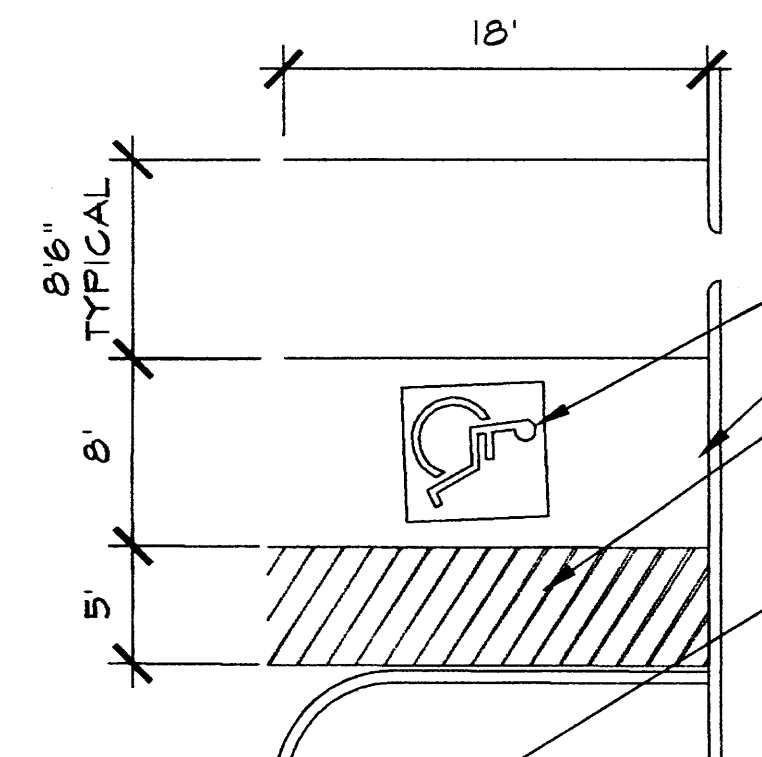


INTERSTATE HWY. 40

CONC. JERSEY BARRIER (SOLID-NO THRU DRAINAGE)

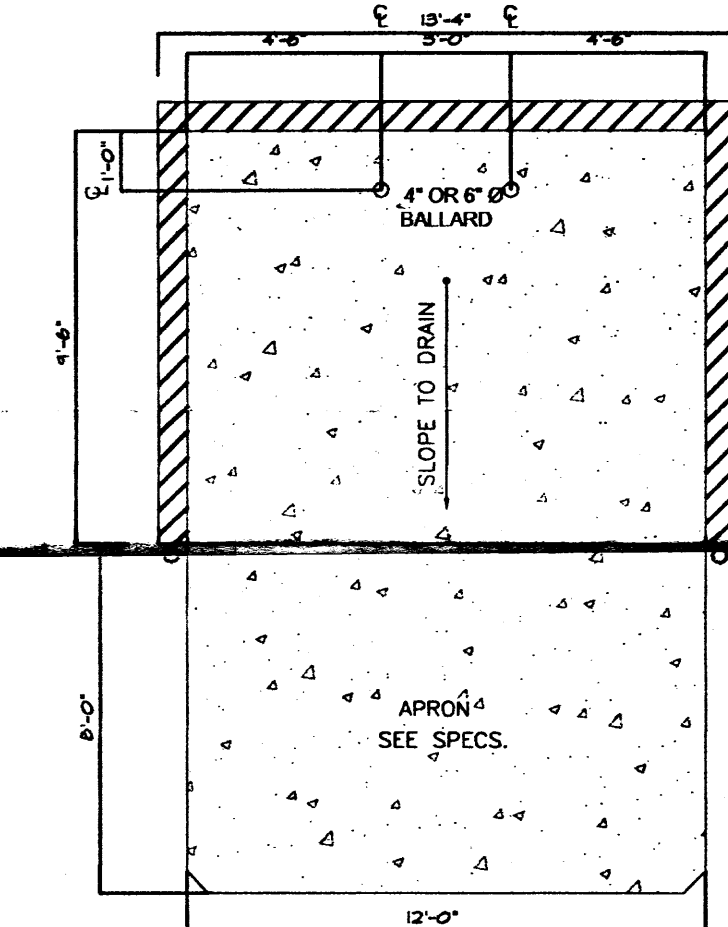
S47°49'06"E
8.16'
T.B.M. #2
TOP. SOUTH CORNER
OF R/W RAIL
ELEV. = 4963.44

Δ=4°59'47"
R=3694.72'
L=322.18'
CH=N85°32'47"E
322.08'



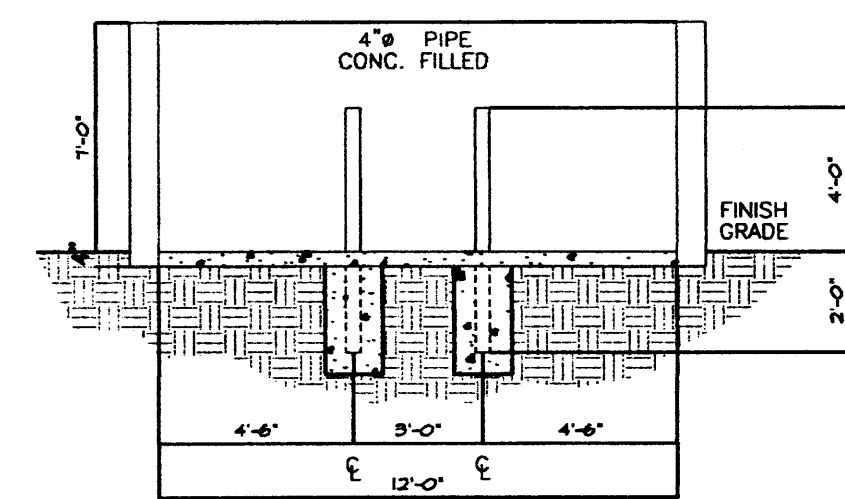
PARKING SPACE DETAIL (TYP.)

SCALE: 1/8" = 1'-0"



REFUSE ENCLOSURE PLAN

NOT TO SCALE



REFUSE ENCLOSURE PLAN

NOT TO SCALE

- NOTES:
- DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND ARE THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH DESIGN OF ENCLOSURE.
 - 4" O.D. CONCRETE FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2".

SITE PLAN (PHASE I & 2)

SCALE: 1" = 50'

SPECIAL NOTE:

THIS IS A ITERIM SITE PLAN. THE SITE AREA MAY ENCOMPASS SOME ADDITIONAL AREAS TO THE SOUTH AND WEST. AT THIS TIME THESE ADDITIONAL AREAS ARE IN DISPUTE.

