



**Planning Department
Transportation Development Services**

January 14, 2016

James Lewis
904 Princeton SE
Albuquerque, NM

**Re: Range Cafe
1050 Rio Grande NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-5-16 (H13-D029)**

Dear Mr. Lewis,

Based upon the information provided in your submittal received 1-5-16-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Please detail and dimension all existing sidewalks, curb ramps and curb cuts on Rio Grande Blvd. to ensure compliance to ADA standards. Detail "S" on drawing refers to curb ramp on ADA access isle. Key Notes #2, 3 and 7 do not give dimension to existing northern entrance/exit, sidewalk and ramps.
3. Please dimension existing sidewalk along building. Detail "E" shows a dimension of 6 ft. for the sidewalk at the ADA access point. Please clarify width of entire sidewalk. Key Note #5 does not give a dimension.
4. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. The ADA parking access isle along the building's south entrance is only shown to be 5 ft. wide, Key Note #17 calls out dimension of 8 Ft. Please clarify dimension of access isle. Also, Key Note #16 does not call out a dimension for the existing ADA parking space.
5. Please call out the distance between abutting parking spaces on the south side of building.
6. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension side walk width. Key Note #5 does not give a dimension.
7. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for both entrances from Rio Grande Blvd. Detail "O" and "T" both detail the Clear Sight for the northern entrance.

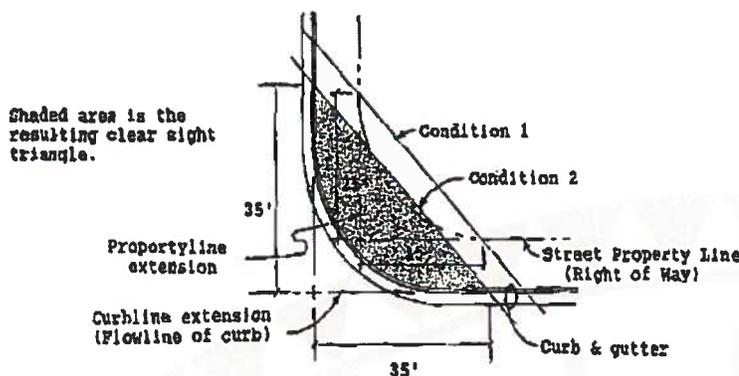
PO Box 1293

Albuquerque

New Mexico 87103

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CITY OF ALBUQUERQUE



8. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area." This note must be on the drawing.
9. Future Drive Cut Key (Note #52) will require an easement and access agreement with adjacent property owner. Parking space will not be allowed in this easement area and must be subtracted from parking space calculations.
10. Please include a copy of your shared access agreement with the adjacent property owner.
11. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
12. Please include two copies of the traffic circulation layout at the next submittal.

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Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: 1050 Rio Grande NW Building Permit #: _____ City Drainage #: H130029

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tr a plat of lands of Harry J Garcia Tr a middle Rio Grande Conservancy District Property map #35 cont 1.1273 ac/ml.

City Address: 1050 Rio Grande NW, Albuquerque, NM 87104

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: G3 Investors, LLC Contact: Edward Garcia

Address: P.O.Box 26207, Albuquerque, NM 87125

Phone#: 505-260-5188 Fax#: _____ E-mail: egarcia@garciacars.com

Architect: James C Lewis Contact: James C Lewis

Address: 904 Princeton SE

Phone#: 505-247-1529 Fax#: _____ E-mail: gdi@mac.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

- DEPARTMENT:
- HYDROLOGY/ DRAINAGE
 - TRAFFIC/ TRANSPORTATION
 - MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:
 ENGINEER/ ARCHITECT CERTIFICATION

- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR

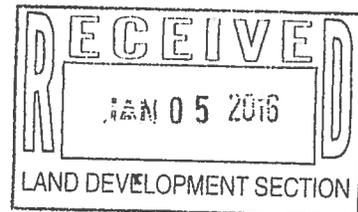
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)

