Romero Construction & Excavating
Pitney Earth Moving

PRIVATE FACILITY
DRAINAGE COVENANT (4448.91)

This Drainage Covenant, between Boyhahn, L.L.C., ('Owner'), whose address is 11896 North Highway 14, Tijeras, NM 87059, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. The Owner is the owner of the following described real property: located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Lots 1-8, inclusive, El Manzanito Subdivision, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 13, 1994, Book 94C, Page 344. (the "Property"). The Owner has submitted and the City has approved the Preliminary Plat of the property under the proposed legal description of Lots 1-22 and Tract A, El Manzanito Estates (DRB 95-313, Infrastructure List signed 10-22-1996).

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. H13/D27.

Perimeter concrete walls as shown on the approved Plan (minimum elevation 4965.0).

Flat grading of all lots, within the subdivision with no disturbance of established grades; and

Individual property owners responsible for acceptance of private street flows, and assurance of no cross-lot drainage.

The Drainage Facility is more particularly described on Sheets 1-4 of the Grading and Drainage Plan for El Manzanito Estates, City Drainage File H13/D27.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans. In particular, the Owner shall maintain grades, concrete walls, and drainage on each individual lot so that runoff from any on-lot source will remain within the lot, accumulating away from building foundations, sidewalks and streets. The Owner may install landscaping designed to increase the rate of percolation and evaporation.

The Owner may install lot irrigation systems, watering systems, or water using appliances, appurtenances, or equipment within each individual lot provided that any such system or equipment shall be designed, installed, and maintained to prevent overflow and runoff on to adjacent property.

The Owner shall construct, or cause to be constructed, all structures intended for human habitation within the Property such that the minimum finish floor elevation for the lower, or ground level floor, of each such structure is 4966.10 feet above mean sea level.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required here to be constructed on the Owner's Property is for the private benefit and protection of the Owner's Property and that failure to maintain such facility could result in damage or loss to the Property.

5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the Drainage Facility in accordance with the approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public or to cause damage to public or private property. The Owner, its heirs, successors and assigns agree to indemnify, defend and hold harmless the City, its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's Property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with the concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties with respect to this subject matter and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

OWNER:

By: *Joseph R. Boyden*
Title: Manager
Dated: 3-19-97

State of New Mexico)
County of Bernalillo)ss
)

This instrument was acknowledged before me this 19th day of March, 1997, by Joe Boyden, Manager, Boyhahn, L.L.C.

My Commission Expires:

4-28-98

Notary Public

[Signature]

CITY OF ALBUQUERQUE:

Approved:

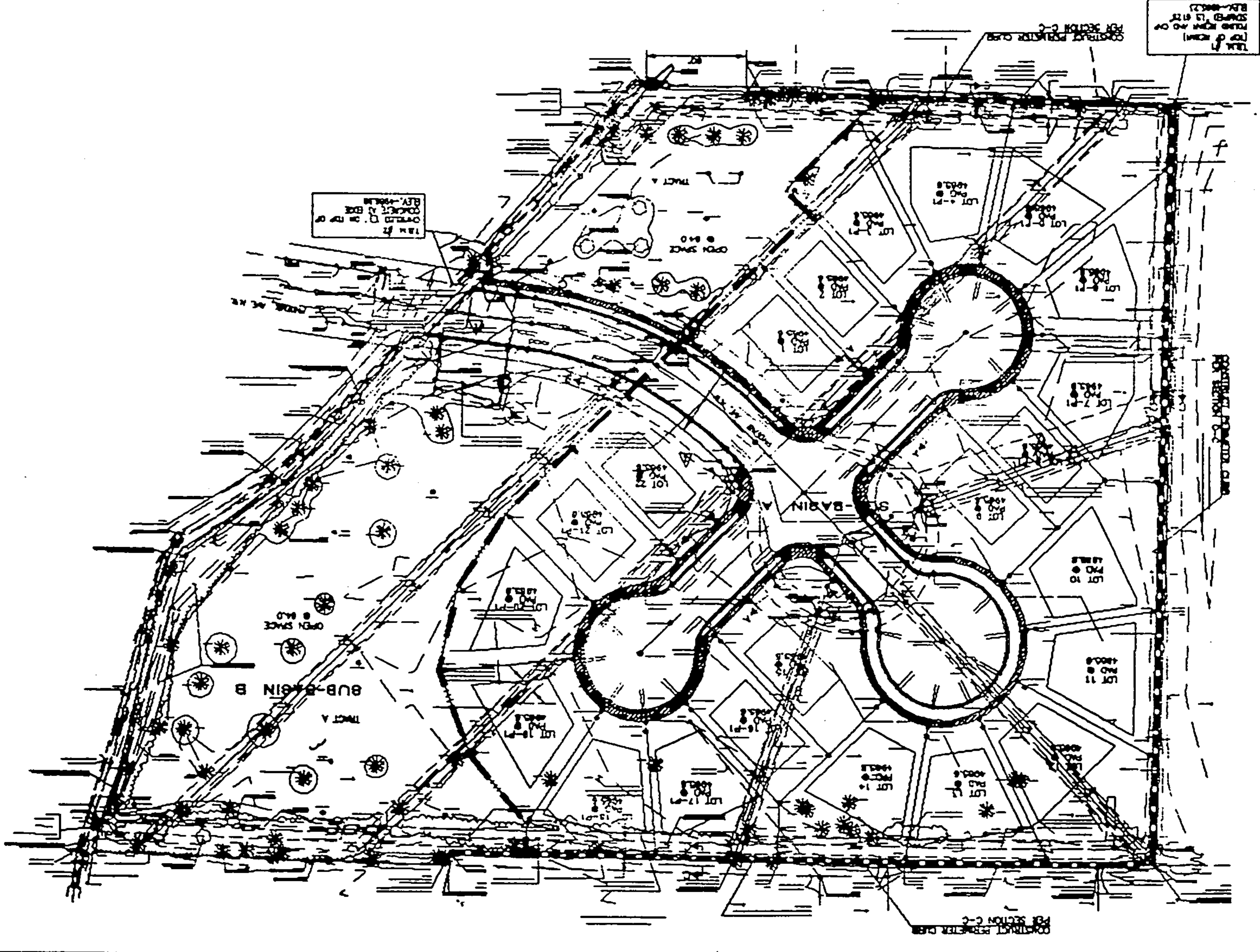
By: *Bernie J. Montoya*
Title: Associate Engineer
Dated: 5/6/97

STATE OF NEW MEXICO
97 MAY 12 PM 2:48
97-12-9265-
JUDY TO STAFF 9268
Dmore 60

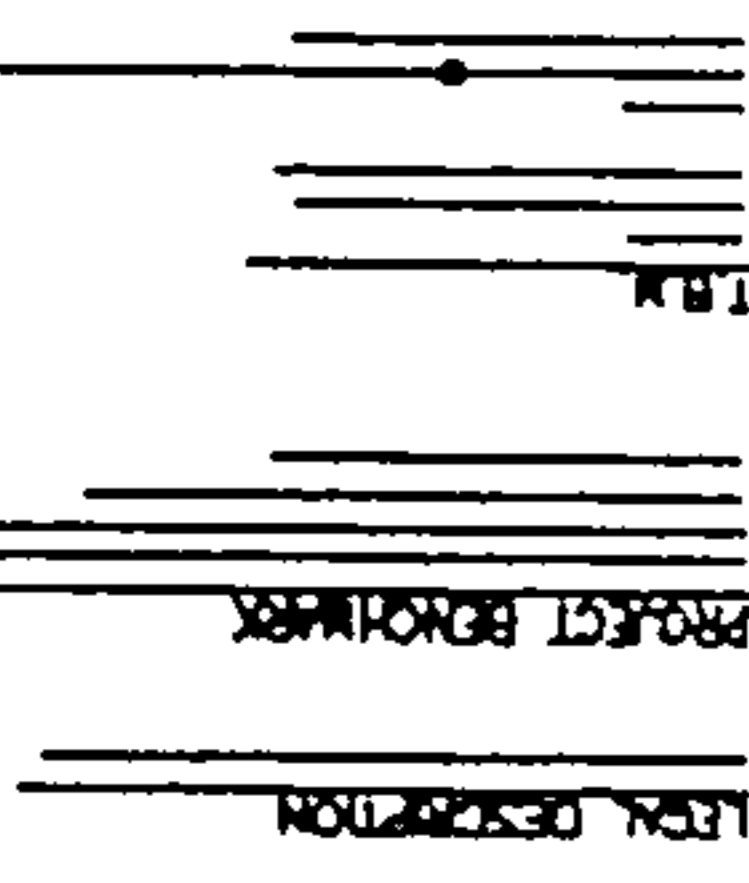
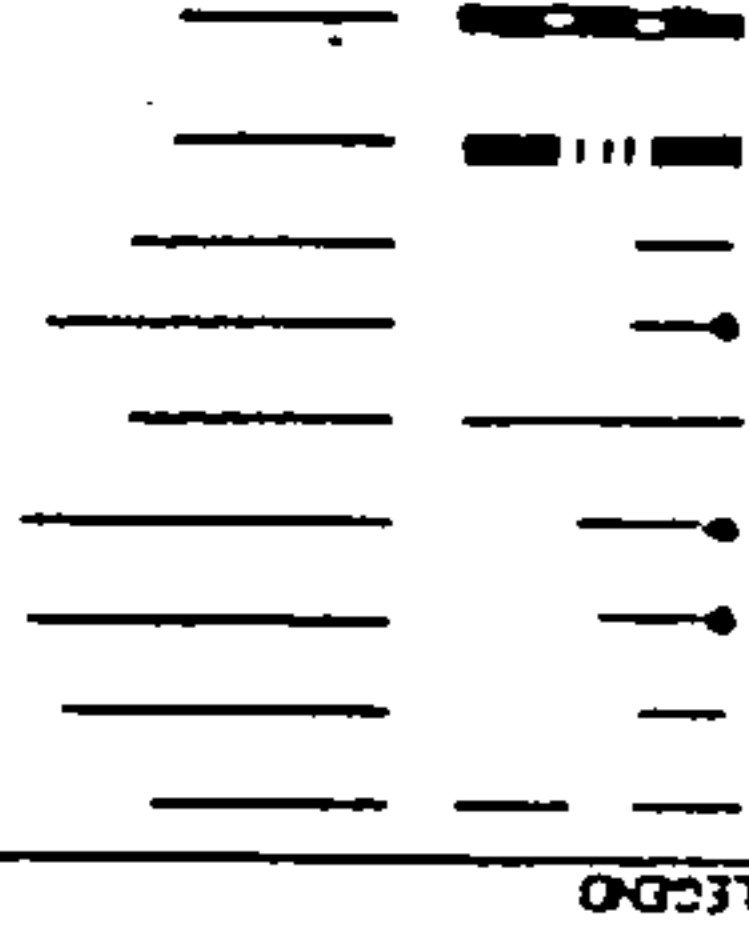
- 4. ALLEY PAVING IMPROVEMENTS PLAN & PROFILE
 - 3. SECTIONS AND DETAILS
 - 2. CALCULATIONS, DRAINAGE PLAN, NOTES
 - 1. GRADING PLAN, INDEX OF DRAWINGS, VICINITY MAP
- INDEX OF DRAWINGS