LEGAL DESCRIPTION:

Tract 2-A and Abandoned Mill Pond Road N.W. Land of Forest Products Co. Sec 7, T 10 N R 3 E, N.M.P.M. City of Albuquerque

SHEET INDEX

- A-1 SITE / LANDSCAPE PLAN
- A-1.1 PHASE I ENLARGED
- C-1 GRADING & DRAINAGE PLAN
- C-2 SITE DETAILS
- S-1 FOUNDATION PLAN
- S-2 FRAMING PLAN
- A-2 FLOOR PLAN
- A-3 ROOF PLAN
- A-4 ELEVATIONS
- A-5 SECTIONS
- A-6 CANOPY DETAILS/WALL SECTION
- M-1 MECHANICAL PLAN
- E-1 ELECTRICAL PLAN

PARKING REQUIREMENTS (CALC'S)

NET OFFICE/ SERVICE AREA: 15120 SF
15120 / 200 = 76
76 / 2 = 38
= 38 REQUIRED PARKING SPACES : Phase 1
= 38 REQUIRED PARKING SPACES : Phase 2
NET WAREHOUSE: Phase 1 50400 SF
Phase 2 50400 SF

50400 / 2000 = 26
= 26 REQUIRED PARKING SPACES : Phase 1
= 26 REQUIRED PARKING SPACES : Phase 2
= 64 TOTAL REQUIRED PARKING SPACES per Phase

PARKING PROVIDED:

CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:	Phase 1	Phase 2
TRAILER SPACES	-- TRAILERS	17 TRAILERS
HANDICAPPED	6 CARS	4 CARS
REGULAR AND COMPACT	83 CARS	68 CARS
TOTAL ON SITE PARKING PROVIDED	89 CARS	89 CARS
TOTAL REQUIRED PARKING:	64 CARS	64 CARS

TYP. ASPHALTIC CONCRETE LTD. AREAS

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
AUTOMOBILE PARKING	2"	4"
AUTOMOBILE DRIVEWAYS	2"	4"
AREAS SUBJECTED TO SEMI-TRUCKS	3"	6"

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.

UNIFORM BUILDING CODE, 1947

ANSI

GUIDELINES, 1998

NFPA, 1997/ UFC, 1997

II. BUILDING FLOOR AREA (UBC SEC. 504)

BUILDING 1 WAREHOUSE(PHASE 1)	50400 SF
BUILDING 2 WAREHOUSE(PHASE 2)	50400 SF
TOTAL BUILDING AREA (PHASE I + PHASE 2)	100,800 SF

III. OCCUPANCY GROUP (UBC TABLE 5A)

OFFICE B-SPRINKLED
WAREHOUSE SI-SPRINKLED

IV. EXTERIOR WALLS AND OPENINGS

UBC TABLE 5A

V. BUILDING HEIGHT

BUILDING 1 - ONE STORY 22'-0"
BUILDING 2 - ONE STORY 22'-0"

VI. TYPE OF CONSTRUCTION

UBC TABLE 5A: OFFICE-TYPE V-N
WAREHOUSE-TYPE V-N

VII. BASIC ALLOWABLE FLOOR AREA

UBC TABLE 5B: OFFICE-B-8,000 S.F.

WAREHOUSE-SI-8,000 S.F.

4 SIDE SEPARATION OF MIN. 60' & SPRINKLED

ALLOWABLE UNLIMITED

VIII. FIRE RESISTIVE REQUIREMENTS

UBC TABLE 6-A: TYPE V-N-SPRINKLED

IX. OCCUPANT LOAD

UBC TABLE 10-A

X. EXIT REQUIREMENTS

A. NUMBER OF EXITS: UBC TABLE 10-A
B. WIDTH: UBC 1003.2.3

XI. SEISMIC ZONE: 2B

XII. WIND SPEED: 75 MPH

XIII. EXPOSURE: C

XIV. SOIL BEARING CAP. [SOILS REP.] 2500 PSF

XV. ROOF LOAD(TOTAL) 40 PSF

UNIT A OCCUPANCY

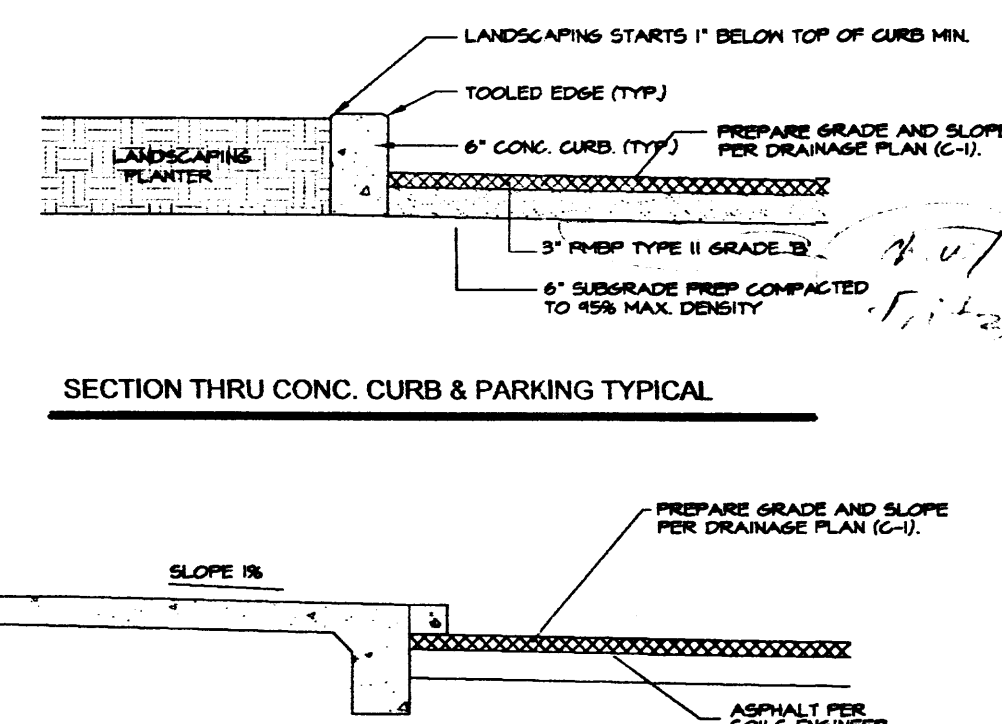
OFFICE	300 SQ. FT.	300/100 = 3
WAREHOUSE	1565 SQ. FT.	1565/500 = 3
		6