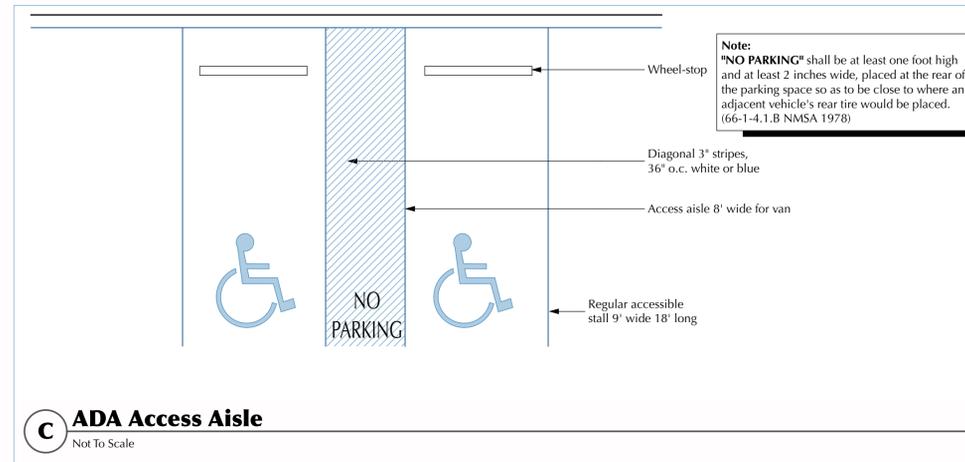
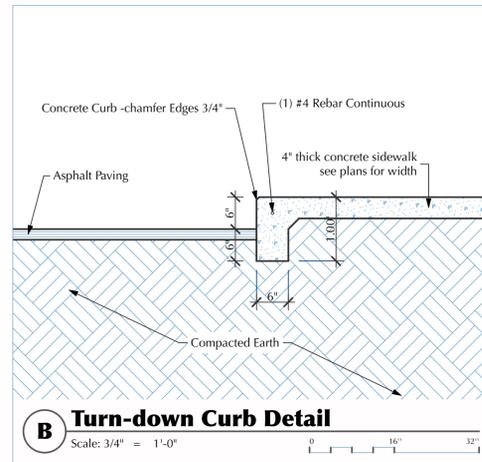
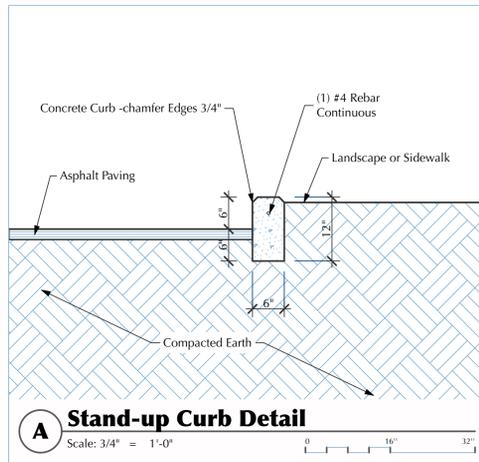
OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 01/05/15 By: James C Lewis

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____





Zoning Info

Required (1:3)	Provided	Total
77	Small 3 less than 15% Standard 78	81
HC Required 4	HC Provided 4	4
		85
BICYCLE PARKING Required -	Provided 3	
MOTORCYCLE PARKING Required 3	Provided 3	

LANDSCAPE CALCULATIONS
SITE AREAS
Gross Total: 49,222 SF (1.13 Acres)
Net Lot: 43,528 SF (1.0 Acres)

