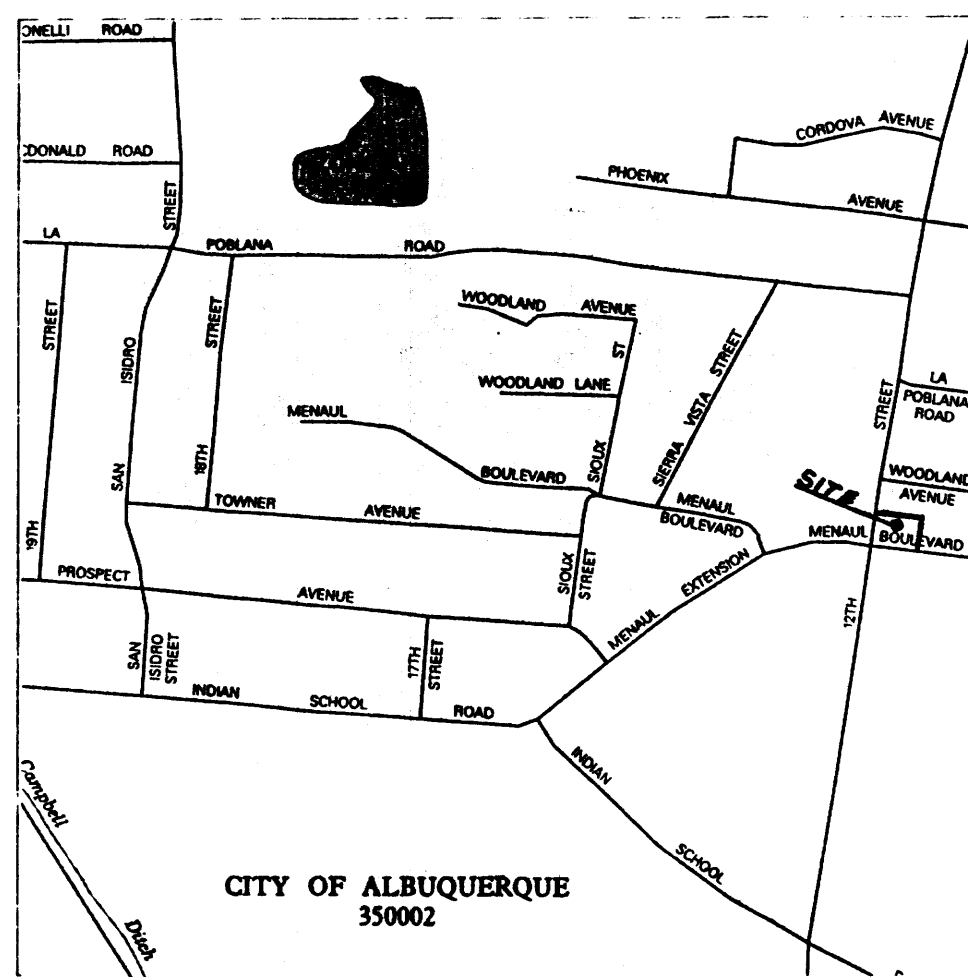


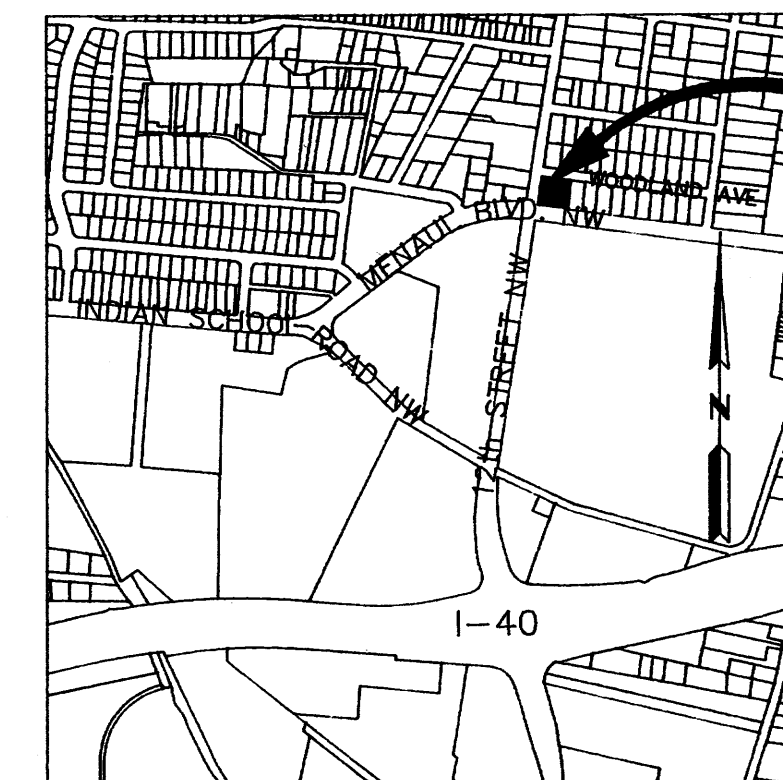
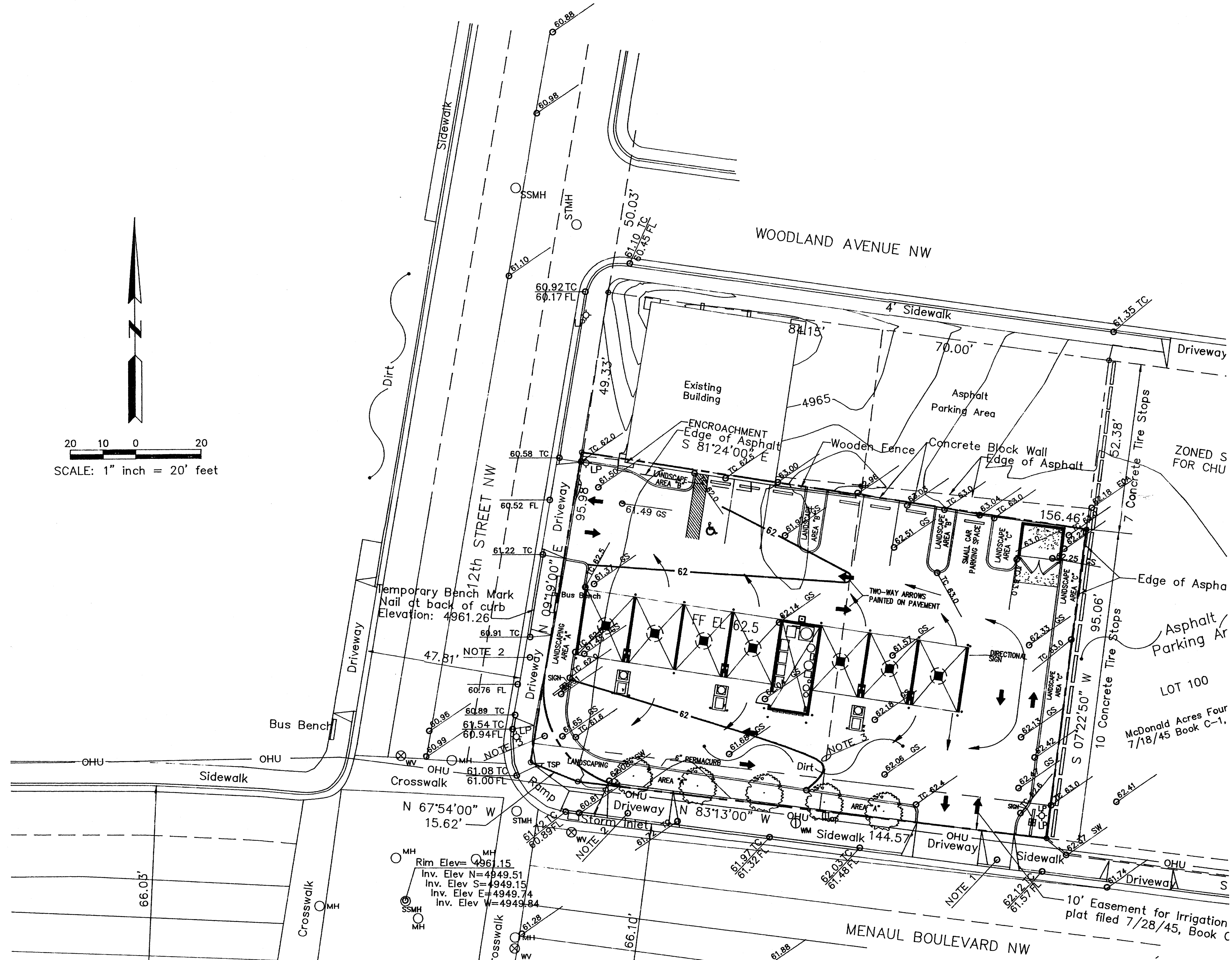