EXIT REQUIREMENTS 1 REQUIRED

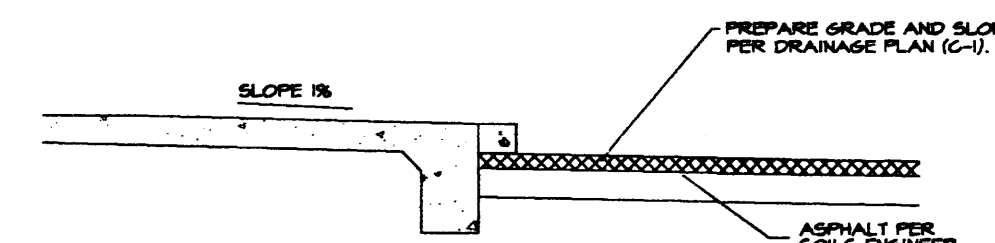
TOILET REQUIREMENTS 1 W.C. & 1 LAVATORY

SITE NOTES

- THE SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: 1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY C.O. IN ORDER TO CORRECT UNAPPROVED WORK, AND 2) INCREASE IN CONST. COSTS TO RESPONSIBLE PARTIES.
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION AND BEFORE TEMP. C.O. WILL BE SCHEDULED.
- ALL PARKING SPACES ARE TYPICAL (8'-6" X 20') UNLESS OTHERWISE NOTED
- OWNER IS RESPONSIBLE TO VERIFY ALL DATA SUPPLIED BY SURVEYOR IN TERMS OF ALL EXISTING IMPROVEMENTS TO SUPPORT UTILITY SERVICES WITHIN UTILITY EASMENTS.



SECTION THRU CONC. CURB & PARKING TYPICAL

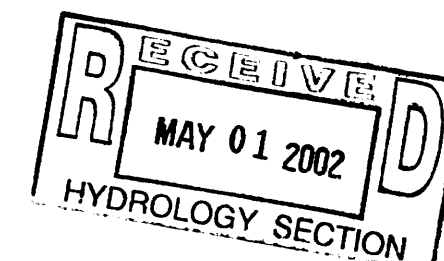


SECTION THRU SIDEWALK AND PARKING SPACE TYPICAL

APPROX. LOCATION OF GAS SERVICE

APPROX. LOCATION OF ELECTRIC SERVICE

"Typ." Can Be Used As Low as Curbing is shown clearly as at double line or other line work type as long as the line work is obviously different than all others.



KICC

DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

HLB
HAROLD L. BENNETT
P.E.

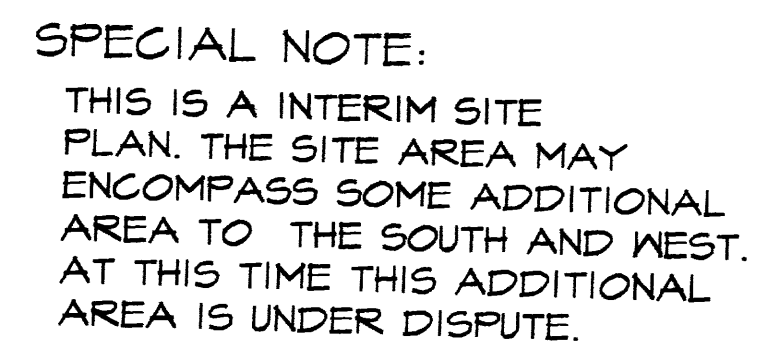
HAROLD L. BENNETT
REGISTERED PROFESSIONAL ENGINEER
No. 10774
Exp. 12/31/02

JOB TITLE:
CHRISTOPHER LTD. OFFICE WAREHOUSE
REVISION: 04.26.02 JON
FILE NAME: C-LTD-A-1
JOB NO.:
DATE: 7/26/01
SHEET TITLE: SITE PLAN
DRAWN BY: ACM

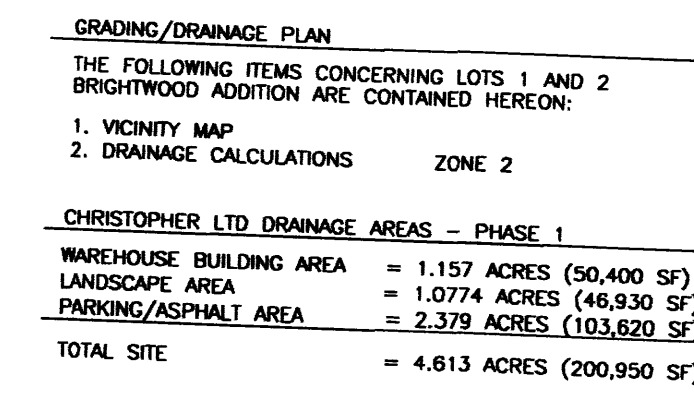
A=1



bill.buckley
LAS CRUCES, NM



LEGAL DESCRIPTION:



PRECIPITATION: P₃₆₀ = 2.35 IN.
P₁₄₄₀ = 2.75 IN.
P_{10DA} = 3.95 IN.

PHASE 2 NORTH (NORTH OF TRACKS) TOTAL AREA = 2.713 ACRES (118200 SF)
PHASE 2 SOUTH (SOUTH OF TRACKS) TOTAL AREA = 2.376 ACRES (103500 SF)

EXCESS PRECIPITATION:		PEAK DISCHARGE:
TREATMENT A	0.53 IN.	1.56 CFS/AC.
TREATMENT B	0.78 IN.	2.28 CFS/AC.
TREATMENT C	1.13 IN.	3.14 CFS/AC.
TREATMENT D	2.12 IN.	4.70 CFS/AC.

EXISTING CONDITIONS:	PROPOSED CONDITIONS PHASE 1:	PROPOSED CONDITIONS PHASE 2 IN PHASE 1:
TREATMENT A	AREA 9.73 AC.	AREA 5.125 AC.
TREATMENT B	0 AC.	0 AC.
TREATMENT C	0 AC.	0 AC.
TREATMENT D	0 AC.	0 AC.

EXISTING EXCESS PRECIPITATION PHASE 1 AREA ONLY:

WEIGHTED E = $(0.53 (4.62) + 0.78 (0.00) + 1.13 (0.00) + 2.12 (0.00)) / 4.62$ AC.

V100 - 360 = $.53 (4.62) / 12 = 0.204$ ACFT. = 8886 CFS

EXISTING PEAK DISCHARGE PHASE 1 AREA ONLY:

$0.100 \times 1.56 (4.62) + 2.28 (0.00) + 3.14 (0.00) + 4.70 (0.00)$
= 15.18 CFS

PROPOSED EXCESS PRECIPITATION - PHASE 1

WEIGHTED E = $[0.53 (1.007) + 0.78 (0.00) + 1.13 (0) + 2.12 (0.539)] \div 4 = 0.617$ ACFT

$= 1.725 \text{ M/acre}$

V100 - 360 = $0.505 (4.617) / 12 = 0.1947$ ACFT

V100 - 1440 = $0.19 + 4.617 \times (2.75 - 2.35) / 12 = 0.34$ ACFT = 14980 CFS

V100 - 1440 = $0.19 + 4.617 \times (3.85 - 2.35) / 12 = 0.767$ ACFT = 15416 CFS

RECHARGE PONDS:
POND "A" VOLUME = 18,087 CU. FT.
POND "B" VOLUME = 2,832.5 CU. FT. = 21.