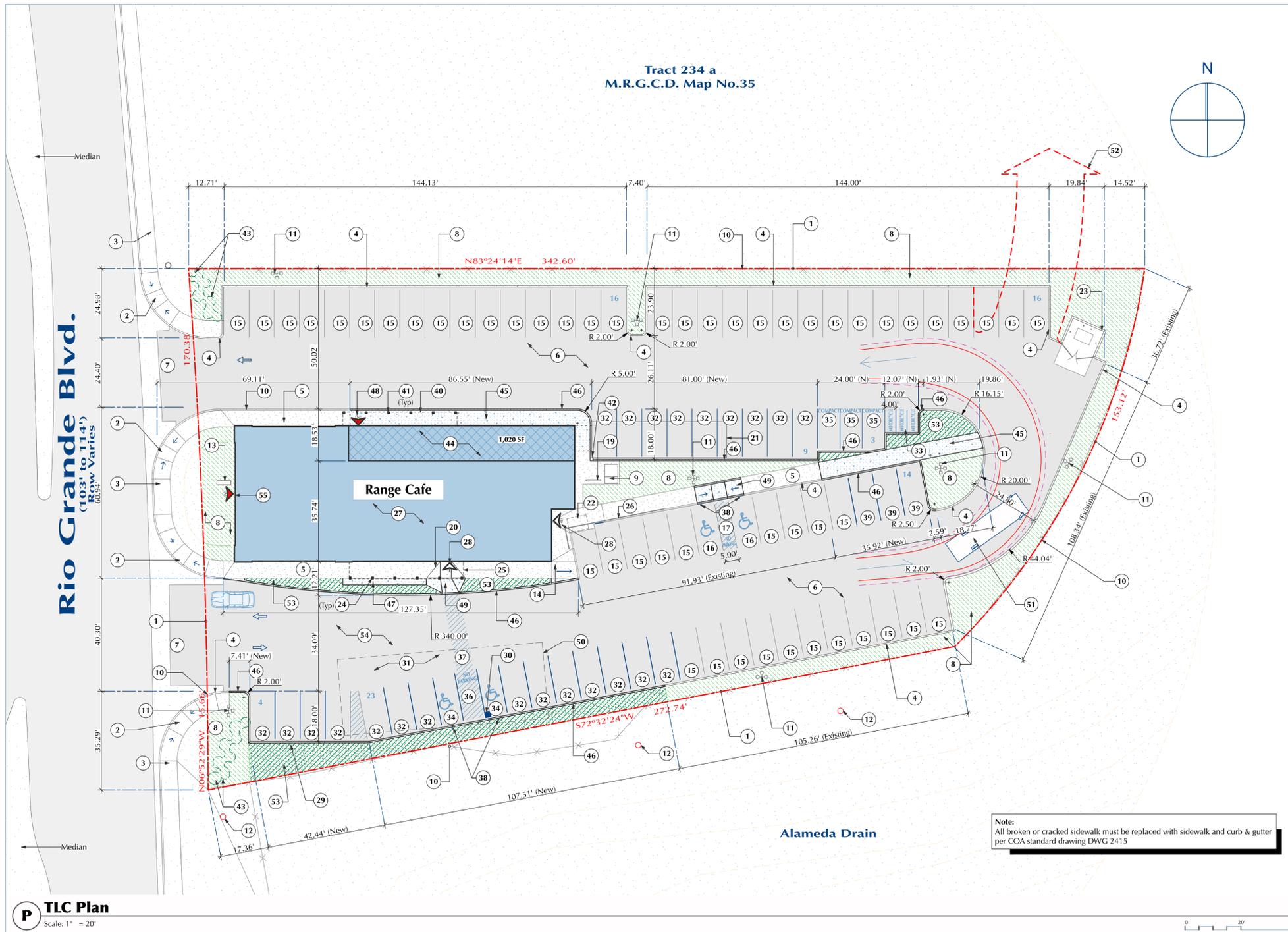
Landscape
For proposed building site not less than 15% of net lot area.
Net Lot Area = 43,528 SF
Required Landscape of Net (15%) = 6,529 SF

Landscape: **Provided 7,886 SF**

City Of Albuquerque

James C Lewis - Architect
General Design, Inc.
Albuquerque, NM 87106
505.247.1529 • jg@jclm.com