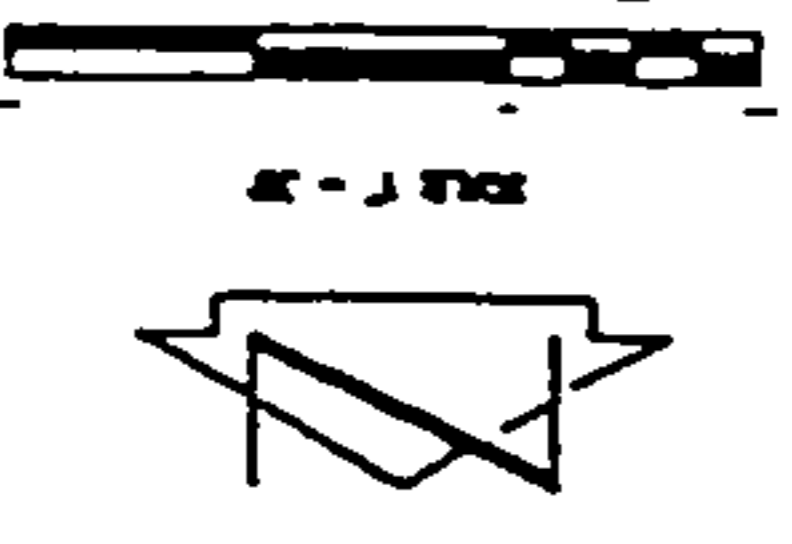
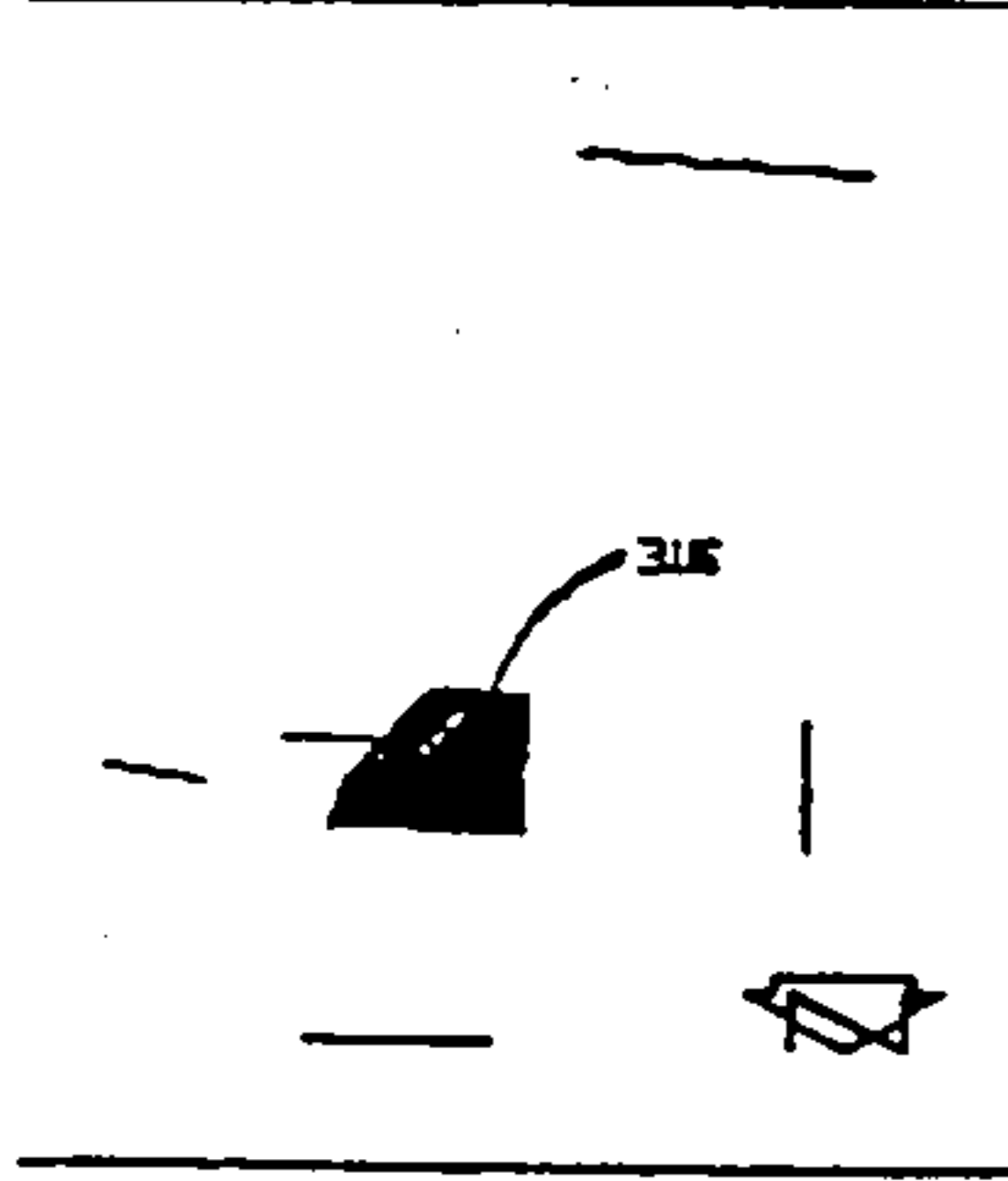
SEE PLAN FOR
 FULL SCALE OF
 SURFACE FINISH
 EX-1000(2)



SEE PLAN FOR
 FULL SCALE OF
 SURFACE FINISH
 EX-1000(2)



VICINITY MAP
 SCALE 1" = 100'



PRIVATE FACILITY DRAINAGE COVENANT

This Drainage Covenant, between Boyhahn, L.L.C., ('Owner'), whose address is 11896 North Highway 14, Tijeras, NM 87059, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. The Owner is the owner of the following described real property: located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Lots 1-8, inclusive, El Manzanito Subdivision, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 13, 1994, Book 94C, Page 344. (the "Property"). The Owner has submitted and the City has approved the Preliminary Plat of the property under the proposed legal description of Lots 1-22 and Tract A, El Manzanito Estates (DRB 95-313, Infrastructure List signed 10-22-1996).

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

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Perimeter concrete walls as shown on the approved Plan (minimum elevation 4965.0).

Flat grading of all lots, within the subdivision with no disturbance of established grades; and

Individual property owners responsible for acceptance of private street flows, and assurance of no cross-lot drainage.

The Drainage Facility is more particularly described on Sheets 1-4 of the Grading and Drainage Plan for El Manzanito Estates, City Drainage File H13/D27.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans. In particular, the Owner shall maintain grades, concrete walls, and drainage on each individual lot so that runoff from any on-lot source will remain within the lot, accumulating away from building foundations, sidewalks and streets. The Owner may install landscaping designed to increase the rate of percolation and evaporation.

The Owner may install lot irrigation systems, watering systems, or water using appliances, appurtenances, or equipment within each individual lot provided that any such system or equipment shall be designed, installed, and maintained to prevent overflow and runoff on to adjacent property.

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5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the Drainage Facility in accordance with the approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public or to cause damage to public or private property. The Owner, its heirs, successors and assigns agree to indemnify, defend and hold harmless the City, its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

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10. Entire Covenant. This Covenant contains the entire agreement of the parties with respect to this subject matter and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

OWNER:

By: *Joseph E. Boyd*
Title: Manager
Dated: 3-19-97

State of New Mexico)
)ss
County of Bernalillo)

This instrument was acknowledged before me this 19th day of March, 1997, by Joe Boyden, Manager, Boyhahn, L.L.C.

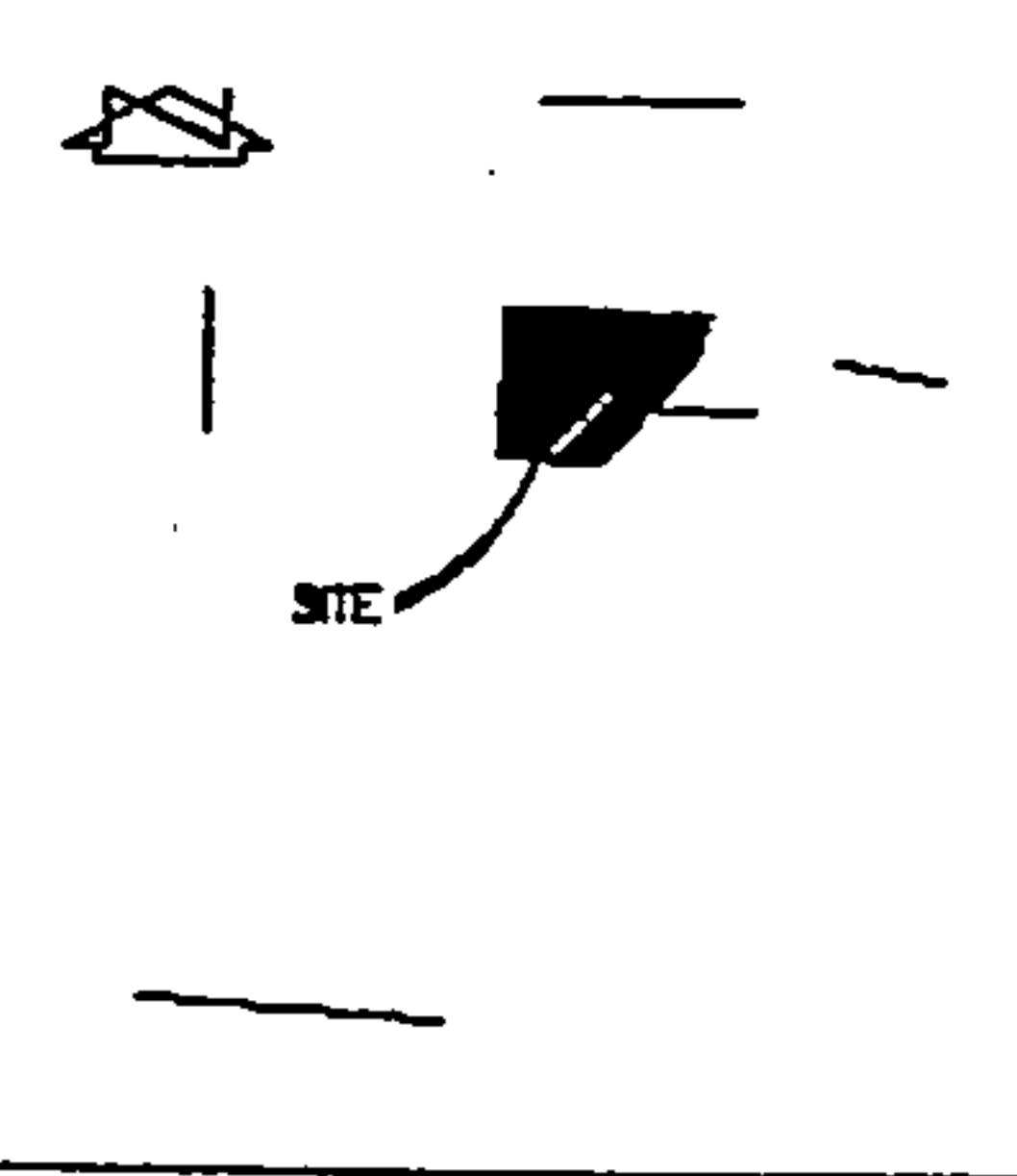
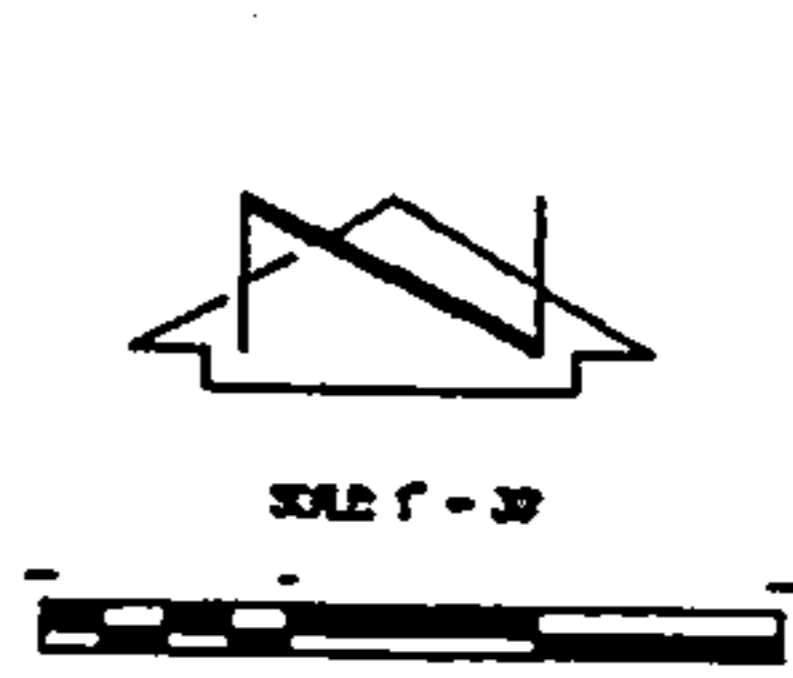
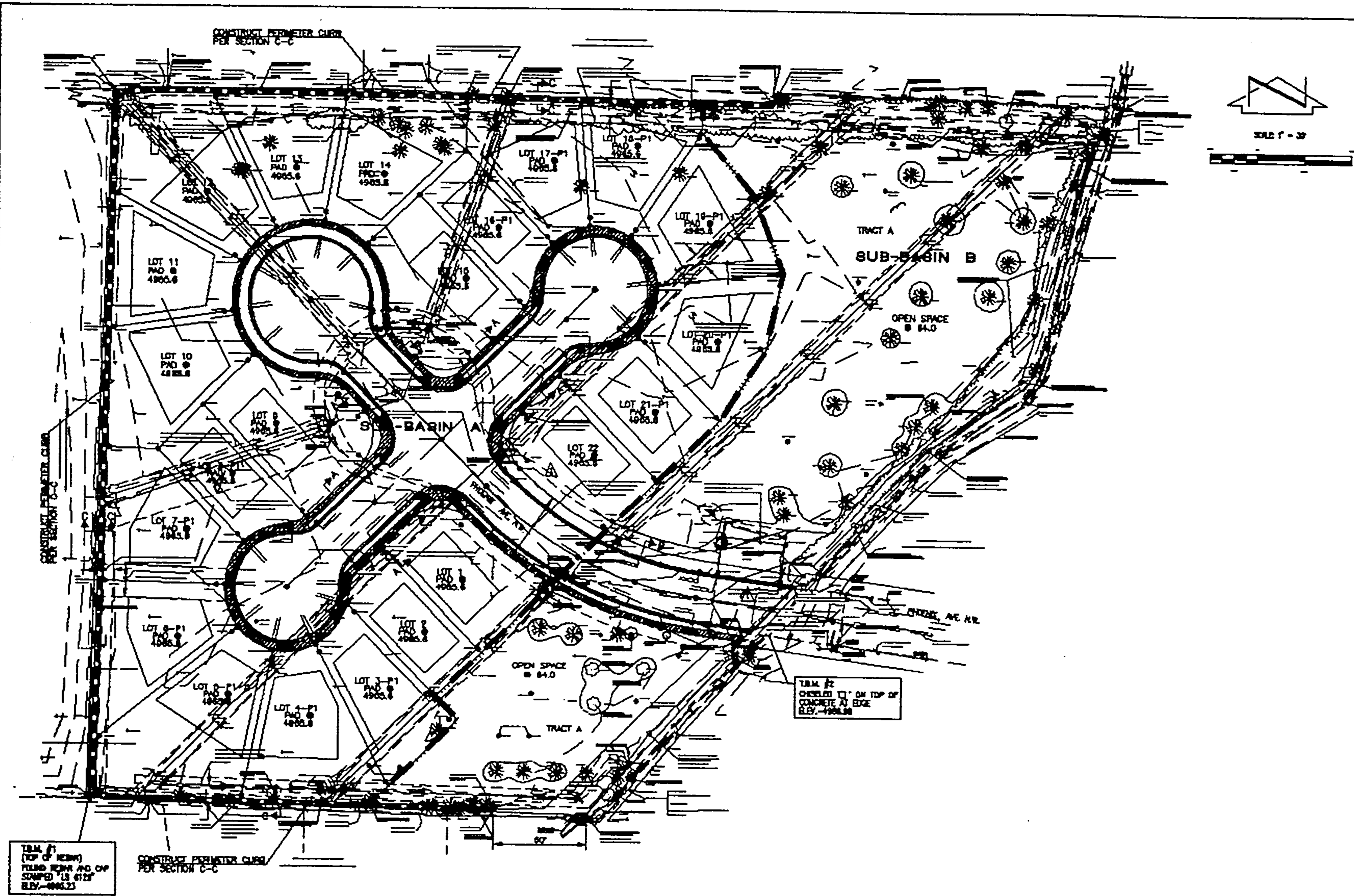
My Commission Expires:
4-28-98
Joseph E. Boyd
Notary Public