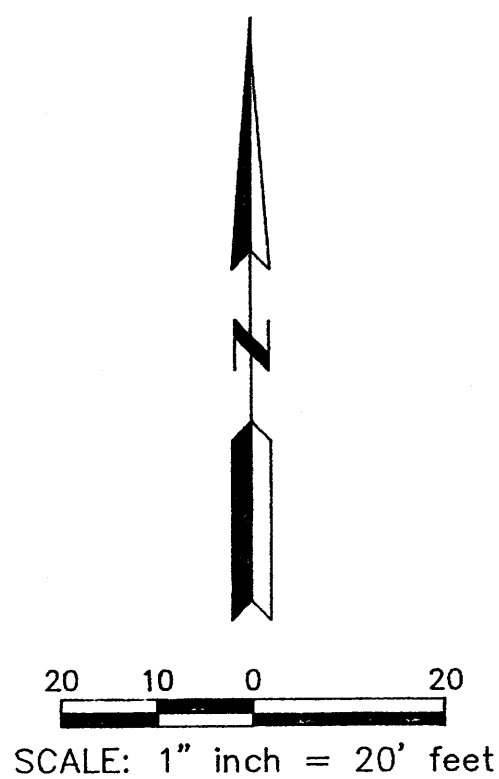
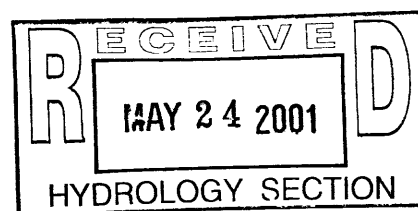
PROJECT LOCATION