STATE OF NEW MEXICO
James C Lewis
REGISTERED ARCHITECT
No. 979
01/05/16



Keyed Notes

- Existing Property line
- Existing COA public ramps
- Existing public sidewalk and curb
- Existing 6" curb shall remain
- Existing concrete sidewalk shall remain.
- Existing asphalt paving shall be repaved.
- Existing driveway pad shall remain
- Existing landscape shall remain
- Existing transformer shall remain
- Existing chain link fence
- Existing light fixtures shall remain
- Existing power pole shall remain
- Existing sign shall be removed
- Existing ramp for kitchen delivery shall remain
- Existing standard parking space (9'-0" x 18'-0") - repaint strips as needed
- Existing HC parking spaces shall be re-painted as needed
- Existing 8'-0" HC access aisle shall be re-painted
- Not used
- Existing bicycle rack
- Existing pedestrian ramp in this area shall remain - See detail "S" on sheet SDP-8
- Existing concrete pad
- Existing grease trap shall remain
- Existing dumpster enclosure
- Existing building columns for existing portal
- Existing line of overhang above - Existing portal 235 SF
- Existing 3'-0" iron fence shall remain
- Existing building (Restaurant) 4,530 SF
- Existing entrance doors
- Existing pole sign re-build per Site Development Plan approved on 06/08/2000. Field verify exact location
- Existing spillway - See Grading and Drainage Plan
- Note: Fuel tanks have been removed per NM Environmental Dept requirements
- New 9'-0" x 18'-0" parking spaces
- New 4'-0" x 8'-0" motorcycle parking
- New 8'-0" x 18'-0" HC parking spaces with aisle
- New 8'-0" x 15'-0" Compact parking spaces
- New 8'-0" HC access aisle - 4' wide painted striping
- New 8'-0" pedestrian crossing - 4" wide painted striping
- New handicap pole sign
- New 8'-9" x 18'-0" parking strips
- New line of overhang above - New portal 190 SF
- New building columns for new portal
- Set new storm drain - Connect to existing channel
- New Parking buffers per Rio Grande Corridor Plan 11.D.1 page 54 required by Planning Department- See Landscaping Plan
- New building addition 1,020 SF (Dining and Kitchen addition)
- New 6' min. concrete sidewalk per COA standard Drawing - (DWG 2415)
- New 6" concrete curb - See detail 'A' or detail 'B' on this sheet
- New concrete sidewalk to enlarge the existing sidewalk in this area per COA standard Drawing
- New entrance door
- New pedestrian ramp with truncated cones warning strips
- Note: Location of the demolished gas station canopy (64' x 24')
- Turning radius for design delivery vehicle AASHTO Type "WB-40"
- Future drive cut to connect this site with the adjacent property by owner
- New landscape area
- New asphalt paving in this area
- New emergency exit door

Blank area for notes or additional information.