CITY OF ALBUQUERQUE:

Approved:

By: _____
Title: _____
Dated: _____





G13

LEGAL DESCRIPTION _____

PROJECT BENCHMARK _____

T.B.M. _____

LEGEND

TRM #1
(TOP OF RCW)
FIELD MARK AND CAP
STAMPED "13 612"
ELEV. 4906.23

INDEX OF DRAWINGS

1. GRADING PLAN, INDEX OF DRAWINGS, VICINITY MAP
2. CALCULATIONS, DRAINAGE PLAN, NOTES
3. SECTIONS AND DETAILS
4. ALLEY PAVING IMPROVEMENTS PLAN & PROFILE



APPROVED FOR BOUGH GRADING:

CITY HYDROLOGY _____ DATE _____

GRADING PLAN, INDEX OF DRAWINGS, VICINITY MAP
EL MANZANITO ESTATES

NO.	DATE	BY	DESCRIPTION	REVISION
1	10-19-94	JMA	PREPARED FOR CITY ENGINEER REVIEW AND SECT A	950594
2				10-19-94

JMA No. 950594
 D.R.B. Case No. 95-313
 D.R.C. Project No. _____
 Date Submitted 10-15-96
 Prelim. Plat Approved _____
 Prelim. Plat Expires _____

EXHIBIT 'A'
 to Subdivision Improvements Agreement
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LISTING
 for El Manzanito Estates

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

Location	Size	Type Improvement	From	To
Phoenix	8"	Sanitary Sewer	JSM INTERSECTION JSM INTERSECTION Unnamed Court	Cul-de-sac
	4"	Waterline	Unnamed Court	Cul-de-sac
	N/A	Estate Curb	Ditch Crossing	Cul-de-sac
	4'	Sidewalk (S. Side)	Ditch Crossing	Unnamed Ct.
	4'	Sidewalk (both sides)	JSM INTERSECTION INTEL SECTION Unnamed Court	Cul-de-sac (west)
	32' FF	Residential Paving	Ditch Crossing	Cul-de-sac (west)
	N/A	Street lights	PER PNM	
	20'x 40'	Residential Paving	Keyway at Ditch Crossing	
INTEL SECTION Unnamed Court	8"	Sanitary Sewer	Phoenix	N. Cul-de-sac
NORTH-SOUTH CUL-DE-SAC	4"	Waterline	Phoenix	S. Cul-de-sac
JSM	6"	Waterline	Phoenix	N. Cul-de-sac
			Phoenix	E. Prop. Line
	4'	Sidewalk (both sides)		Cochiti Elem. School
	32' FF	Residential Paving	Phoenix	N. Cul-de-sac
			Phoenix	S. Cul-de-sac
	N/A	Estate Curb	Phoenix	N. Cul-de-sac
			Phoenix	S. Cul-de-sac
Alley	24'	Residential Alley Paving	Phoenix	Cordova
Exist. Waterline Easement to be Vacated	6"	Waterline (Remove)	Phoenix	Cochiti Elem. School

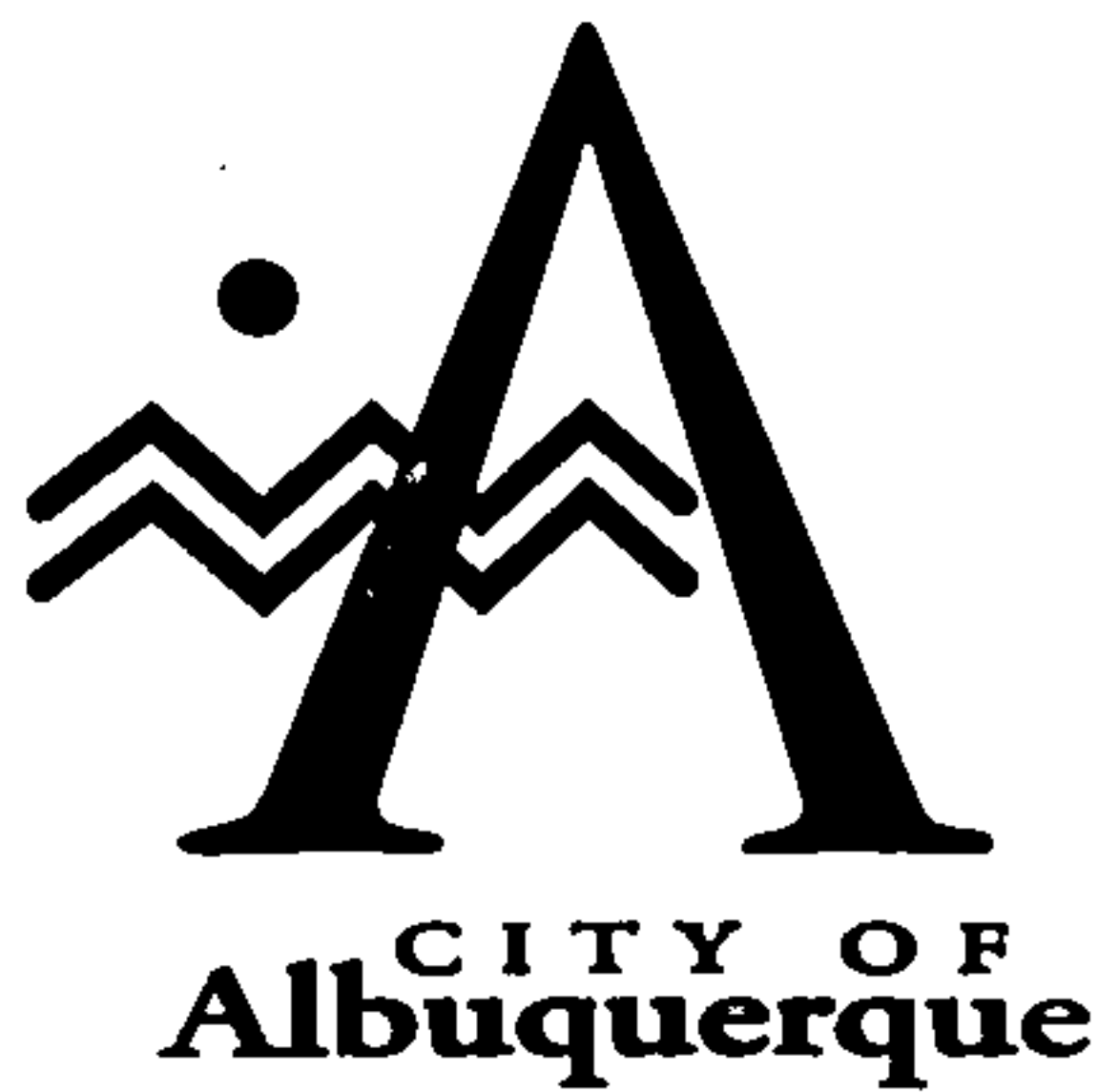
~~NON-FINANCIAL GUARANTEE ITEMS:~~ JSM

GRADING & DRAINAGE CERTIFICATION PER DPM REQUIREMENTS (FOR FINANCIAL GUARANTEE RELEASE)

Prepared by: _____
 Print Name: Jeffrey G. Mortensen, P.E.
 Firm: Jeff Mortensen & Associates, Inc.

 Development Review Board Member Approval

[Signature] 10-22-96 Transportation Dev. Date
Robert W. Kane 10-22-96 Utility Dev. Date
[Signature] 10-22-96 Parks Design & Development, C.I.P. Date
[Signature] 10/22/96 City Engineer/AMAFCA Date
[Signature] 10-22-96 DRE Chairman Date



October 25, 1996

Martin J. Chávez, Mayor

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: REVISED DRAINAGE PLAN FOR EL MANZANITO ESTATES
(H13-D27) REVISION DATED 10/15/96 DRB 95-313.**

Dear Mr. Mortensen:

Based on the information provided on your October 16, 1996 resubmittal, the above referenced site is approved for Final Plat.

Please be advised that Building Permit and Work Order approvals will not be issued until a copy of the new executed covenant has been submitted.

If I can be of further assistance, please feel free to contact me at 768-2667.