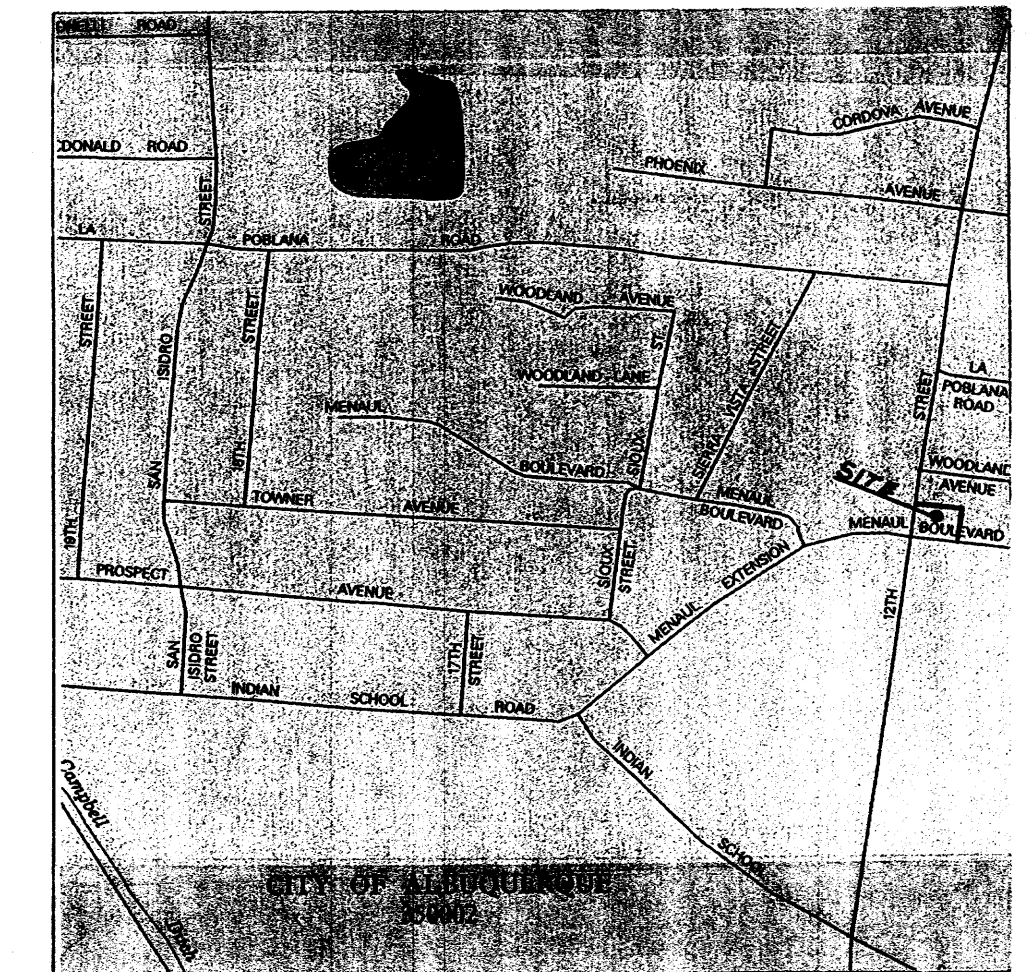
LEGEND	
○ MH	UNIDENTIFIED MANHOLE
○ STMH	STORM MANHOLE
○ SSMH	SANITARY MANHOLE
⊕ up	UTILITY POLE
⊕ FH	FIRE HYDRANT
⊕ wv	WATER VALVE
⊕ LP	LAMP POST
⊕ TSP	TRAFFIC SIGNAL POST
●	BOLLARD
—	CONCRETE TIRE STOP
○	DECIDUOUS TREE
61.15 TC 60.57 FL	SPOT ELEVATIONS
—	BUILDING
---	PROPERTY LINE
---	EASEMENT LINE
— OHU —	OVERHEAD UTILITY LINE
---	EXIST. CONTOUR LINE W/ANNOTATION
---	PROP. CONTOUR LINE W/ANNOTATION