BENCHMARK:

THE BASIS OF ELEVATIONS IS ACS BENCHMARK 24-J14, THE PUBLISHED ELEVATION OF WHICH IS 4958.355. SAID BENCHMARK IS LOCATED AT THE NORTH-EAST QUADRANT OF THE INTERSECTION OF FOURTH ST. NW AND CONSTITUTION NW.

EROSION CONTROL MEASURES

- REQUIREMENTS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
- 1. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMES, DIKES, SWALES, AND OTHERS BY TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY. A 15' SET BACK SHALL BE ESTABLISHED BETWEEN ALL REMENTION AREAS AND ADJACENT LINES.
 - 2. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
 - 3. DUE TO AN INCREASE IN LANDSCAPED AREA A SUBSTANTIAL REDUCTION IN RUNOFF IS EXPECTED, EXCEPT DURING AN UNUSUAL STORM OCCURRENCE.

EXISTING CONDITIONS

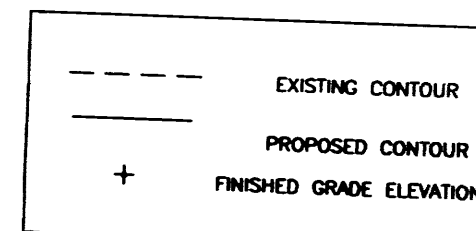
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 9.723 ACRES AND IS LOCATED WEST OF TWELFTH STREET. THE SITE WILL BE GRADED TO DRAIN INTO RECHARGE/RETENTION BASINS WITH 24" DIA. DRILLED DRAINS INTO SAND SUBSTRATA. ALL STORM WATER WILL BE MANAGED ON SITE, ACCORDING TO THE URBAN INSURANCE RATE MAP (ALL ASPHALT), DATED SEPTEMBER 20, 1996. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.

PROPOSED CONDITIONS

IS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL
CONSIST OF ONE WAREHOUSE BUILDING TOTALLING
040400 SQ. FT. ALONG WITH ASSOCIATED LANDSCAPED AREAS.
THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND
PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR EVENT. THE
PROCEDURE FOR 40 ACRES OF SMALLER BASINS, AS SET FORTH IN
THE REVISION OF SECTION 22.2.2 HYDROLOGY OF THE DEVELOPMENT
PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN
USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF
RUN-OFF GENERATED.

APPROVED FOR SITE PREPARATION AND GRADING

DATE _____



KfC

DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

CHRISTOPHER LTD

REVISION:	FILE NAME	JOB NO.	DATE
05.03.02	C-LTD C-1		
SHEET TITLE:			DRAWN
GRADING & DRAINAGE PLAN			MRK

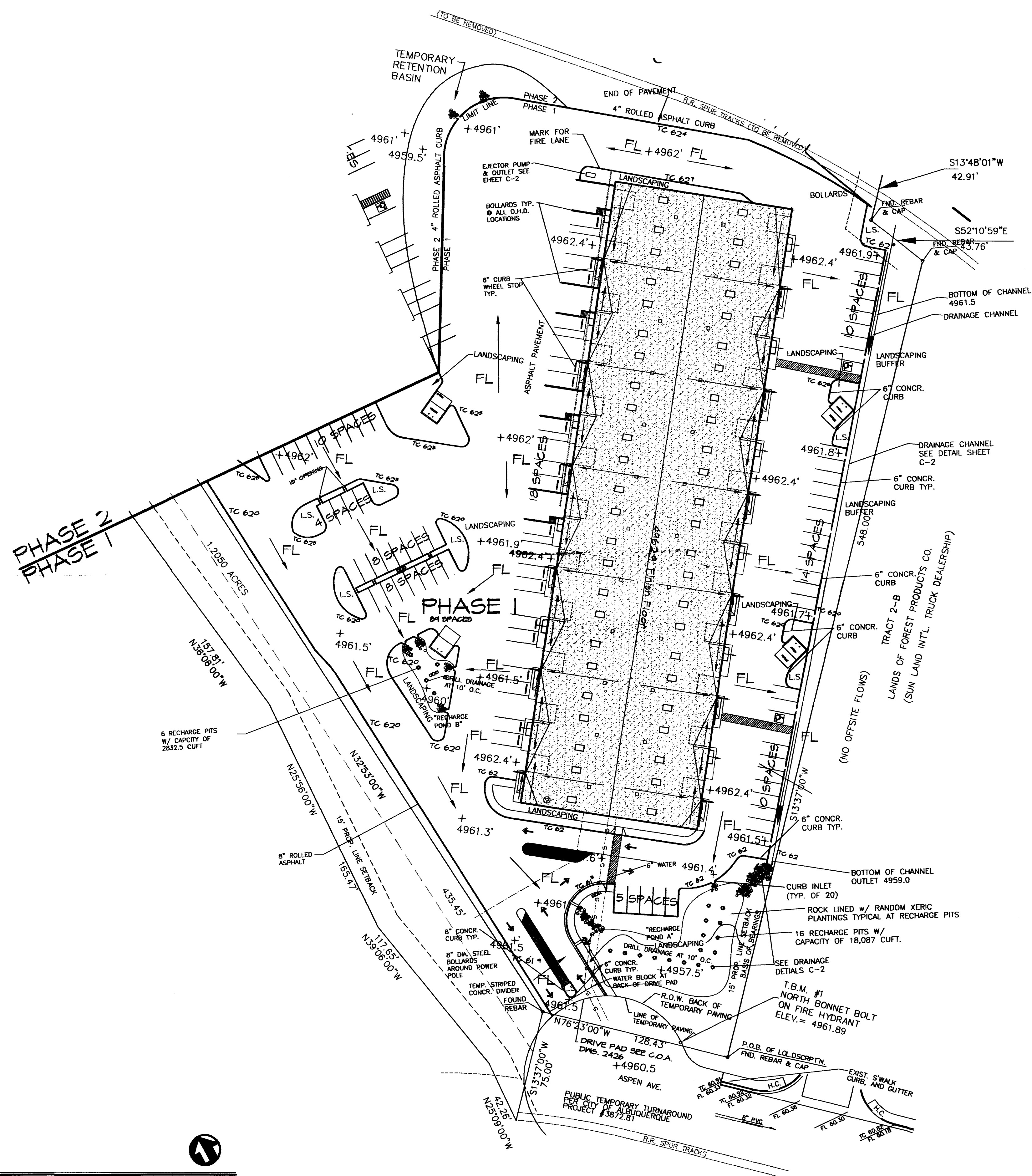
R LTD

2.	DAT
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MPK

$$C = 1$$

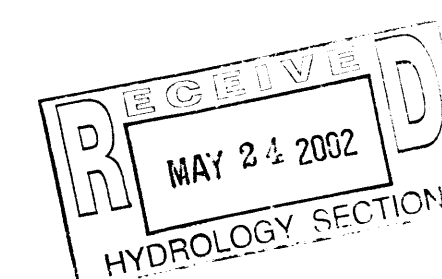


SPECIAL NOTE:

THIS IS A ITERIM SITE PLAN. THE SITE AREA MAY ENCOMPASS SOME ADDITIONAL AREAS TO THE SOUTH AND WEST. AT THIS TIME THESE ADDITIONAL AREAS ARE IN DISPUTE.