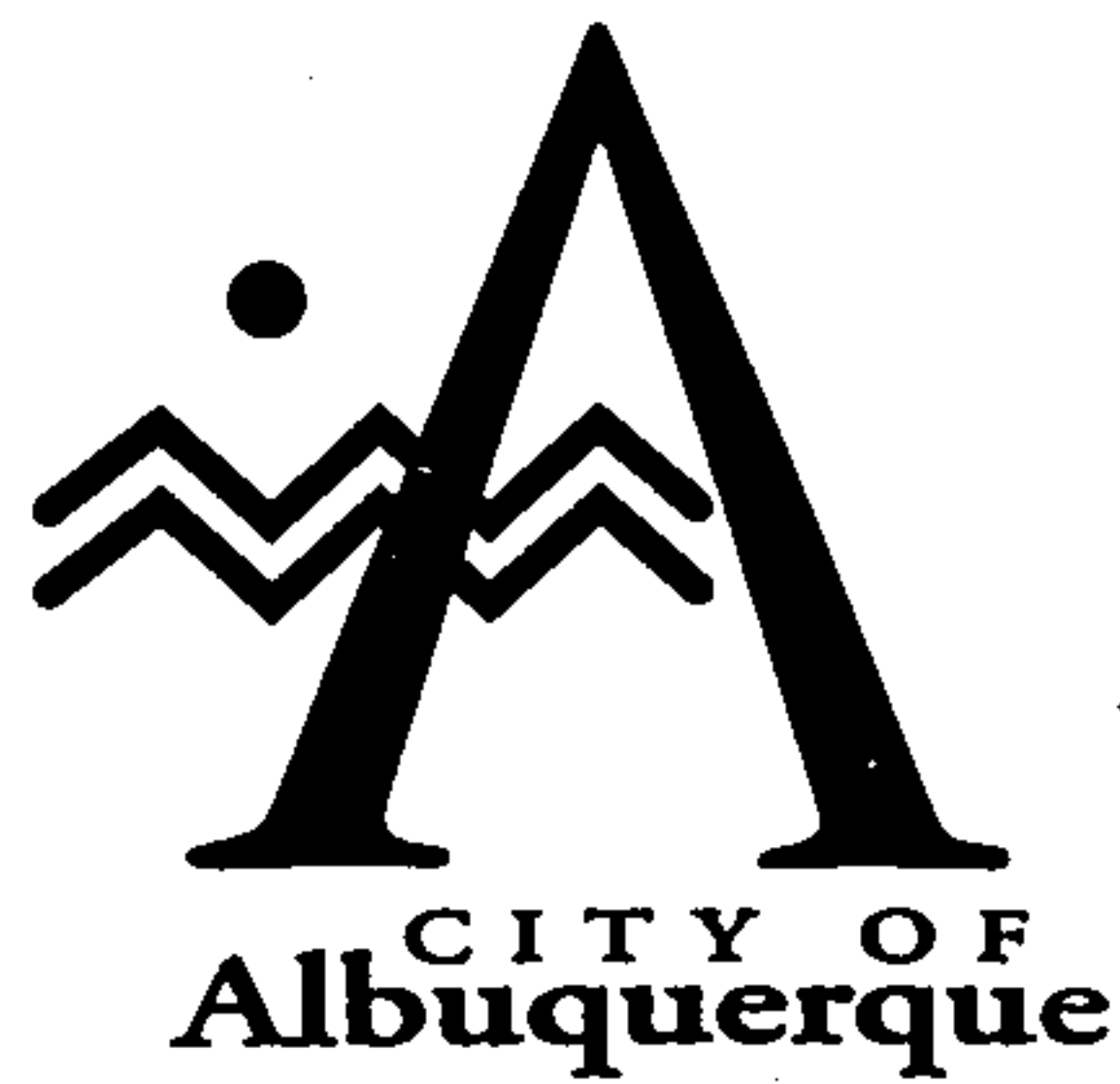
Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File





September 24, 1996

Martin J. Chávez, Mayor

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: DRAINAGE PLAN FOR EL MANZANITO SUBDIVISION (H13-D27)
ENGINEER'S STAMP DATED 8/23/96.**

Dear Mr. Mortensen:

Based on the information provided on your August 29, 1996 submittal, the above referenced site is approved for Rough Grading and Preliminary Plat.

Prior to Final approval, the following must be addressed:

1. Note on the plan that identifies that the maximum pad site cannot be greater than 40% of the lot size.
2. Copy of the new executed covenant.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 10, 1994

*Rec'd
10/11/94
LMO*

Chris Weiss
C.L. Weiss Engineering
1100 Alvarado NE
Albuquerque, NM 87110

RE: EL MANZANITO SUBDIVISION (H-13/D27) ENGINEER'S STAMP DATED 10/6/94

Dear Mr. Weiss:

Based upon the as-built information supplied in your 9/22/94 submittal, the referenced project is approved for Final Plat. Engineer's Certification for the project is also approved.

If I can be of further assistance, feel free to contact me at 768-3622.

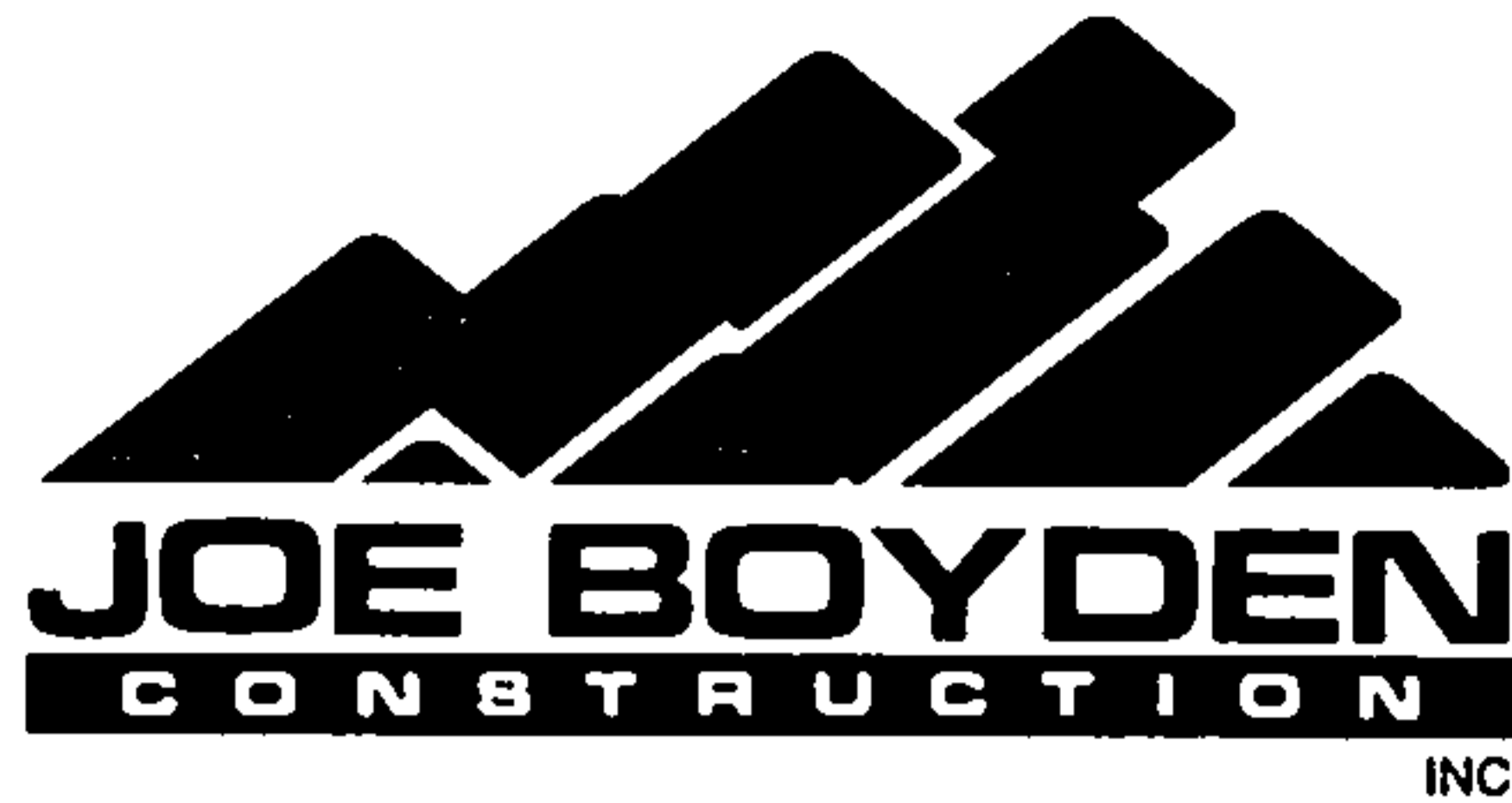
Cordially,

Scott Davis
PWD, Hydrology Division

c: Lynda Michelle DeVanti
Andrew Garcia
File

(wp+3386)

*City Hydrology
has no objection
to the release of
the financial guarantees
for this project. The
developer's engineer
was certified the
grading & drainage
plan.*
[Signature]
10/12/94



September 21, 1994

Fred Aguirre
Civil Engineer, Hydrology
City of Albuquerque

RE: El Manzanito H-13/D27 DRB#94-357

Dear Mr. Aguirre;

Attached please find the following as it relates to the above project:

1. Engineer Certification of Grading and Drainage
2. Copy of the Recorded Covenants for Drainage.

Please do not hesitate to call if you have any questions.

Thank you.


Gail Brown

SEP 22 1994

FIRST AMENDED DECLARATIONS OF RESTRICTIONS
FOR EL MANZANITO COMPOUND SUBDIVISION

Joe Boyden Construction, Inc., a New Mexico corporation hereinafter called the "original owners" does hereby amend and supplement the Declarations of Restrictions of El Manzanito Compound recorded December 2, 1993, in Book 93-34, Pages 6593-6598, Document Number 93-136439, Records of Bernalillo County Clerk.

I

APPLICATION OF COVENANTS

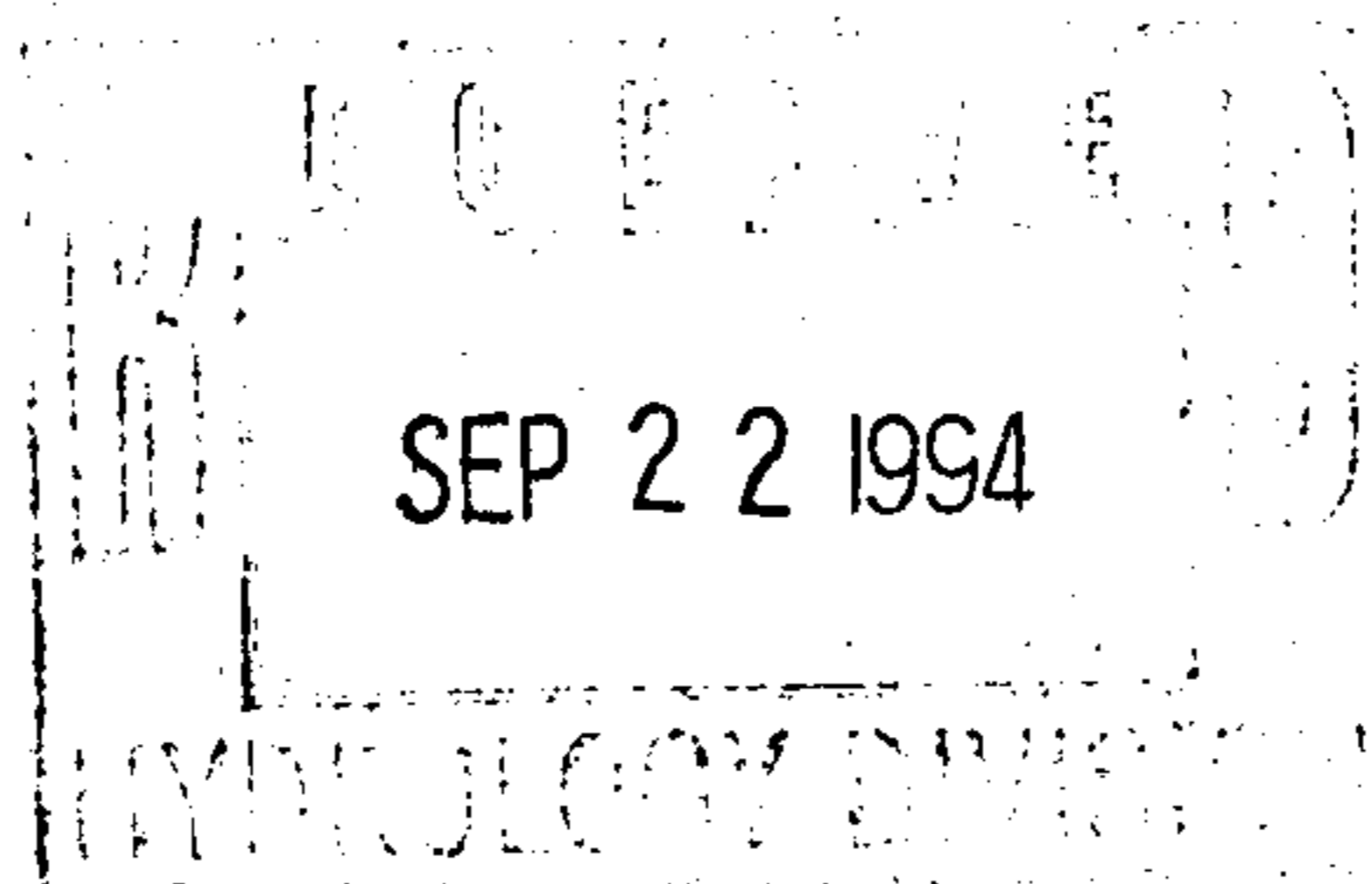
Original owners, being the owners of El Manzanito Compound, a subdivision in Bernalillo County, New Mexico, the plat thereof being filed in the office of the County Clerk of Bernalillo County on the _____ day of _____, 19____, Book _____, Page _____, Document Number _____, has established a general plan hereby establish the covenants, conditions, reservations and restrictions upon which and subject to which all lots and portions of lots in said subdivision shall be sold and conveyed. Each and every one of these covenants, conditions, and reservations, is and all are for the benefit of each owner of land in such subdivision, or any interest therein, and shall inure to and pass with each and every parcel of the subdivision, and shall apply to and bind all subsequent owners thereof. These covenants, conditions, reservations, and restrictions are and each thereof is imposed upon such lots, all of which are to be constructed as restrictive covenants running with the title to such lots and with each and every parcel.

