

# CITY OF ALBUQUERQUE



February 6, 2017

James Lewis R.A.  
James C Lewis  
904 Princeton SE  
Albuquerque, NM 87106

**Re: The Range Café, 1050 Rio Grande NW**  
**Request for Certificate of Occupancy- Transportation Development**  
Engineer's/Architect's Stamp dated 03-11-16 (H13-D029)  
Certification dated 02-02-17

Dear Mr. Lewis

Based upon the information provided in your submittal received 02-02-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3630.

Albuquerque

Sincerely,

New Mexico 87103

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

www.cabq.gov

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** 1050 Rio Grande NW **Building Permit #:** 00072 **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** Tr a plat of lands of Harry J Garcia Tr a middle Rio Grande Conservancy District Property map #35 cont 1.1273 ac/ml.

**City Address:** 1050 Rio Grande NW, Albuquerque, NM 87104

**Engineering Firm:** Mark Goodwin and Associates, PA **Contact:** Mark Goodwin

**Address:** 8916 Adams ST NW, Albuquerque, NM 87113-2707

**Phone#:** 505-828-2200 **Fax#:** \_\_\_\_\_ **E-mail:** mark@goodwinengineers.com

**Owner:** G3 Investors, LLC **Contact:** Edward Garcia

**Address:** P.O.Box 26207, Albuquerque, NM 87125

**Phone#:** 505-260-5188 **Fax#:** \_\_\_\_\_ **E-mail:** egarcia@garciacars.com

**Architect:** James C Lewis **Contact:** James C Lewis

**Address:** 904 Princeton SE, Albuquerque, NM 87106

**Phone#:** 505-247-1529 **Fax#:** \_\_\_\_\_ **E-mail:** gdi@mac.com

**Other Contact:** Lifeline Building Science, LLC **Contact:** Vince DiGregory

**Address:** P.O.Box 14616

**Phone#:** 505-263-1874 **Fax#:** \_\_\_\_\_ **E-mail:** vincedigregory@gmail.com

Check all that Apply:

**DEPARTMENT:**

☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 02/02/17 By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# James C Lewis Architect

## TRAFFIC CERTIFICATION

I, **James C Lewis**, NMRA **979**, OF THE FIRM **General Design Inc.**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **3-11-16**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **The Staff** OF THE FIRM. **GDi**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **1-12-17** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **A Certificate of Occupancy**.

*See as-built drawing for minor changes*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



\_\_\_\_\_  
Signature of Engineer or Architect

02-02-17

\_\_\_\_\_  
Date





ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signature: *James C. Lewis* Date: 3/23/16

A Detail Not Used

B Detail Not Used

C Stand-up Curb Detail

Scale: 3/4" = 1'-0"

D Turn-down Curb Detail

Scale: 3/4" = 1'-0"

Parking Calculations

PARKING

Required	256 occupants @ 1:3 =	86 spaces	Full liquor license
	Bus Discount	6 spaces	
	<b>Total Required</b>	<b>77 spaces</b>	
Provided	Regular spaces	78 spaces	
	Small car	3 spaces	
	Accessible spaces	4 spaces	
	<b>Subtotal</b>	<b>85 spaces</b>	Before the access is built
	Deduct for future access	-3 spaces	After the access is built
	<b>Total Provided</b>	<b>82 spaces</b>	Final site configuration