SITE PLAN - PHASE I

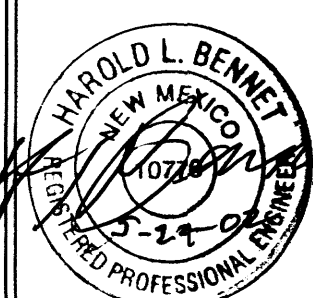
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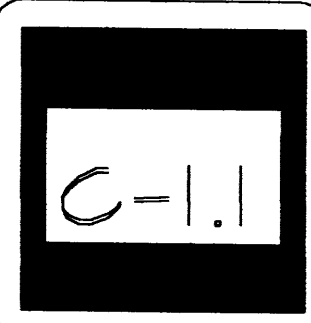
KCC

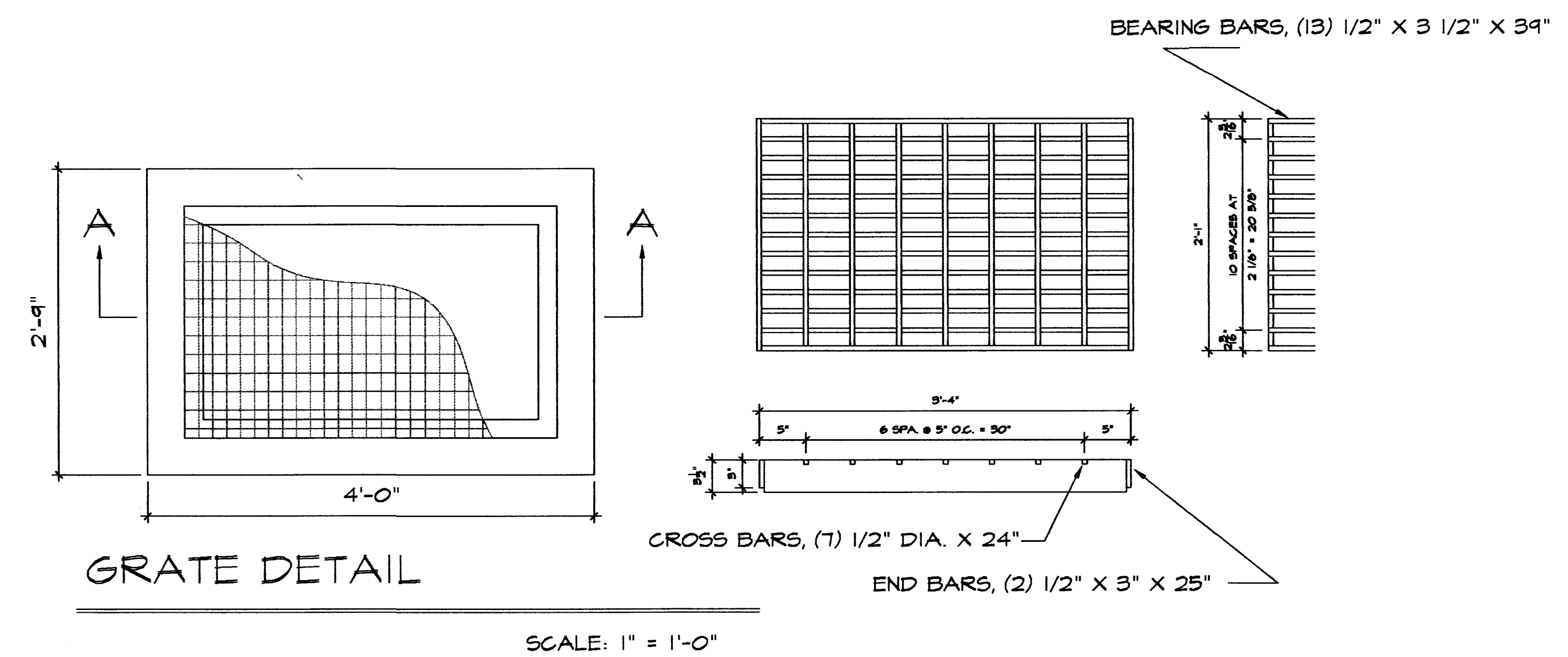
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

HLB
HAROLD L. BENNETT
P.E.