Except as amended and supplement herein the Declaration of Restrictions of El Manzanito Compound Subdivision Recorded as Document No. 93-136439, Records of Bernalillo County Clerk, Bernalillo County, New Mexico shall remain binding on each and every subsequent owner of any portion of the land in said subdivision.

II

ARCHITECTURAL CONTROL

The Architectural Control Covenants of the Declaration of Restrictions, El Manzanito Compound, Document No. 93-136439, Records of the Bernalillo County Clerk shall remain unchanged except that the Architectural Control Committee is hereby established consisting of Joseph L. Boyden and Lynn Boyden.



III DRAINAGE

- a. All areas, except the gravel road(s), will pond storm water from the El Manzanito Compound Subdivision.
- b. The ponding will be developed in accordance with the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13-D27. All ponding shall be developed so that storm water percolates and evaporation from El Manzanito Compound Subdivision.
- c. No import of fill dirt of any type will be allowed on El Manzanito Compound Subdivision, unless the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13-D27, will allow such fill dirt.
- d. All gravel driveways must be constructed to drain to the open area of each lot of El Manzanito Compound Subdivision.
- e. Interior lot line berms have been built and certified by the original owners project engineer. These berms act as a barrier to cross flow and hold storm waters within each lot. Those berms cannot be removed, modified or changed in any way, except as specified herein.
- f. The subsequent owners of lots in El Manzanito Compound Subdivision shall maintain the drainage, at the subsequent owners sole cost and expense, in accordance with the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13-D27. In particular, the owners shall maintain ponding areas, grades, walls, drainage on each individual lot so that run off from any one lot source will remain within the lot accumulating away from building foundations, perimeter walls, sidewalks and streets. The owner may install landscaping designed to increase the rate of percolation and evaporation.
- g. The subsequent owners may install lot irrigation systems, watering systems, or water using appliances, apparatus, or equipment within each individual lot provided that any such system or equipment shall be designed, installed and maintained to prevent overflow and run off unto adjacent property.
- h. The drainage patterns within each lot will not be modified by subsequent owners but will be maintained at the minimum elevations of those standards, plans and specifications approved by the City of Albuquerque, drainage file number H13-D27.

- i. Any construction, development, modifications of any type or work which adversely affects the drainage plan approved by the City of Albuquerque, drainage file number H13-D27, shall not be authorized.
- j. Fencing of subsequent lot owners lots will be allowed under the following conditions:

Fencing by subsequent lot owners may be used to replace the berm where the fence is a solid structure such as a block, and the fencing complies with the City of Albuquerque standards, plans and specifications, drainage file number H13-D27.

IV FLOOR ELEVATIONS

The finish floor elevations for each lot will not be lower than the elevation shown on the grading report approved by the City of Albuquerque.

V BENEFIT TO THE PROPERTY

The subsequent owners acknowledge and understand that the drainage facility required herein to be constructed on the El Manzanito Compound Subdivision is for the private benefit and protection of the subsequent property owners and that the failure to maintain such drainage could result in damage or loss to the property.

VI AMENDMENT OR REVOCATION OF COVENANTS

Notwithstanding anything to the contrary in paragraph VII of the original Declarations, the covenants, conditions and restrictions contained in Article III of these First Amended Declarations of Restrictions can only be amended or revoked in whole or part with approval of the City of Albuquerque.

JOE BOYDEN CONSTRUCTION, INC.

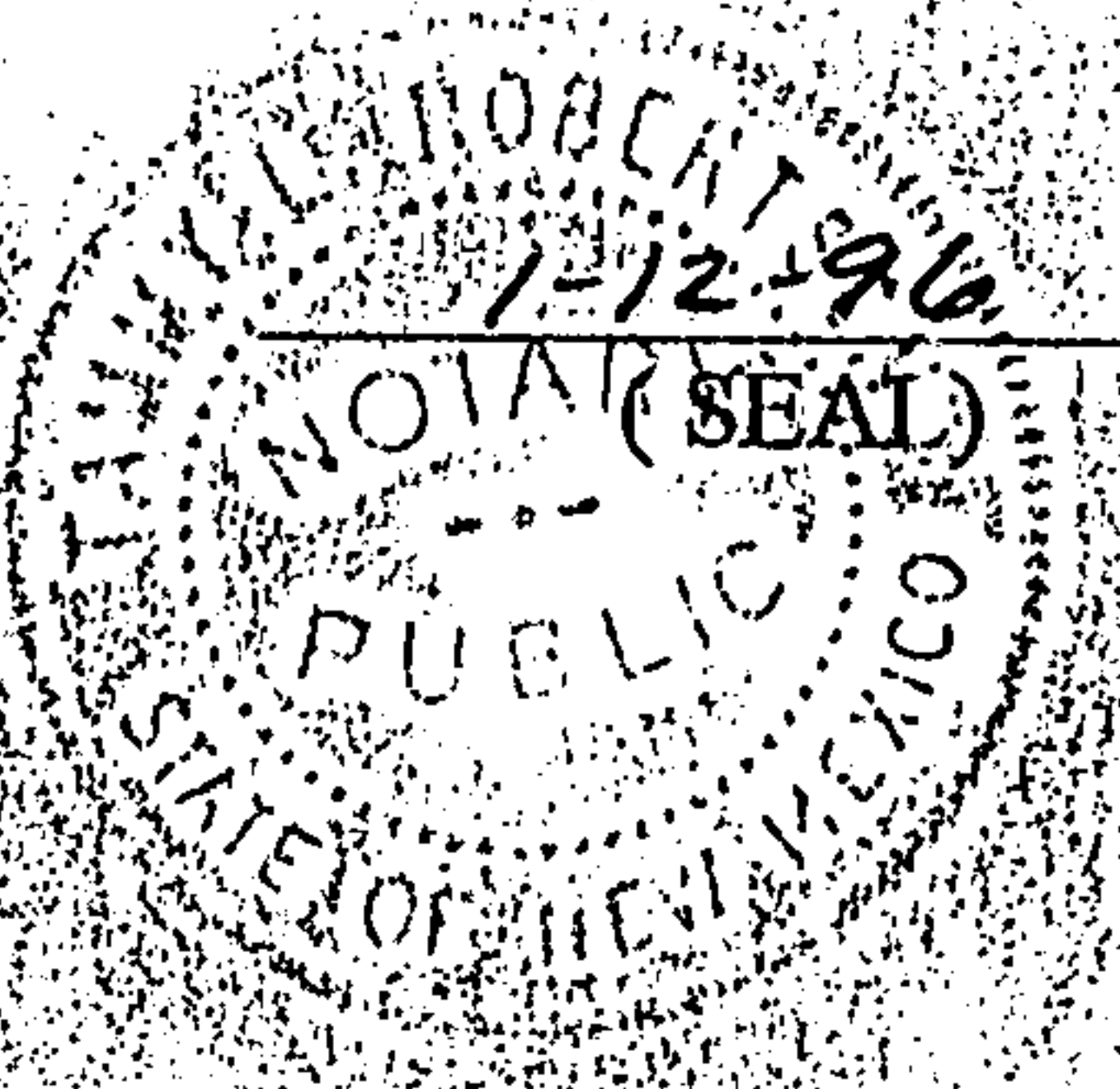
BY: Joseph L. Boyden
JOSEPH L. BOYDEN, President

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 26th day of August, 19 94, by Joseph L. Boyden, President of Joe Boyden Construction, Inc., a New Mexico Corporation on behalf of the corporation.

My commission expires:

Annexa Ocator
NOTARY PUBLIC



STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD
1994 AUG 26 PM 1:15
BK 94-24 PG 9548-
JUDY D. WOODWARD
CO. CLERK & RECORDER
9551

COUNTY OF BERNALILLO
County Clerk

One Civic Plaza N.W.
Albuquerque, New Mexico 87102

RECEIPT

Receipt Number: 13516
Customer Name: Joe Boyden Construction
Customer Address:
Phone Number: 2600886
Check Number: 9685
Received By: TS

Transaction Date: 08/26/94

Time	Document Number & Type	Init	Units/Fee/Extended	Item Totals
13:14	94-106075 AMENDMENT	TS	1 @ 7.00 = 7.00	
13:14	94-106075 Additional Pages	TS	3 @ 2.00 = 6.00	13.00

Sub Total: \$ 13.00

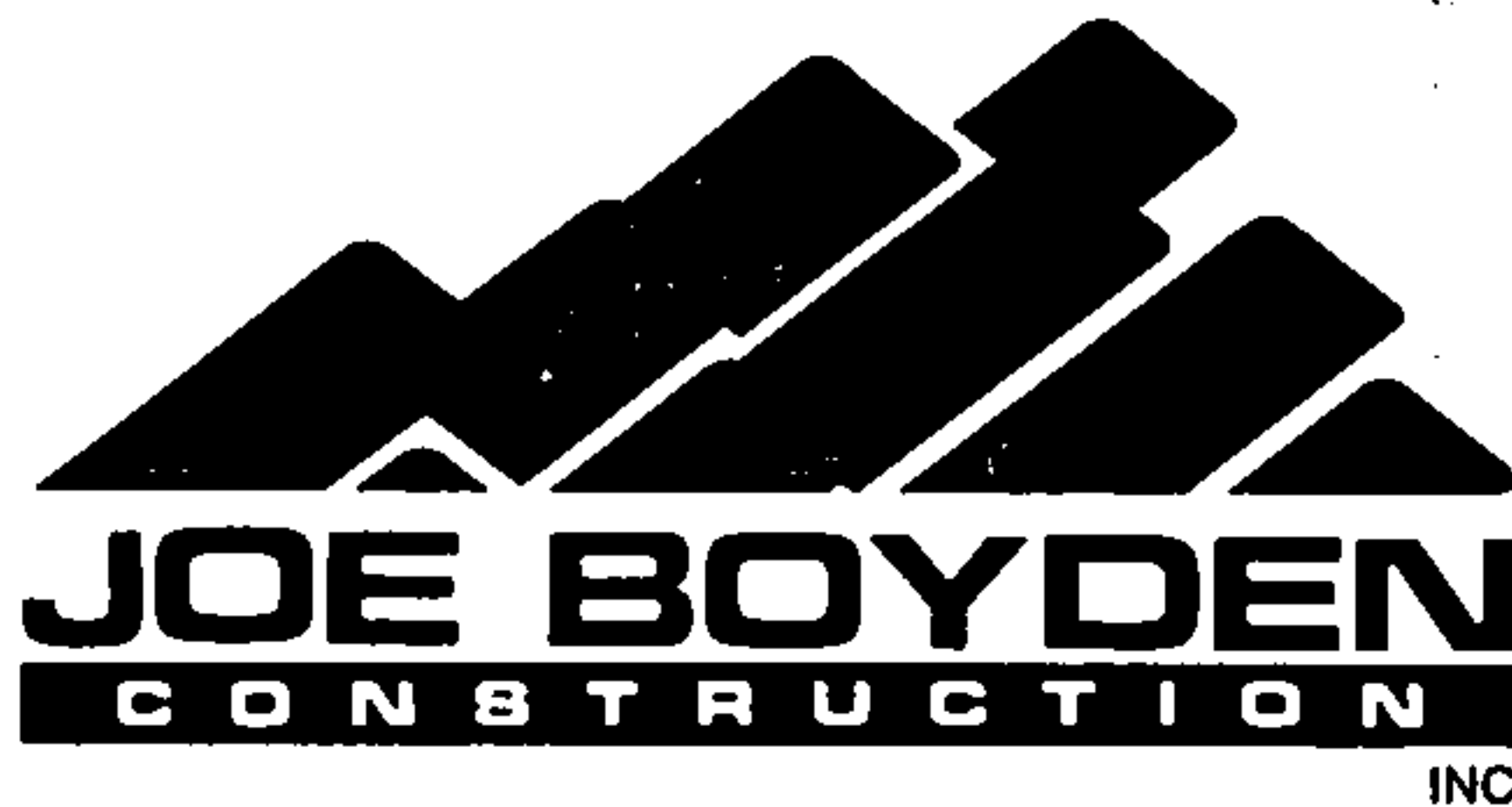
Tax: \$ 0.00

Trans Total: \$ 13.00

=====
Check Amount: \$ 13.00

Cash Amount: \$ 0.00

(End Of Document)



August 17, 1994

Andrew Garcia
Civil Engineer/Hydrology
City of Albuquerque

RE: El Manzanito Covenants (H-13/D27)

Attached please find a draft of the proposed Amended Covenants relating to drainage, for your review and comments, at the El Manzanito subdivision, drainage file number H-13/D27.