PROJECT NUMBER
1501

ISSUE DATE
01-05-16

REVISIONS Δ

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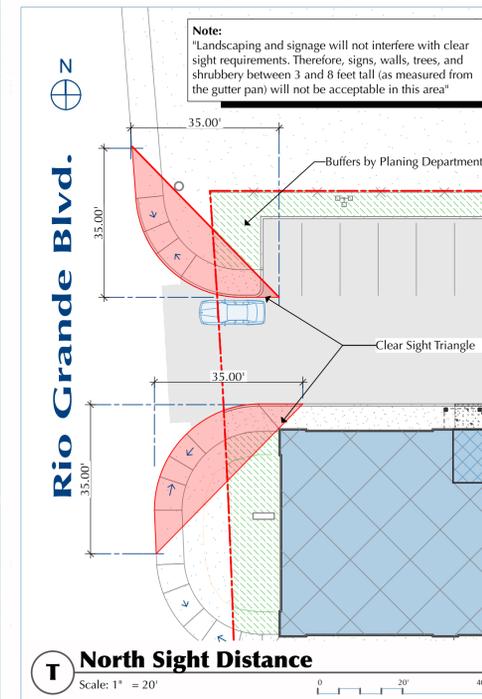
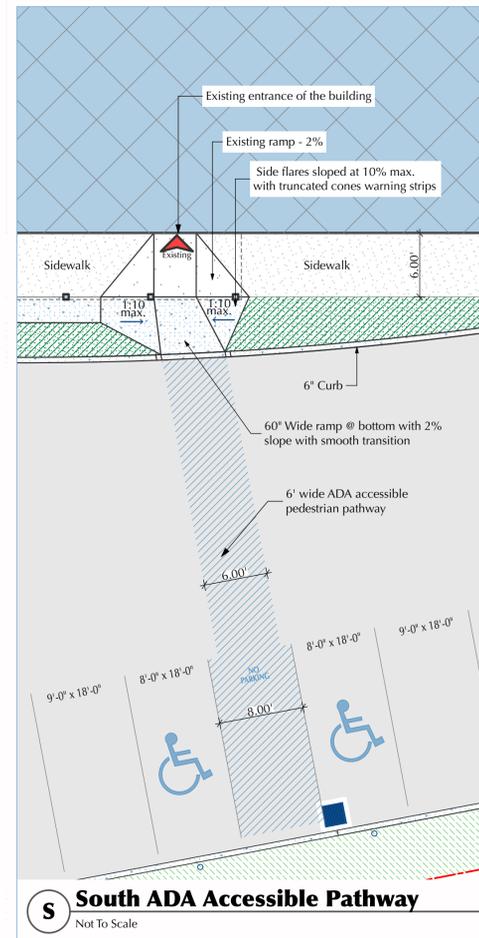
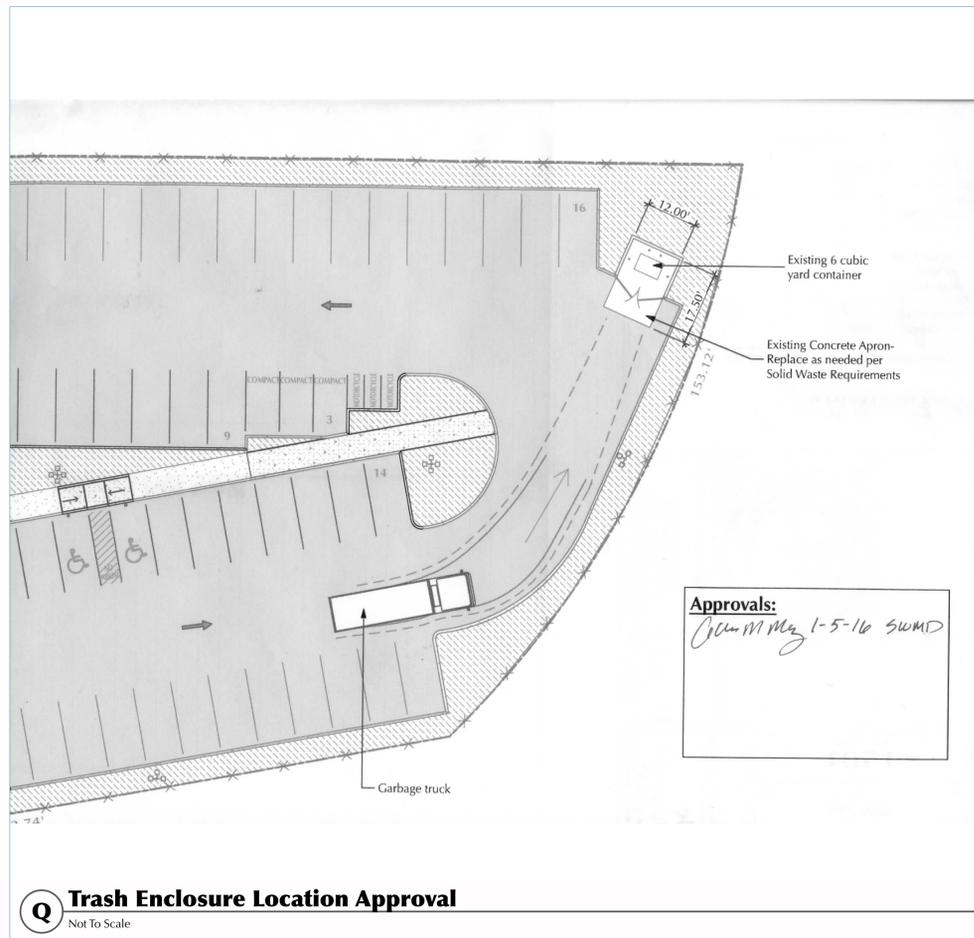
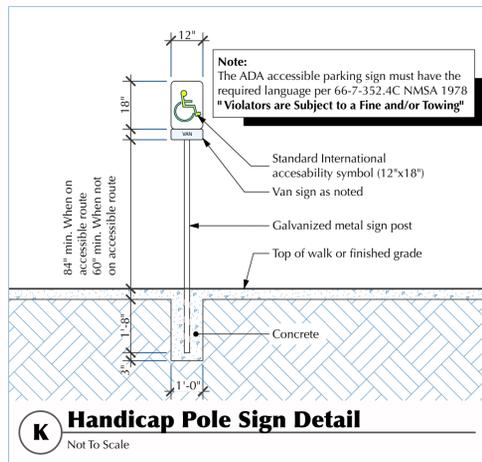
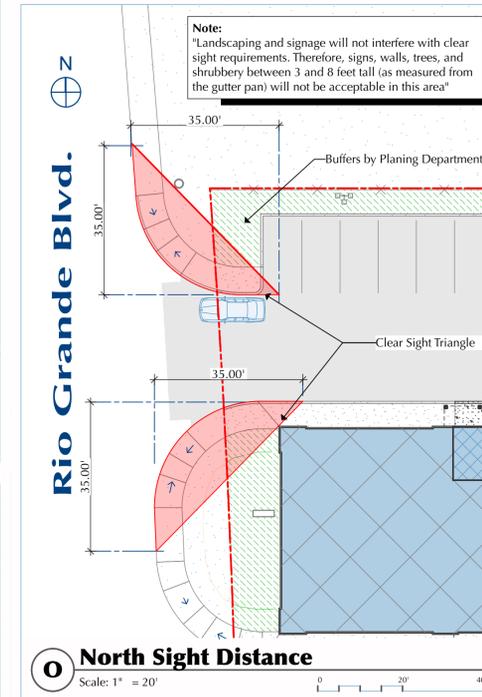