BICYCLE PARKING

Required None

Provided 3

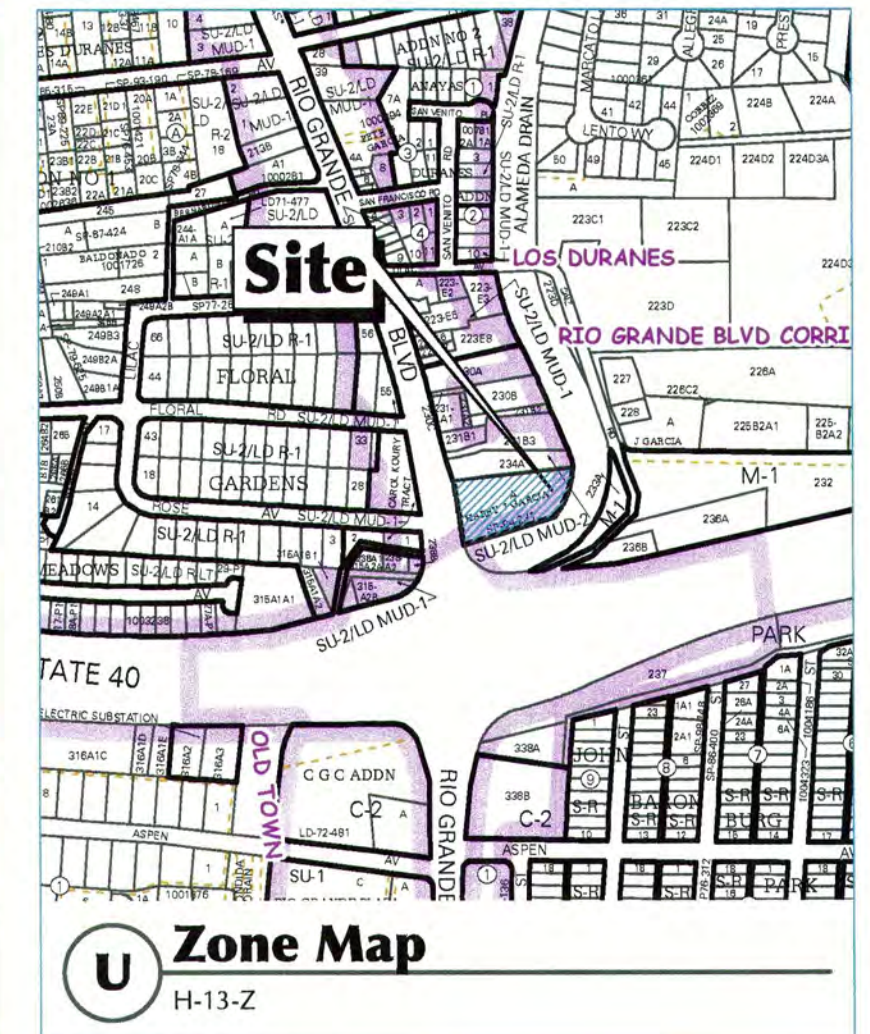
MOTORCYCLE PARKING

Required 3

Provided 3

Keyed Notes

- Existing Property line
- Existing COA public ramps - See detail on sheet 'P' on sheet SDP-8 TCL Details
- Existing COA public sidewalk and curb - See detail on 'P' on sheet SDP-8 TCL Details
- Existing 6" curb shall remain - See details on sheet SDP-8 TCL Details
- Existing 6'-0" concrete sidewalk shall remain.
- Existing asphalt paving shall be replaced. Add 4" base coarse, 3" asphalt on driveways and 2" of asphalt on parking areas.
- Existing driveway pad shall remain
- Existing landscape shall remain
- Existing transformer shall remain
- Existing chain link fence
- Existing light fixtures shall remain
- Existing power pole shall remain
- Existing sign shall be removed. Not used
- Existing ramp for kitchen delivery shall remain
- Existing standard parking space (9'-0" x 18'-0") - repaint strips as needed
- Relocate existing parking spaces to this location (8'-9" x 18'-0" HC). These spaces shall be re-painted
- Relocate existing 5'-0" HC access aisle to this location. Access aisle shall be re-painted
- Temporary standard parking spaces shall be deleted/removed after the access drive with adjacent property is built
- Existing bicycle rack
- Existing concrete pad. Not used
- Existing grease trap shall remain
- Existing dumpster enclosure - See approved location on sheet SDP-9 TCL Details
- Existing building columns for existing portal
- Existing line of overhang above - Existing portal 235 SF
- Existing 3'-0" iron fence shall remain
- Existing building (Restaurant) 4,530 SF
- Existing entrance doors
- Existing pole sign re-built per Site Development Plan approved on 06/08/2000. Field verify exact location
- Existing spillway. See Grading and Drainage Plan to hold the first flush. See Grading and Drainage Plan
- Existing ramp no longer in use. Fill it up. Not used
- New 9'-0" x 18'-0" parking spaces
- New 4'-0" x 8'-0" motorcycle parking
- New 8'-0" x 18'-0" HC parking spaces with 8'-0" aisle (Van accessible aisle)
- New 8'-0" x 15'-0" Compact parking spaces
- New 8'-0" HC access aisle - 4" wide painted striping
- New 6'-0" pedestrian crossing ADA accessible pathway - 4" wide painted striping
- New handicap pole sign - See details on sheet SDP-9 TCL Details
- New 8'-9" x 18'-0" parking strips
- New line of overhang above - New portal 190 SF
- New building columns for new portal
- Set new storm drain - Connect to existing channel
- New Parking buffers per Rio Grande Corridor Plan 11.D.1 page 54 required by Planning Department- See Landscaping Plan
- New building addition 1,020 SF (Dining and Kitchen addition)
- New 6' min. concrete sidewalk per COA standard Drawing - (DWG 2415)
- New 6' concrete curb - See detail 'C' or detail 'D' on this sheet
- New concrete sidewalk to enlarge the existing sidewalk in this area per COA standard Drawing. Not used
- New entrance door
- New 8% pedestrian ramp with truncated cones warning strips - See detail on SDP-8 TCL Details
- New 8% pedestrian ramp with truncated cones warning strips - See detail on SDP-9 TCL Details
- Location of the demolished gas station canopy (6' x 24') Not used
- Turning radius for design delivery vehicle AASHTO Type 'WB-40'
- FUTURE connection to adjoining site, which will be built as the north site is developed; the three parking spaces are not counted in the final Parking Calculations.
- New landscape area
- New asphalt paving in this area. Add 4" base coarse, 3" asphalt on driveways and 2" of asphalt on parking areas
- New emergency exit door. New iron fence
- Note: Fuel tanks have been removed per NM Environmental Dept. requirements



Project Info

ADDRESS  
1050 Rio Grande NW Albuquerque  
New Mexico 87107

LEGAL DESCRIPTION

Tr a plat of lands of Harry J Garcia Tr a middle Rio Grande Conservancy District Property map #35 cont 1.1273 ac/ml.

LOT: A  
TRACT: 0000  
BLOCK: 0000  
SUBDIVISION: Garcia-Harry J

ZONE ATLAS PAGE: H-13  
UPC: 101305913015732301

PLANNING INFORMATION

LAND USE ZONING: M-1

PROJECT NUMBER <b>1501</b>	SDP	1050 Rio Grande 1050 Rio Grande NW Albuquerque • New Mexico • 87107
ISSUE DATE 03-11-16 REVISIONS Δ		
1	SHEET <b>SDP-7</b> 7 OF 9	TCL Plan As Built
2		
3		
4		
5		
6		
7		

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P TCL Plan

Scale: 1" = 20'

Alameda Drain

Note:  
All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per COA standard drawing DWG 2415

- 58 Guardrail for pond area
- 59 Wheel stop (Typ.)
- 60 New 6% pedestrian ramp
- 61 New 6" curb around existing pole sign