Thank you for your cooperation.

Respectfully,

Gail Brown

Enclosure

*Looks OK - PRIVATE
Street [Signature]
8/24/94*



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 12, 1994

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Tim Jellerson
Joe Boyden Construction Inc.
P.O. Box 199
Cedar Crest, New Mexico 87008

**RE: PROJECT NO. 4448.80 EL MANZANITO SUB'D
(MAP H-13)**

Dear Mr. Forgette:

This is to certify that the City of Albuquerque accepts Project No. 4448.80 as being completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

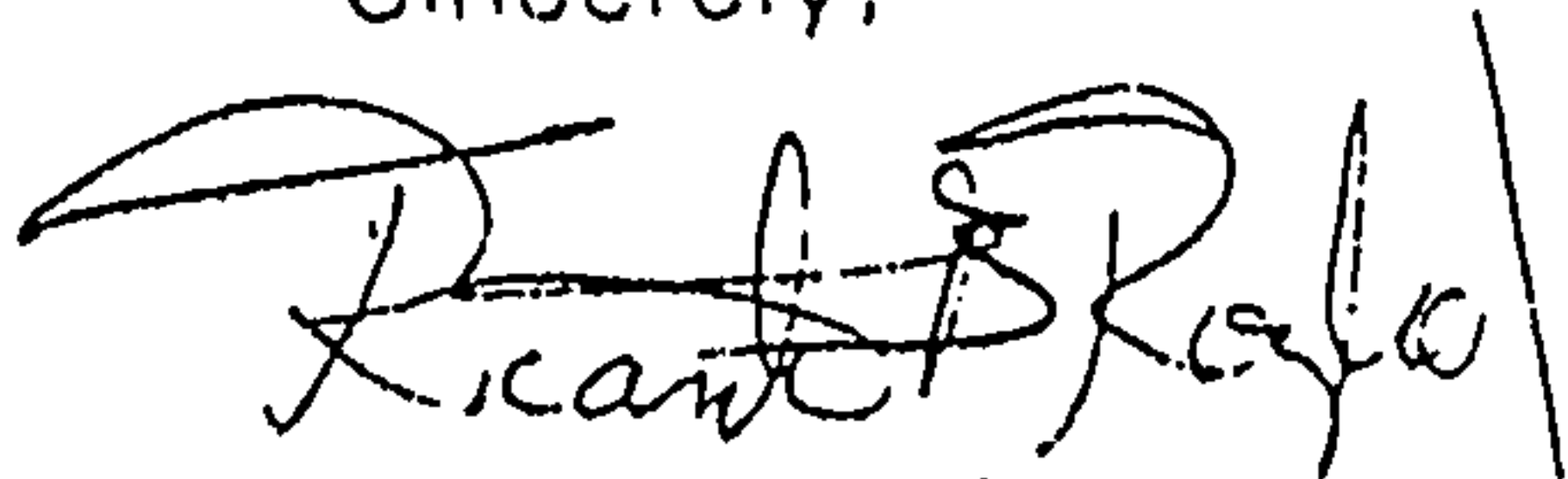
- The contractor extended 510 linear feet of 6" PVC waterline including 4-3/4" double services, 2-6" gate valves and 1 fire hydrant for the subject subdivision.
- Also, extended 310 linear feet of 8" PVC sanitary sewer lines including 8-service stubouts and 2-4' manholes for the subdivision.
- Construction of concrete ramp over the new 22 1/2' x 36' arch shape RCP culvert at the entrance to the subdivision.
- Construction of "private" gravel roadway extending from the concrete ramp into the subdivision.

Certificate of Completion and Acceptance
April 12, 1994
Page 2

* *Note maintenance of private infrastructure improvements will be the responsibility of the developer/owner.

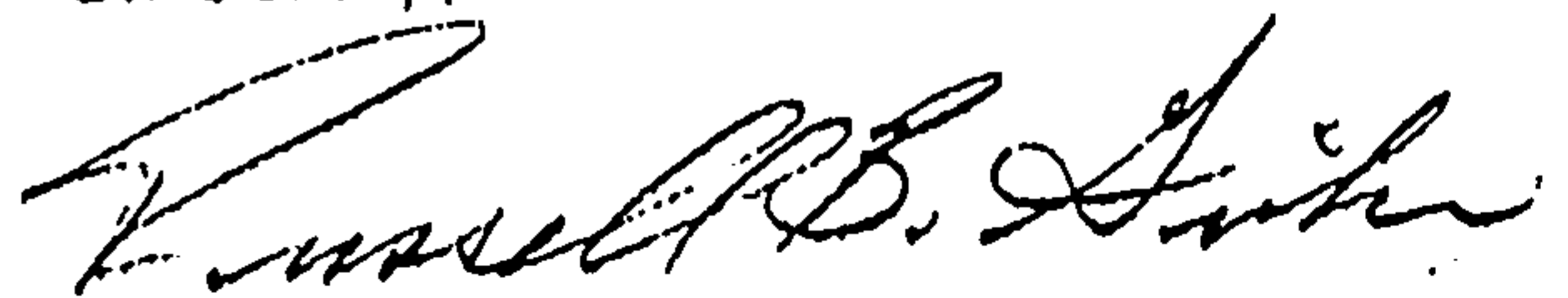
The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,



Rick Roybal, P.E.
City Engineer,
Engineering Group
Public Works Department

Sincerely,



Russell B. Givler, P.E.
Chief Construction Engineer,
Engineering Group
Public Works Department

cc: Chris Weiss Engineering
Russ Pitney Earthmoving
Fred Aguirre, Engineering Group, PWD
Lynda Michelle DeVanti, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Martin Barker, Engineering Group, PWD
Steve Gonzales, Special Assessments, DFM
A.N. Gaume, Operations Group, PWD
Sam Hall, Operations Group, PWD
Jim Fink, Operations Group, PWD
Ray Chavez, Engineering Group, PWD
Stuart Reeder, Water/Wastewater Group, PWD
Dave Parks, Engineering Group, PWD
Bill Coleman, Engineering Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Richard Zamora, Engineering Group, PWD
f/Project No. 4448.80
f/Readers
f/Warranty:Contract

III
DRAINAGE

DRAFT

- a. All areas, except the gravel road(s), will pond storm water from the El Manzanito Compound Subdivision.
- b. The ponding will be developed in accordance with the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13 - D27. All ponding shall be developed so that storm water percolates and evaporates from El Manzanito Compound Subdivision.
- c. No import of fill dirt of any type will be allowed on El Manzanito Compound Subdivision, unless the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13 - D27, will allow such fill dirt.
- d. All gravel driveways must be constructed to drain to the open area of each lot of El Manzanito Compound Subdivision.
- e. Interior lot line berms have been built and certified by the original owners project engineer. These berms act as a barrier to cross flow and hold storm waters within each lot. Those berms cannot be removed, modified or changed in any way, except as specified herein.
- f. The subsequent owners of lots in El Manzanito Compound Subdivision shall maintain the drainage, at the subsequent owners sole cost and expense, in accordance with the standards, plans and specifications approved by the City of Albuquerque, drainage file number H13 - D27. In particular, the owners shall maintain ponding areas, grades, walls, drainage on each individual lot so that run off from any one lot source will remain within the lot accumulating away from building foundations, perimeter walls, sidewalks and streets. The owner may install landscaping designed to increase the rate of percolation and evaporation.
- g. The subsequent owners may install lot irrigation systems, watering systems, or water using appliances, apparatus, or equipment within each individual lot provided that any such system or equipment shall be designed, installed and maintained to prevent overflow and run off unto adjacent property.
- h. The drainage patterns within each lot will not be modified by subsequent owners but will be maintained at the minimum elevations of those standards, plans and specifications approved by the City of Albuquerque, drainage file number H13 - D27.

DRAFT

FIRST AMENDED DECLARATIONS OF RESTRICTIONS
FOR EL MANZANITO COMPOUND SUBDIVISION

Joe Boyden Construction, Inc., a New Mexico corporation, hereinafter called the "original owners" does hereby amend and supplement the Declarations of Restrictions of El Manzanito Compound recorded December 2, 1993 in Book 93-34, Pages 6593-6598, Document Number 93-136439, Records of Bernalillo County Clerk.

I
APPLICATION OF COVENANTS

Original owners, being the owners of El Manzanito Compound, a subdivision in Bernalillo County, New Mexico, the plat thereof being filed in the office of the County Clerk of Bernalillo County on the _____ day of _____, 19____, Book _____, Page _____ Document Number _____, has established a general plan for the improvement and development of such premises, and does hereby establish the covenants, conditions, reservations and restrictions upon which and subject to which all lots and portions of lots in said subdivision shall be sold and conveyed. Each and every one of these covenants, conditions, reservations, is and all are for the benefit of each owner of land in such subdivision, or any interest therein, and shall inure to and pass with each and every parcel of the subdivision, and shall apply to and bind all subsequent owners thereof. These covenants, conditions, reservations and restrictions are and each thereof is imposed upon such lots, all of which are to be construed as restrictive covenants running with the title to such lots and with each and every parcel.

Except as amended and supplement herein those Declaration of Restrictions of El Manzanito Compound Subdivision Recorded as Document No. 93136439, Records of Bernalillo County Clerk, Bernalillo County, New Mexico shall remain binding on each and every subsequent owner of any portion of the land in said subdivision.

II
ARCHITECTURAL CONTROL

The Architectural Control Covenants of the Declaration of Restrictions, El Manzanito Compound, Document No. 93136439, Records of the Bernalillo County Clerk shall remain unchanged except that the Architectural Control Committee is hereby established consisting of Joseph L. Boyden and LYNN
BOYDEN

DRAFT

i. Any construction, development, modifications of any type or work which adversely affects the drainage plan approved by the City of Albuquerque, drainage file number H13 - D27, shall not be authorized.

j. Fencing of subsequent lot owners lots will be allowed under the following conditions:

Fencing by subsequent lot owners may be used to replace the berm where the fence is a solid structure such as a block, and the fencing complies with the City of Albuquerque standards, plans and specifications, drainage file number H13 - D27.

IV
FLOOR ELEVATIONS

The finish floor elevations for each lot will not be lower than the elevation shown on the grading report approved by the City of Albuquerque.

V
BENEFIT TO THE PROPERTY

The subsequent owners acknowledge and understand that the drainage facility required herein to be constructed on the El Manzanito Compound Subdivision is for the private benefit and protection of the subsequent property owners and that the failure to maintain such drainage could result in damage or loss to the property.

VI
AMENDMENT OR REVOCATION OF COVENANTS

Notwithstanding anything to the contrary in paragraph VII of the original Declarations, the covenants, conditions and restrictions contained in Article III of these First Amended Declarations of Restrictions can only be amended or revoked in whole or part with approval of the City of Albuquerque.

DRAFT

JOE BOYDEN CONSTRUCTION, INC.

BY: _____
JOSEPH L. BOYDEN, president

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this
_____ day of _____, 19___, by Joseph L. Boyden,
President of Joe Boyden Construction, Inc., a New Mexico
corporation on behalf of the corporation.

My commission expires:

Notary Public

(SEAL)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 6, 1992

Chris Weiss, P.E.
Weiss-Hines Engineering
1100 Alvarado, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE REPORT FOR TRACT 162A2, MRGCD MAP 35, MANZANITO
SUBDIVISION (H-13/D27) ENGINEER'S STAMP DATED AUGUST 5, 1992

Dear Mr. Weiss:

Based on the information received on July 22, 1992, the plan is approved for Preliminary Plat.