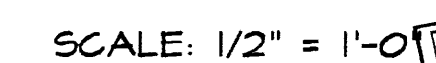
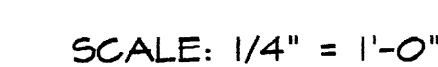
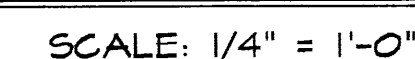
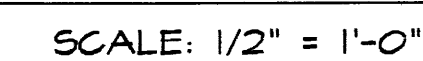
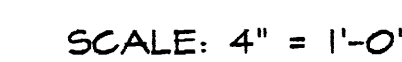
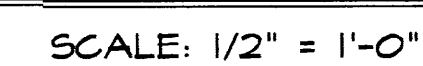
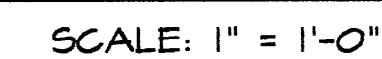
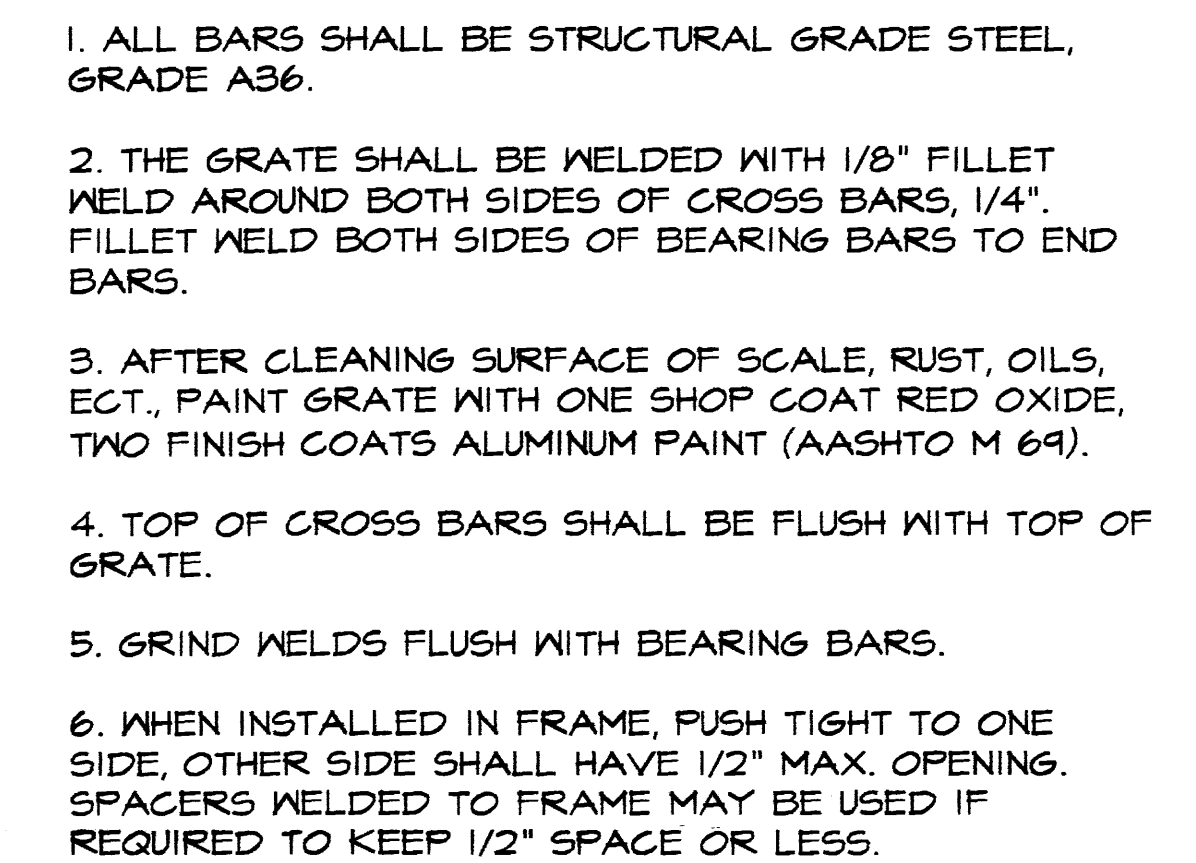


JOB TITLE: CHRISTOPHER LTD. OFFICE WAREHOUSE		
REVISION: 05-24-02	FILE NAME C-LTD-C11	JOB NO. DATE 04-24-02
SHEET TITLE: GRADINGS & DRAINAGE PHASE I ENLARGED		DRAWN BY ACM





SCALE: 1" = 1'-0"



INTERSTATE HWY. 40

RE: 1701 Aspen N.W./ PHASE 1

To Whom It May Concern,

I have reviewed the above described site and certify that as constructed it is in substantial compliance with the City of Albuquerque approved Grading & Drainage plan dated June 7, 2002.

Please see the attached sheet for the as-built grades.

Harold L. Bennett
N.M.P.E. 10775
10/10/02

P.E.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOTS 1 AND 2 BRIGHTWOOD ADDITION ARE CONTAINED HEREON:

- VICINITY MAP
- DRAINAGE CALCULATIONS

CHRISTOPHER LTD DRAINAGE AREAS - PHASE 1

WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)
LANDSCAPE AREA	= 1.074 ACRES (46,930 SF)
PARKING/ASPHALT AREA	= 2.379 ACRES (103,620 SF)
TOTAL SITE	= 4.613 ACRES (200,950 SF)

CHRISTOPHER LTD DRAINAGE AREAS - PHASE 2

WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)
LANDSCAPE AREA	= 1.180 ACRES (50,950 SF)
PARKING/ASPHALT AREA	= 2.369 ACRES (103,200 SF)
TOTAL SITE	= 5.125 ACRES (223,250 SF)

PRECIPITATION: P360 = 2.35 IN.
P1440 = 2.75 IN.
P100A = 3.55 IN.

PHASE 2 NORTH (NORTH OF TRACKS) TOTAL AREA = 2.713 ACRES (118,200 SF)
PHASE 2 SOUTH (SOUTH OF TRACKS) TOTAL AREA = 2.376 ACRES (103,500 SF)

EXCESS PRECIPITATION:	AREA	PEAK DISCHARGE:
TREATMENT A	0.53 IN.	1.56 CFS/AC.
TREATMENT B	0.78 IN.	2.28 CFS/AC.
TREATMENT C	1.13 IN.	3.14 CFS/AC.
TREATMENT D	2.12 IN.	4.70 CFS/AC.

EXISTING CONDITIONS: PROPOSED CONDITIONS PHASE 1: PROPOSED CONDITIONS PHASE 2 IN PHASE 1:

TREATMENT	EXISTING	PHASE 1	PHASE 2
TREATMENT A	9.73 AC.	1.077 AC.	5.125 AC.
TREATMENT B	0 AC.	0 AC.	0 AC.
TREATMENT C	0 AC.	0 AC.	0 AC.
TREATMENT D	0 AC.	3.53 AC.	0 AC.

EXISTING EXCESS PRECIPITATION PHASE 1 AREA ONLY:

WEIGHTED E = $[0.53 (4.62) + 0.78 (0.00) + 1.13 (0.00) + 2.12 (0.00)] / 4.62$ AC.
= .53 IN.
V100 -360 = .53 (4.62) / 12 = 0.204 ACFT. = 8886 CFS

EXISTING PEAK DISCHARGE PHASE 1 AREA ONLY:

Q100 = $1.56 (4.62) + 2.28 (0.00) + 3.14 (0.00) + 4.70 (0.00)$
= 15.18 CFS

PROPOSED EXCESS PRECIPITATION - PHASE 1

WEIGHTED E = $[0.53 (1.007) + 0.78 (0.00) + 1.13 (0) + 2.12 (3.530)] / 4.617$ AC.
= 1.723 IN. $(1.723 \text{ in.} / 12 \text{ in.} / \text{ft.}) = 0.1436 \text{ ft.}$
V100 -360 = $0.508 (4.617) / 12 = 0.044 \text{ ACFT.} = 8480 \text{ CFS}$
V100 -1440 = $0.19 + 4.617 \times (2.75 - 2.35) / 12 = 0.344 \text{ ACFT.} = 14980 \text{ CFS}$
V100 -1440 = $0.19 + 4.617 \times (3.55 - 2.35) / 12 = 0.767 \text{ ACFT.} = 33416 \text{ CFS}$

RECHARGE PONDS:

POND "A" VOLUME = 18,087 CU. FT.
POND "B" VOLUME = 2,832.5 CU. FT.