DISCUSSION:

THIS TRACT OF LAND ENCOMPASSES 0.353 AC. (15,395 S.F.) AND IS ON THE NE CORNER OF MENAUL BLVD. AND 12TH STREET, N.W. IT IS AN INFILL PROJECT HAD HAS BEEN USED PREVIOUSLY FOR A C-1 ZONED USE. IT HAS A WATER METER BOX AND FOUR CURB CUTS, IS RELATIVELY FLAT, AND IS COMPRISED OF HARD PACKED TREATMENT C SOIL. IN ACCORDANCE WITH CHAPTER 22.2 OF THE DPM, THE EXISTING RUNOFF (ZONE2) IS $Q_{100} = (3.14)CFS/AC. = (0.353)AC. = 1.11 CFS$. THE SITE PLAN SHOWS 13,170 S.F. IMPERVIOUS AREA AND 2,225 S.F. OF LANDSCAPING. THE DEVELOPED RUNOFF WILL BE $Q_{100} = (2.28) (2225/43560) + (4.7) (13170/43560) = 0.12 + 1.42 = 1.54 CFS$



VICINITY MAP H-13-Z
LEGAL DESCRIPTION: LOTS 101 & 102,
McDONALD ACRES SUBDIVISION
SCALE: 1" inch = 1000' feet



FLOOD INSURANCE RATE MAP
PANEL NO. 331 OF 825

DISCUSSION:

THIS TRACT OF LAND ENCOMPASSES 0.353 AC. (15,395 S.F.) AND IS ON THE NE CORNER OF MENAUL BLVD. AND 12th STREET, N.W. IT IS AN INFILL PROJECT HAD HAS BEEN USED PREVIOUSLY FOR A C-1 ZONED USE. IT HAS A WATER METER BOX AND FOUR CURB CUTS, IS RELATIVELY FLAT, AND IS COMPRISED OF HARD PACKED TREATMENT C SOIL. IN ACCORDANCE WITH CHAPTER 22.2 OF THE DPM, THE EXISTING RUNOFF (ZONE2) IS $Q_{100} = (3.14)CFS/AC. = (0.353)AC. = 1.11 CFS$. THE SITE PLAN SHOWS 12,918 S.F. IMPERVIOUS AREA AND 2,477 S.F. OF LANDSCAPING. THE DEVELOPED RUNOFF WILL BE $Q_{100} = (2.28) (2477/43560) + (4.7) (12,918/43560) = 0.12 + 1.42 = 1.54 CFS$. THE INCREASE IN RUNOFF AS A RESULT OF THIS DEVELOPMENT IS 0.43 CFS.

THIS LOCATION IS NOT WITHIN A FEMA DESIGNATED 100 YEAR FLOODPLAIN; HOWEVER, IT IS IN THE 500 YEAR FLOOD PLAIN. IN ORDER TO ENSURE POSITIVE DRAINAGE, THE FINISH FLOOR ELEVATION IS APPROXIMATELY ONE FOOT ABOVE THE EXISTING ELEVATION. THERE ARE THREE SINGLE C INLETS AT THE INTERSECTION OF MENAUL AND 12th AS NOTED ON THIS PLAN; THE IS ONE EACH SIDE OF MENAUL EAST OF 12th AT THE CURB RETURN AND ONE ON THE WEST SIDE OF 12th SOUTH OF MENAUL AT THE CURB RETURN.

THE EXISTING INFRASTRUCTURE C & G AND SIDEWALK ARE CRACKED AND IN DISREPAIR IN SOME PLACES. TWO OF THE FOUR CURB CUTS ARE TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER, AND SIDEWALKS. ONE EXISTING ENTRANCE IS TO BE WIDENED FOR TWO WAY ACCESS. THIS IS AT THE EAST SIDE OF THE TRACT AND THE NORTH SIDE OF MENAUL.

NOTES:

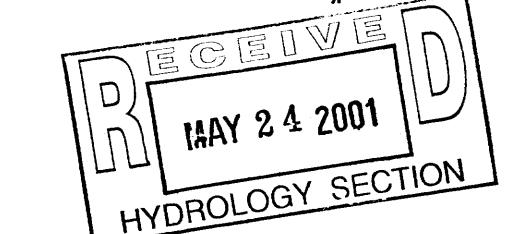
1. WIDEN CURB CUT FROM 26' TO 36' @ E. SIDE OF EXISTING CURB PER STD. DWG. 2425.
2. REMOVE TWO (2) INDICATED CURB CUTS AND REPLACE W/ STD. C & G AND SIDEWALK, MATCHING EXISTING ELS. @ EACH END OF REMOVED CONC. PER STD. DWG 2415, 2430, AND 2432.
3. 30' R TO BE DEDICATED TO C OF A FOR R-O-W WITH A REPLAT AND LOTS 101 AND 102 WILL BE COMBINED INTO ONE TRACT.

LEGEND

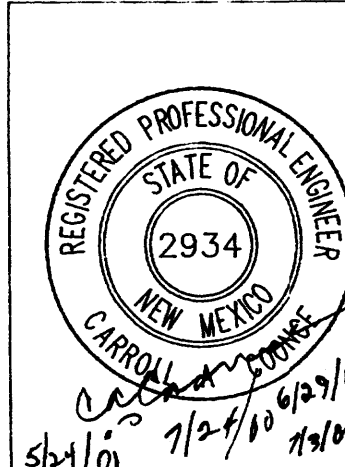
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⬠	DECIDUOUS TREE
61.15 TC 60.57 FL	SPOT ELEVATIONS
⬠	BUILDING
---	PROPERTY LINE
---	EASEMENT LINE
OHU	OVERHEAD UTILITY LINE
5585	EXIST. CONTOUR LINE W/ANNOTATION
85	PROP. CONTOUR LINE W/ANNOTATION

ON May 18, 2001 THIS SITE WAS INSPECTED AND FOUND TO BE IN SUBSTANTIAL COMPLIANCE WITH THIS APPROVED DRAINAGE AND GRADING PLAN.