Please be advised that prior to Final Plat approval, the following restrictions should be included on the plat:

- a. Grading restrictions.
- b. Construction and maintenance of the berms.
- c. Requirement of private properties to accept street drainage.
- d. Requirements of building the finish floor elevation to the prescribed elevation.
- e. Identify key T.B.M.s to set the finish floor elevations.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

GA
(wp+3386)

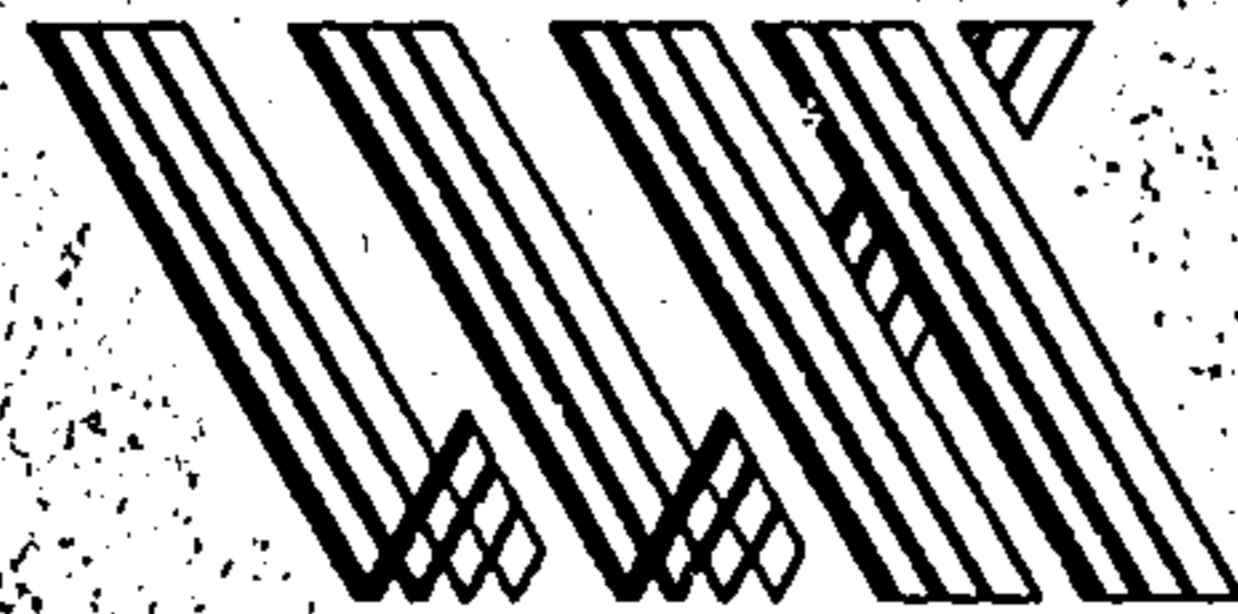
PUBLIC WORKS DEPARTMENT

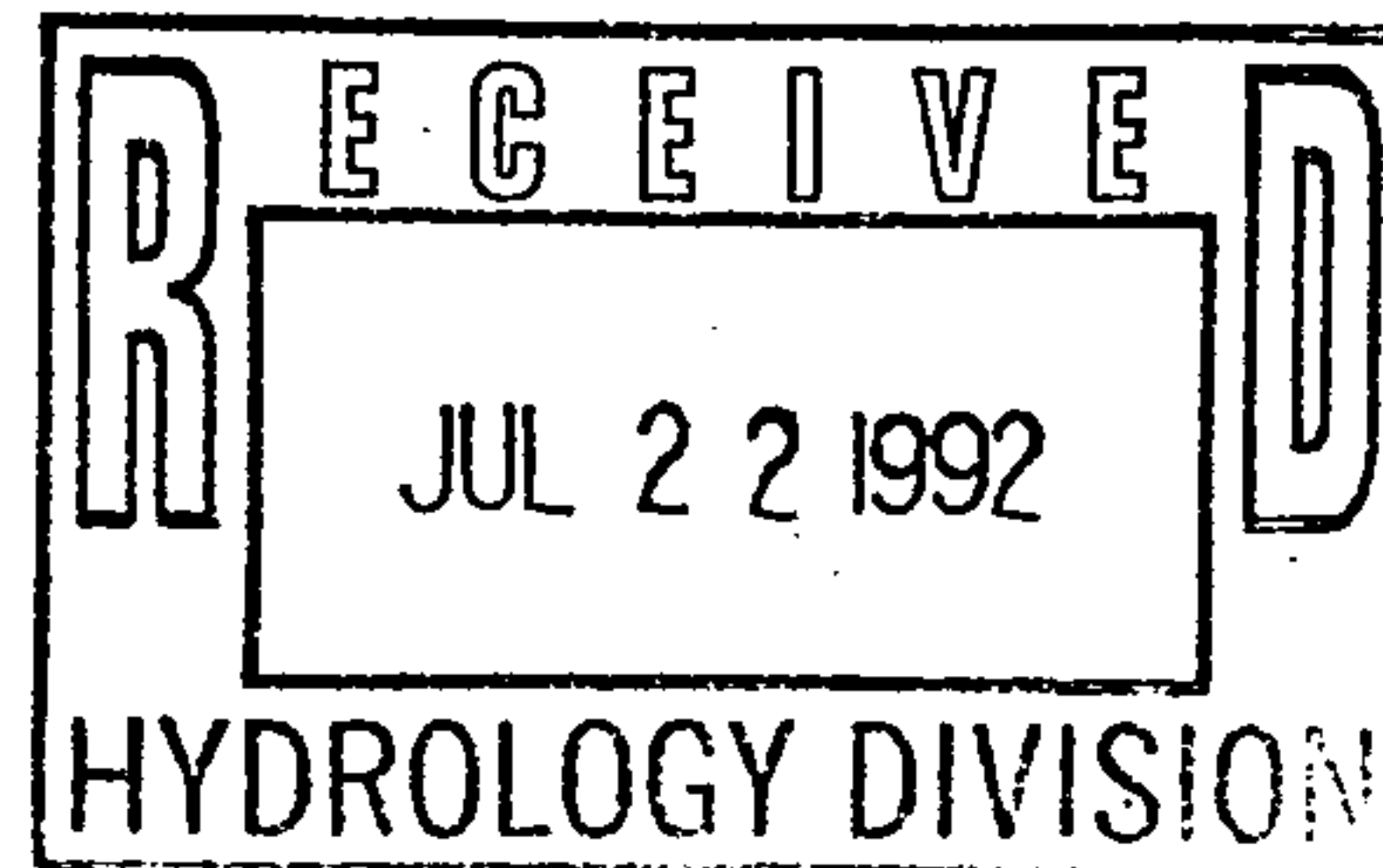
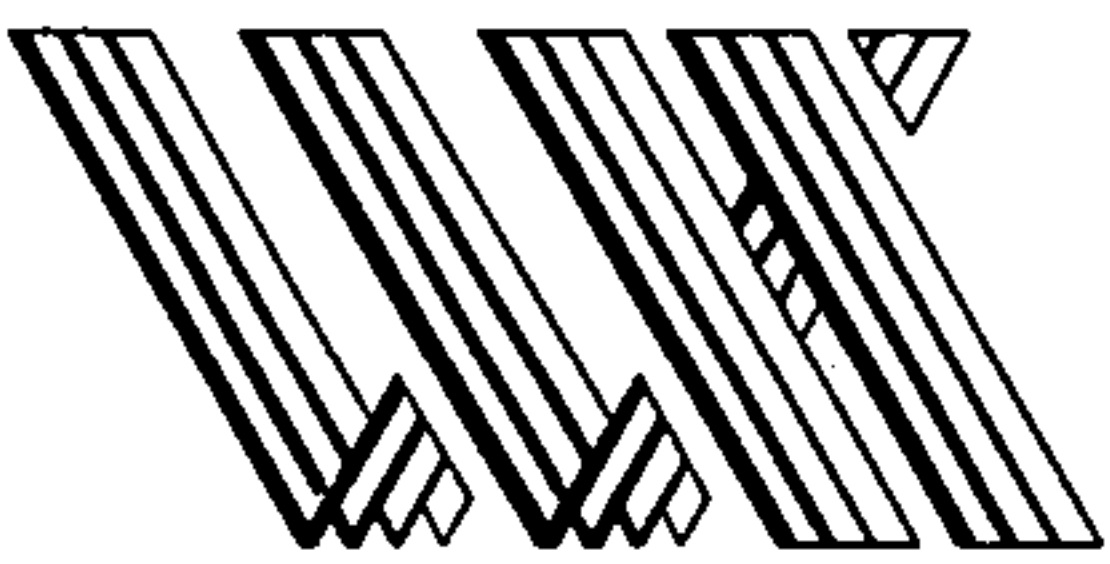
DRAINAGE REPORT
FOR
EL MANZANITO SUBDIVISION

July 17, 1992

by

Weiss-Hines Engineering, Inc.





July 20, 1992

Mr. Fred Aguirre
Hydrology Department
City of Albuquerque
POB 1293
Albuquerque, NM 87103

RE: EL MANZANITO SUBDIVISION
DRB CASE NO. 92-0134

Dear Fred:

We are submitting a revised copy of the Drainage Study based on an eight lot configuration. Please withdraw the original report, which was based on a density of 30 lots. The original pre-design criteria was followed with slight modifications, as explained in the report. The ponding concept for the eight lot layout works well with the area and it allows more flexibility in dealing with the soils and HUD requirements for drainage away from the structures.

Please call if you have any questions.

Sincerely,

Christopher L. Weiss, P.E.
President
Weiss-Hines Engineering, Inc.

CLW/tdq

TABLE OF CONTENTS

Introduction	1
Onsite Drainage Areas	3
Calculations—Existing.....	4
Calculations—Proposed	5

Exhibit: Grading Plan



INTRODUCTION

This report provides the drainage criteria for the development of a five acre tract of land owned by Joe Boyden Construction, Inc. The site (MRGCD Tract #1b2a2) is west of Twelfth Street, between Menaul and Candelaria NW. More specifically, it is located at the west end of Phoenix Avenue NW.

Site grade characteristics are unique in that the entire site is very flat with minor undulations evident throughout the site. The tract is presently used for a single residence and an apple orchard. The proposed development will consist of eight single family residences served by a private, gravel road. The developer will maintain the existing apple orchard, situating the houses to avoid cutting down trees where possible. Additionally, the present irrigation system will be maintained and upgraded for the proposed development to help preserve the orchard.

Adjoining land areas consist of residential developments on the east, north and south sides. However, a concrete lined irrigation ditch separates the tract from the adjoining neighborhood on the east. The area to the west of the site is occupied by Cochiti Elementary School.

Drainage characteristics of the area are typical for the valley—little-to-no surface cross drainage, and isolated 100-year flood zone areas. This particular tract of land does not drain to any storm sewer or discharge to any adjoining tract of land. Its surface drainage is self-contained by perimeter berms, the main purpose of which is to contain the irrigation flows.

Storm Sewers

The nearest storm sewer is located approximately 500' to the east at the intersection of Phoenix and Cordova. Depth of the 12" diameter storm system is around 4' and it was installed at a 0.12% grade. This system would not be a viable connection point due to grade difference with the site and lack of capacity for additional flows. The closest storm sewer to the west is located at the intersection of San Isidro and La Poblana Road, approximately 600' west through the school yard, then 200' south on San Isidro. This route would be difficult to use due to the access being landlocked by the school.

Cross Surface Drainage

On-site grades for the apple orchard tract slope gently to the center of the tract, but flows do not leave the site due to the presence of a slight ridge along the property lines. The neighborhoods adjoining the site on the east, north and south do not contribute any offsite flows to the apple orchard tract due to the flat grades of the area. The presence of the concrete lined ditch along the east property line prevents any cross flow from that direction.

Flood Zones

The east side of the Cochiti School yard is a designated 100-year flood zone. This flood zone adjoins the apple orchard site, but does not intrude into the area due to the lower grade difference at the common property line.

Design Criteria

Given these parameters—lack of cross-slope to drain to adjoining street systems and lack of capacity of existing storm sewer systems—the traditional method of collecting storm water for immediate disposal into any offsite facilities is not a feasible solution for this site. Therefore, the most efficient drainage system for the site will be through the use of total retention ponding. This will allow excess runoff to be disposed of through percolation in the permeable soil of each lot. This concept was more specifically defined during a pre-design conference with City Hydrology. Those findings are summarized as follows:

INTRODUCTION (continued)

Hydrology Predesign Summary

- Because there is no natural outfall or storm sewer available, the entire site will be used as a pond, as it presently is. The following conditions for valley criteria have been met:

- No offsite drainage onto the site
- Each lot will be self-contained.