BENCHMARK:

THE BASIS OF ELEVATIONS IS ACS BENCH MARK 24-J14, THE PUBLISHED ELEVATION OF WHICH IS 4958.365. SAID BENCH MARK IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF FOURTH ST. NW AND CONSTITUTION NW.

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY. A 15' SET BACK SHALL BE ESTABLISHED BETWEEN ALL RETENTION AREAS AND PROPERTY LINES.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
 - DUE TO AN INCREASE IN LANDSCAPED AREA A SUBSTANTIAL REDUCTION IN RUNOFF IS EXPECTED, EXCEPT DURING AN UNUSUAL STORM OCCURRENCE.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 9.723 ACRES AND IS LOCATED WEST OF TWELFTH STREET. THE SITE WILL BE GRADED TO DRAIN INTO RECHARGE/RETENTION BASINS WITH 24" DIA. DRILLED DRAINS INTO SAND SUBSTRATA. ALL STORM WATER WILL BE MANAGED ON SITE, ACCORDING TO THE FLOOD INSURANCE RATE MAP (ALL ASPHALT), DATED SEPTEMBER 20, 1995. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF ONE WAREHOUSE BUILDING, TOTALING 50,400 SQ. FT. ALONG WITH ASSOCIATED LANDSCAPED AREAS. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR EVENT. THE PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
+	FINISHED GRADE ELEVATION

5-24-02

KICC

DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: CHRISTOPHER LTD.

REVISION:	FILE NAME	JOB NO.	DATE
06.07.02	C-1.D	C-1	5/3/02
SHEET TITLE:	GRADING & DRAINAGE PLAN	DRAWN BY:	MPK

HLB
HAROLD L. BENNETT
P.E.

HAROLD L. BENNETT
N.M.P.E. 10775
5/3/02

RECEIVED
FEB 11 2004
HYDROLOGY SECTION

C-1

$\Delta = 459'47"$
 $R = 3694.72'$
 $L = 322.18'$
 $CH = N85'32'47"E$
322.08

NOTE: PROVIDE DRAINAGE RECHARGE PITS AS REQUIRED WITHIN THE PHASE 2 BOUNDARY DURING PHASE 1 DEVELOPMENT.

20' PUBLIC SANITARY SEWER EIGHT (GRANTED BY THIS PLOT)

SEE DRAINAGE SECTION DETAILS, C-2

SEE TYP. DOCK SUMP PUMP DETAILS, C-2

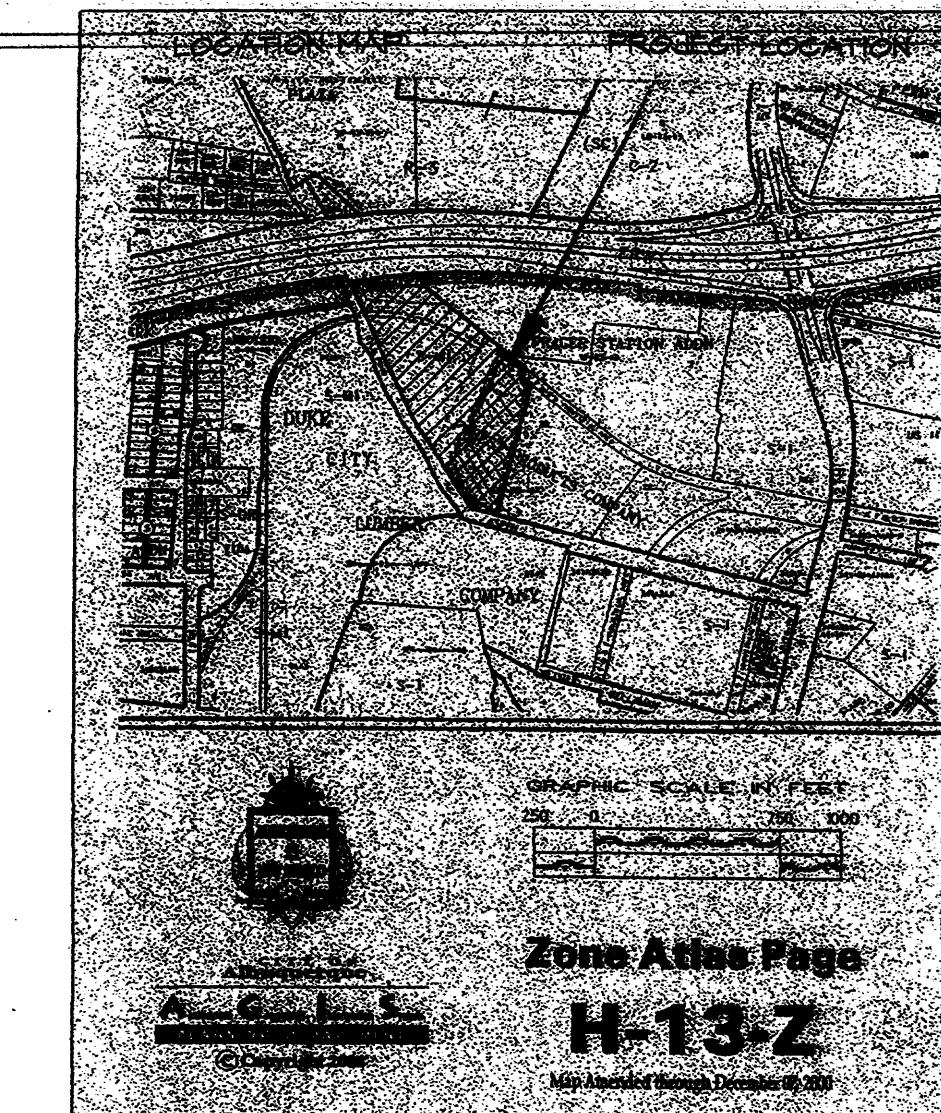
SEE DRAINAGE SECTION DETAILS, C-2

SPECIAL NOTE:

THIS IS A INTERIM SITE PLAN. THE SITE AREA MAY ENCOMPASS SOME ADDITIONAL AREA TO THE SOUTH AND WEST. AT THIS TIME THIS ADDITIONAL AREA IS UNDER DISPUTE.