C.A. COONCE
N.M.P.E. # 2934
May 24, 2001
DATE



H13/D042

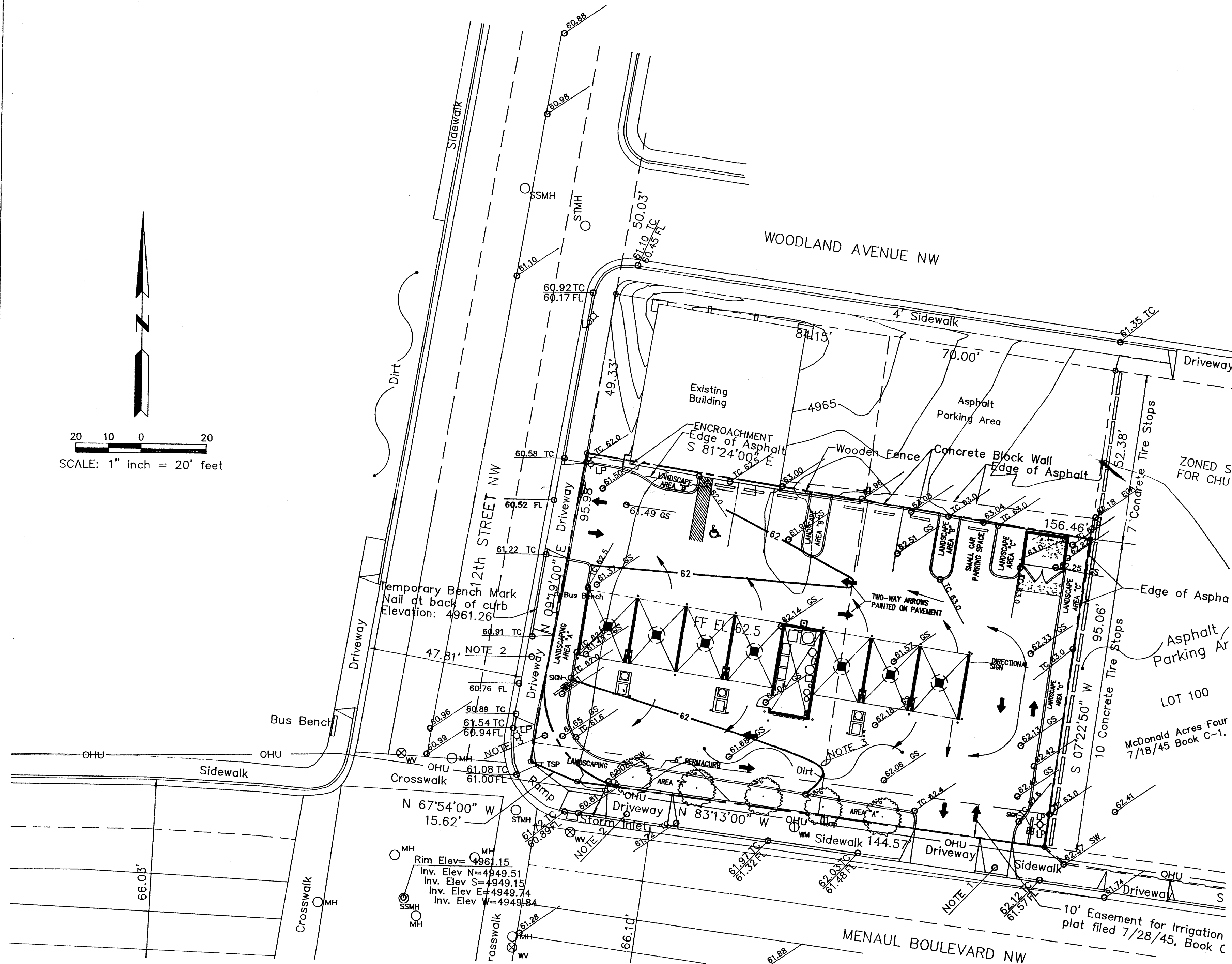
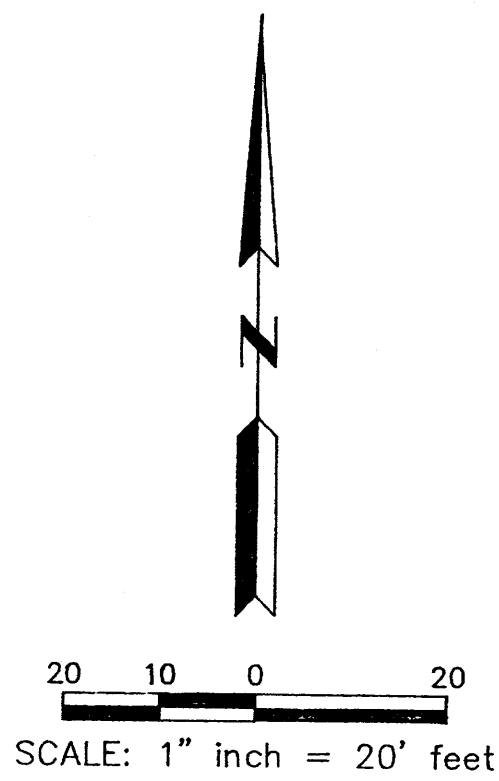
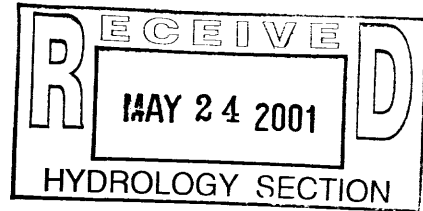