Additional factors which are addressed with this report are:

1. Grading Restrictions: Language has been added to the plat which restricts fill on lots to prevent ponded waters from moving to neighboring lots.
2. Perimeter Lot Walls: In the predesign meeting with Hydrology, it was requested that the developer construct concrete masonry garden walls (approximately 1' high) around each lot to contain runoff to each lot. This was based on the thirty lot concept and was acceptable because the entire site was going to be graded flat and almost all the trees removed. For the present eight lot layout, however, the wall requirements has been changed to a berm for the following reasons:
 - A berm would be more in tune with the type of subdivision planned—large lots with owners keeping horses, irrigated orchards, with possibility of existing trees being situated on the lot lines, which could require the removal of those trees in order to construct the wall.
 - The neighborhood association has been very active with their ideas about development of the character of this development. They successfully requested a variance for the sidewalk during the DRB sketch plan review. They also requested, after the fact, that the perimeter walls be replaced with berms in order to be more in keeping with a horse/orchard type estate.
 - A maintenance agreement for the berms will be issued which will run with the land.
3. Access Road Drainage: The gravel cul-de-sac access road will be a private access easment, maintained by the homeowner association. Runoff from this road will drain directly to the adjoining lot. Because the lot lines extend to the center of the road, these flows will be considered part of each respective lot.
4. Soils: The soils analysis of the tract found expansive clays with a thickness of 3 to 4 feet from the surface. Following the soil lab recommendations, these factors need to be considered.
 - Provide a positive slope away from all foundations to prevent ponded water from standing next to structures.
 - Construct post-tensioned slabs to resist settlement and cracking.
5. Certification: Provide certification of grading, berms and finish floor elevations as part of an infrastructure list.

ONSITE DRAINAGE AREAS

The design calculations used for areas smaller than 40 acres is referenced in the Design Criteria Manual for the City of Albuquerque, August, 1991.

Onsite drainage is divided into two categories:

- existing drainage conditions of the tract, and
- proposed conditions after site improvements and residences are completed.

Each lot within the subdivision will act as a retention pond for runoff generated within the lot and one half of the adjoining road area. All lots will be left ungraded except for the house pad area. Except for the house pad area, storm runoff will have the entire lot available for infiltration and temporary storage. It is expected that front and rear yards will be grassed and landscaped. Hard surface areas will be the roof areas. A total breakdown of the areas by surface type is as follows for the 5.11 acre tract.

- Impermeable Area
Roof Area = 16,000 SF
- Permeable Area
Grass/Landscaped Areas
Road, Driveways = 206,592 SF

CALCULATIONS—EXISTING

Overall Tract—Zone 2, 6 hour 100 year = 2.35"

Onsite Land Condition :

$$\begin{aligned} A_A &= 217,000 \text{ SF} \\ A_B &= 0 \text{ SF} \\ A_C &= 1,300 \text{ SF} \\ A_D &= 4,292 \text{ SF} \\ &222,592 \text{ SF} = 5.11 \text{ Acres} \end{aligned}$$

Onsite Weighted Excess Precipitation (100-Year, 6-Hour Storm) :

$$\begin{aligned} \text{Weighted E} &= \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D} \\ &= \frac{(0.53)(217,000) + (0.78)(0) + (1.13)(1,300) + (2.12)(4,292)}{222,592} \\ &= 0.56" \end{aligned}$$

Onsite Volume of Runoff :

$$V_{360} = \frac{(0.56)(5.11)}{12} = 0.24 \text{ AF (10,388 CF)}$$

CALCULATIONS—PROPOSED

Overall Tract—Zone 2 6 hour 100 year = 2.35"

Onsite Land Condition :

$$\begin{aligned} A_A &= 0 \text{ SF} \\ A_B &= 206,592 \text{ SF} \\ A_C &= 0 \text{ SF} \\ A_D &= \underline{16,000 \text{ SF}} \\ &222,592 \text{ SF} = 5.11 \text{ Acres} \end{aligned}$$

Onsite Weighted Excess Precipitation (100-Year, 6-Hour Storm) :

$$\begin{aligned} \text{Weighted E} &= \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D} \\ &= \frac{(0.53)(0) + (0.78)(206,592) + (1.13)(0) + (2.12)(16,000)}{222,592} \\ &= 0.88" \end{aligned}$$

Onsite Volume of Runoff :

$$V_{360} = \frac{(0.88)(5.11)}{12} = 0.37 \text{ AF (16,255 CF)}$$

Storage Area

$$\begin{aligned} \text{Area of Site} &= 222,592 \text{ SF} \\ \text{Area of Houses} &= 16,000 \text{ SF} \\ \text{Area of Houses Pads} &= \underline{3,200 \text{ SF}} \\ \text{Area of Storage} &= 203,392 \text{ SF} \end{aligned}$$

$$\text{Depth of ponded runoff, assuming no infiltration} = \frac{16,255 \text{ CF}}{203,392 \text{ SF}} = 0.08' = 1.0"$$

- Assuming the worst case, with an infiltration rate of 0.6"/hour per SCS criteria, the volume of runoff would be absorbed within 1.7 hours.
- Assuming the best case, with an infiltration rate of 2"/hour, the volume of runoff would be absorbed in a little over one half hour.

Because the site lots are essentially level, flows will not be concentrated in any one place. Worst case scenerio for ponded flows will be 1". All house finished floor elevations will be established 1' above existing grades, thus insuring a substantial margin of safety from ponded flows.

D.R.C. Case No. 92-134
 D.R.C. Project No. _____
 Date Submitted 7-21-92
 Prelim. Plat Approved _____
 Prelim. Plat Expires _____

Figure 12
 EXHIBIT "A"

to Subdivision Improvements Agreement
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LISTING
 for EL MANZANITO SUBDIVISION

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

Size	Type Improvement	Location	From	To
30'	PRIVATE GRAVEL RD W/TURNAROUND 6" DEEP	PHOENIX AVE	EXISTING 14" MI PHOENIX AVE	CUL-DE-SAC (END)
6-24" DIA	RCP w/ pedestrian Access	IRRIG DITCH	DITCH CROSSING @ PHOENIX AVE	
6"	WATERLINE	PHOENIX AVE	EXISTING LINE IN PHOENIX AVE	END OF CUL-DE-SAC
6"	WATERLINE	20' PUBLIC WATERLINE EASEMENT	CUL-DE-SAC	WEST PROP LINE
8"	SANITARY SEWER	PHOENIX AVE	EXISTING LINE IN PHOENIX AVE	CUL-DE-SAC
			PRIVATE STREET	REAR PROP LINE

*GRADING CERTIFICATION - PROP LINES BEING
 WILL BE REQUIRED AS A
 CONDITION OF FINANCIAL
 GUARANTEE RELEASE, HOWEVER,
 FINANCIAL GUARANTEES WILL
 NOT BE REQUIRED FOR THE
 CROSSING, RETAINING WALLS AND BEAMS.
 Street Cights per dpm*

Prepared by: [Signature]
 Print Name: RYAN J. BOHRICK Chw 9-18-92
 Firm: WEISS-HINES ENGINEERING, INC.

Page 1 of 1

Development Review Board Member Approvals

<u>[Signature]</u> 8-18-92 Traffic Date	<u>Robert Wilkano</u> 8-18-92 Water/Liquid Waste Date	<u>[Signature]</u> 8-18-92 Parks & Rec. Date
<u>[Signature]</u> 8/18/92 City Engineer/AMAFCA Date	<u>[Signature]</u> DRB Chairman	<u>[Signature]</u> 8-18-92 Date

Rev. 2/1/88



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 2, 1992

Chris Weiss, P.E.
Weiss-Hines Engineering
1400 Alvarado, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE REPORT FOR TRACT 162A2, MRGCD MAP 35, MANZANITO
SUBDIVISION, RECEIVED APRIL 21, 1992 FOR PRELIMINARY PLAT
(H-13/D27)

Dear Mr. Weiss:

Based on the information provided, kindly address the following comment prior to Preliminary Plat approval:

1. Need to identify an emergency overflow spillway for the subdivision.
2. Need to identify the restrictions placed on the property, such as:
 - a. Grading restrictions.
 - b. Construction of the interior walls.
 - c. Requirement of private properties to accept public waters from street.
 - d. Requirements of building the finish floor elevation to the prescribed elevation.
 - e. Identify key T.B.M.s to set the finish floor elevations.
3. All street elevations should be shown to the nearest 100th. This should include elevations at the front property corner in order to set the water meter and sidewalk.
4. Submit an infrastructure list, this should include certification of grading.

PUBLIC WORKS DEPARTMENT

Chris Weiss, P.E.

June 2, 1992

Page 2

5. Need a legend and additional notes that identify the required walls to be built with this development. Include top of wall and bottom of wall elevations.
6. Please address offsite flows.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,



Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

GA

(wp+3386)

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: H-13 DATE: 5/22/92
EPC NO.: _____ DRB NO.: 91-294 ZONE: _____
SUBJECT: Lots 1-4, Lands of Joe Perea
STREET ADDRESS: _____
LEGAL DESCRIPTION: Tracts 6002, 6006 & 862, MRGCD No. 35

APPROVAL REQUESTED: PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

ATTENDANCE: WHO REPRESENTING
Jeff Mortensen Mortensen & Assoc.
Gilbert Aldaz C.O.A.

- FINDINGS:
1. PROPOSED SUBDIVISION consisting of 4 lots. This area is in a flat area adjacent to Rio Grande Blvd.
 2. It appears that the most acceptable drainage scheme is a flat grading system thru-out subdivision.
 3. House pads should be elevated 1'0" above the 100-year w.s. 8" high block walls around perimeter. Block to make sure offsite flows are not being blocked. Water block required at driveway for Rio Grande Blvd.
 4. Maintenance & covenant notes required for pad elevations & no future grading restrictions.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: William Allen SIGNED: Jeffrey
TITLE: 5-22-92 TITLE: JMIA
DATE: Project Engineer DATE: 05/22/92

1072

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: H 13 DATE: 4/7/92
EPC NO.: _____ DRB NO.: 92-134 ZONE: R 1
SUBJECT: APPLE ORCHARD SUBDIVISION
STREET ADDRESS: LOCATED AT THE WEST END OF PHOENIX
LEGAL DESCRIPTION: MRGCD TRACT 162A2

APPROVAL REQUESTED: PRELIMINARY PLAT FINAL PLAT
 SITE DEVELOPMENT PLAN BUILDING PERMIT
 GRADING/PAVING PERMIT OTHER

ATTENDANCE: WHO REPRESENTING
CHRIS WEISS Weiss-Hines
FRED J. AGUIRRE City

FINDINGS:
AN APPROVED DRAINAGE REPORT IS REQUIRED FOR PRELIMINARY
PLAT APPROVAL. THE DRAINAGE CONCEPT FOR THIS SITE
IS 100% RETENTION ON-SITE. THIS CONCEPT IS ~~NOT~~ ALLOWED
IF NO OFF-SITE FLOWS ENTER THIS SITE.
• 100% RETENTION ON-SITE (INCLUDES FUTURE CITY'S R/W RUNOFF)
IS ACCEPTABLE WITH NO CONCENTRATION OR FLOWS IN ANY
LOCATION
• A PERIMETER WALL (ONE C.M.U. COURSE-CONCRETE FILLED WITH
AN ADEQUATE FOOTING FOR ITS PURPOSE) IS TO BE CONSTRUCTED
THAT IS 8" ABOVE THE PROPOSED GROUND AROUND THE
ENTIRE SUBDIVISION
• FINISH FLOOR ELEVATION ARE TO BE SET (1') FOOT
ABOUT THE 100YR WATER SURFACE ELEVATION
• RESTRICTIVE COVENANTS ARE TO BE ~~RECORDED~~ ^{RECORDED} PRIOR
TO FINAL PLAT APPROVAL THAT IDENTIFIES GRADING RESTRICTIONS,
FINISH FLOOR ELEVATION & MAINTENANCE RESPONSIBILITIES FOR THE PERIMETER
WALL.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature] SIGNED: [Signature]
TITLE: _____ TITLE: _____
DATE: 4/7/92 DATE: 4/7/92

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

PRE-DESIGN CONTRACTOR
APPLE ORCHARD SUBDIVISION

M-13
DMS 92-134

(KNOWS)
ABOUT
HEIGHT OR
FINISH OF

• ~~THE~~ CMU (CONCRETE FILLER) WORK BETWEEN
LOTS WILL BE REQUIRED AT THE TIME
OF BUILDING PERMIT. INCLUDE THIS REQUIREMENT
WITH THE RESTRICTIVE COVENANTS.

• CERTIFICATION OF THE GRADING WILL
BE REQUIRED AS A CONDITION OF
S/D / FINANCIAL GUARANTEE RELEASE.
NO FINANCIAL GUARANTEES REQUIRED
FOR THE GRADING REQUIREMENTS.