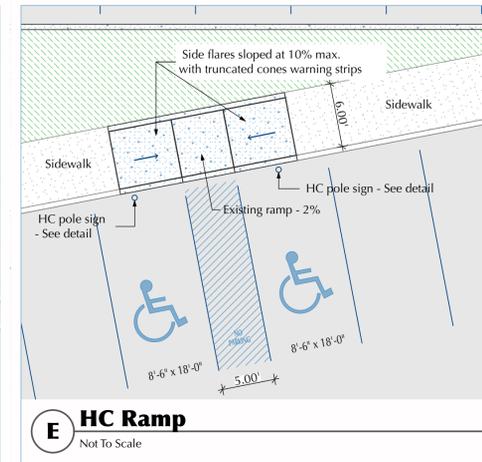
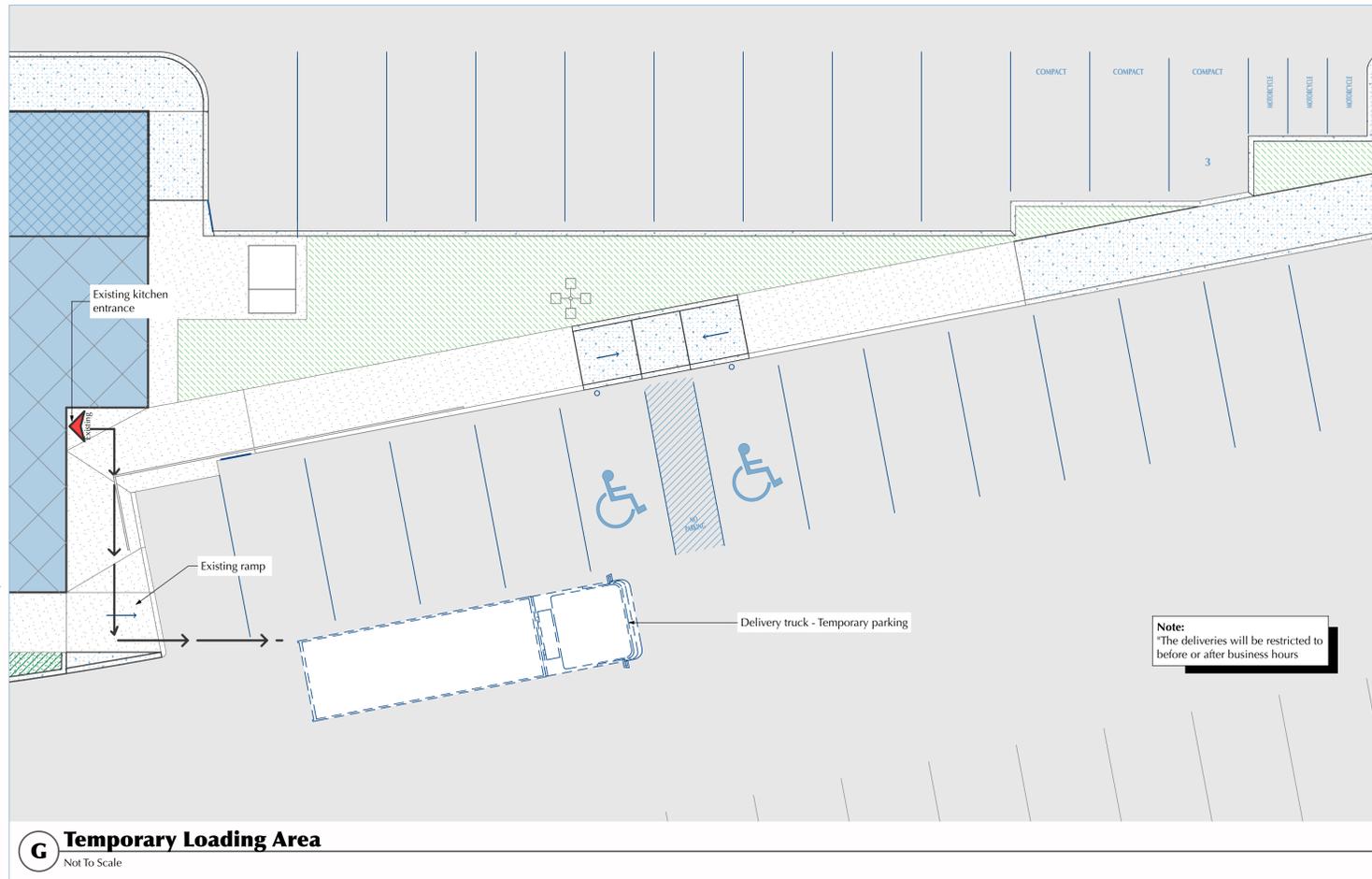
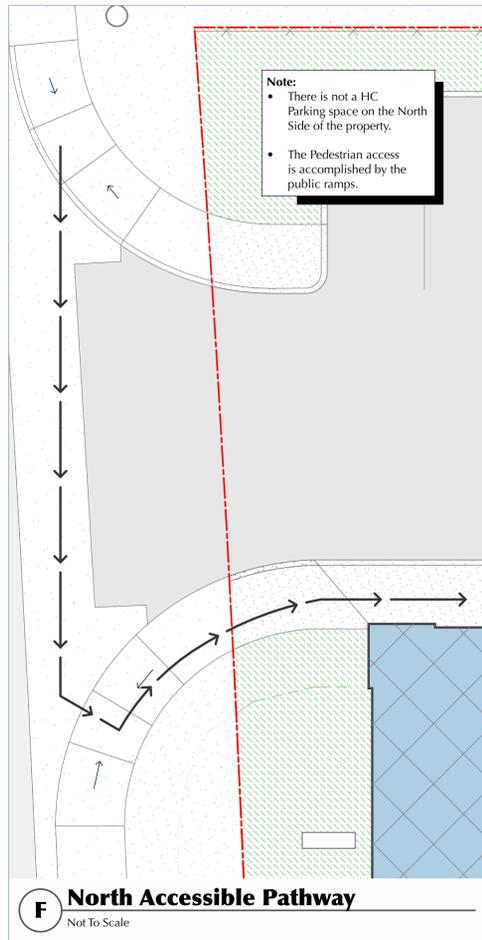
TCL Plan

SDP

1050 Rio Grande
1050 Rio Grande NW
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SHEET
SDP-7

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City Of Albuquerque

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STATE OF NEW MEXICO
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TCL Details

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SHEET
SDP-8

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