C.A. COONCE & ASSOC., INC.
ENVIRONMENTAL, WATER RESOURCES, & SANITARY CONSULTING ENGINEERS
12324 PINERIDGE N.E. ALBUQUERQUE, N.M. 87112
PH (505) 298-1058 FAX (505) 298-0478

TITLE ALL WASHED UP- CAR WASH
PROJECT 1125 1111 MENAUL N.W.

DATE	06/28/00	REVISED	07/24/00	08/24/01	
DRAWN	ISC	CAR	07/03/02		
CHECKED	CAR				

SHEET 1 of 1



VICINITY MAP H-13-Z
LEGAL DESCRIPTION: LOTS 101 & 102,
McDONALD ACRES SUBDIVISION

SCALE: 1" inch = 1000' feet



FLOOD INSURANCE RATE MAP
PANEL NO. 331 OF 825

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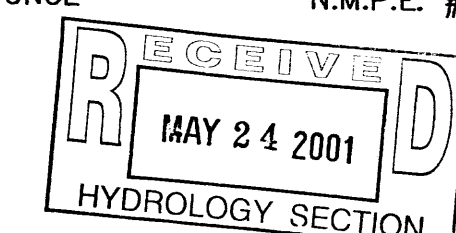
LEGEND

○ MH	UNIDENTIFIED MANHOLE
○ STMH	STORM MANHOLE
○ SSMH	SANITARY MANHOLE
Φ up	UTILITY POLE
Φ FH	FIRE HYDRANT
⊗ WV	WATER VALVE
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C. A. COONCE N.M.P.E. # 2934

May 24, 2001
DATE



H13/D042

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	PH (505) 298-1056 FAX (505) 298-0478	
TITLE	ALL WASHED UP- CAR WASH	
PROJECT	1111 MENAUL N.W.	
DATE	06/28/00	REVISED
DRAWN	LSC	07/24/00
CHECKED	CAB	07/24/00