LEGAL DESCRIPTION:

Tract 2-A. Land of Forest Products Co. Section 7, T. 10N., 3E., N.M.P.M. City of Albuquerque

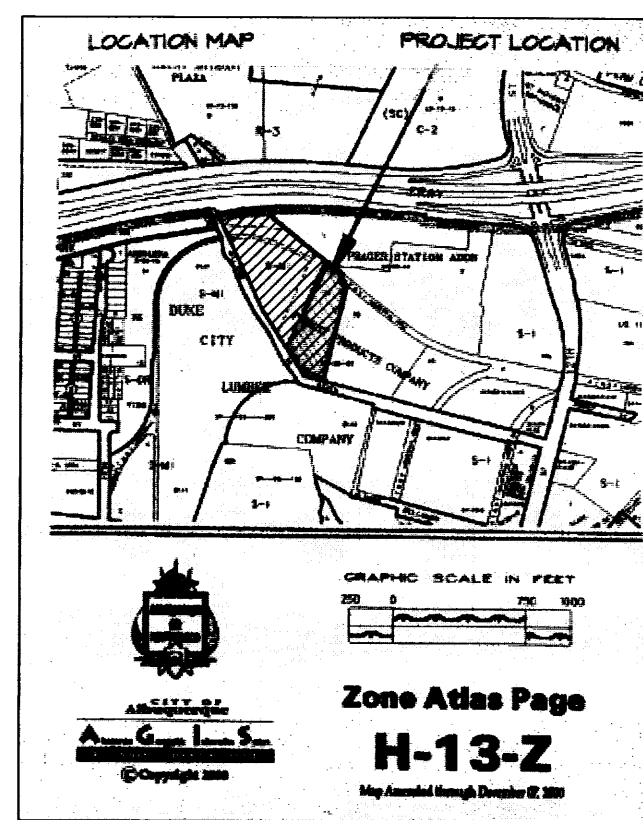


LOCATION MAP

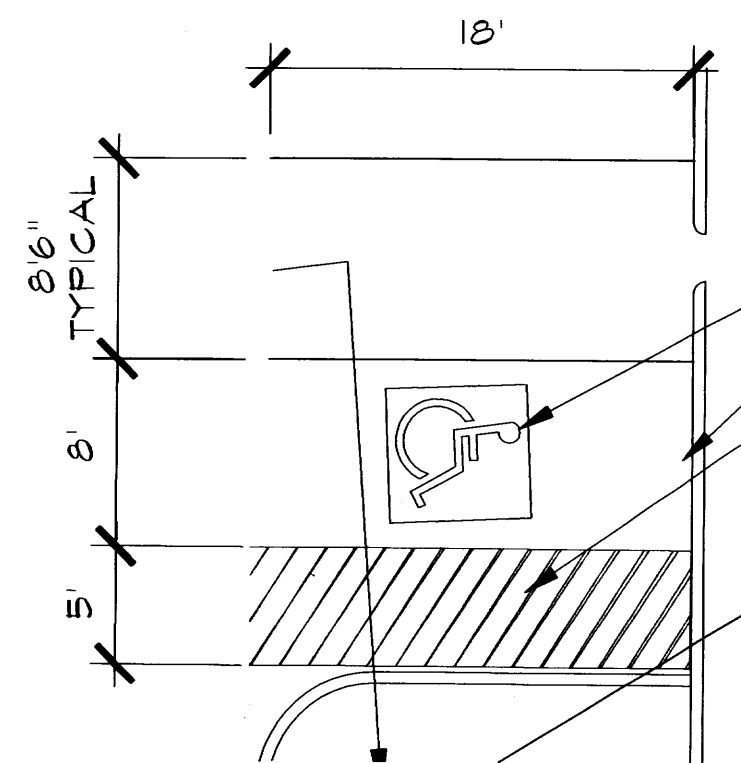
PROJECT LOCATION

GRADING AND DRAINAGE PLAN

1" = 50' scale

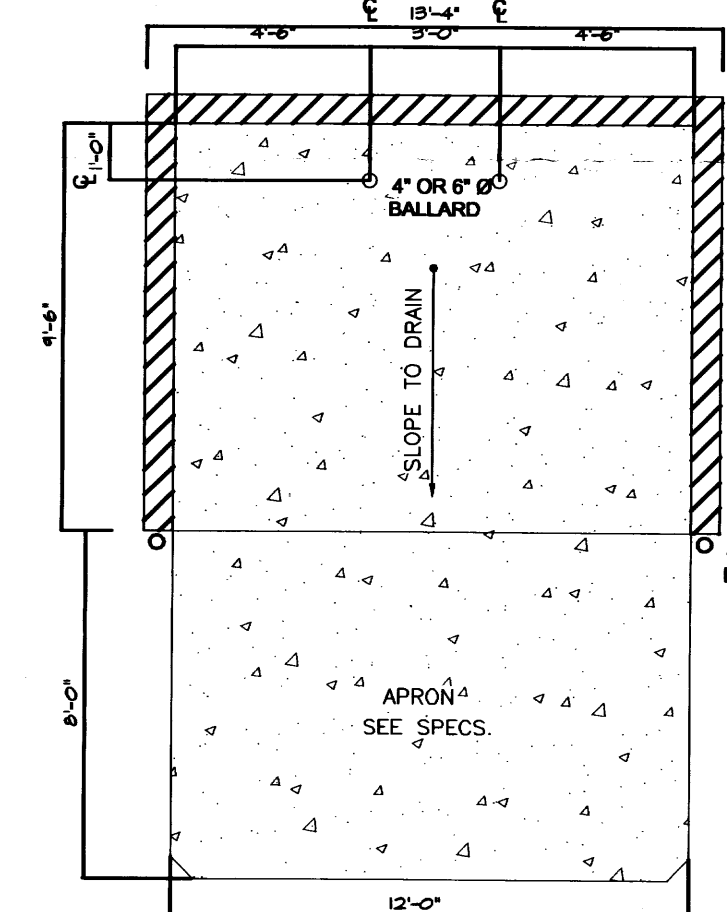


LOCATION MAP PROJECT LOCATION



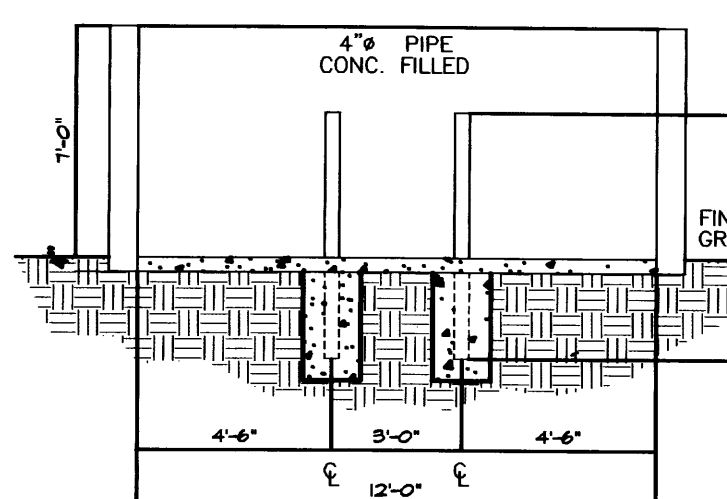
PARKING SPACE DETAIL (TYP.)

SCALE: 1/8" = 1'-0"



REFUSE ENCLOSURE PLAN

NOT TO SCALE



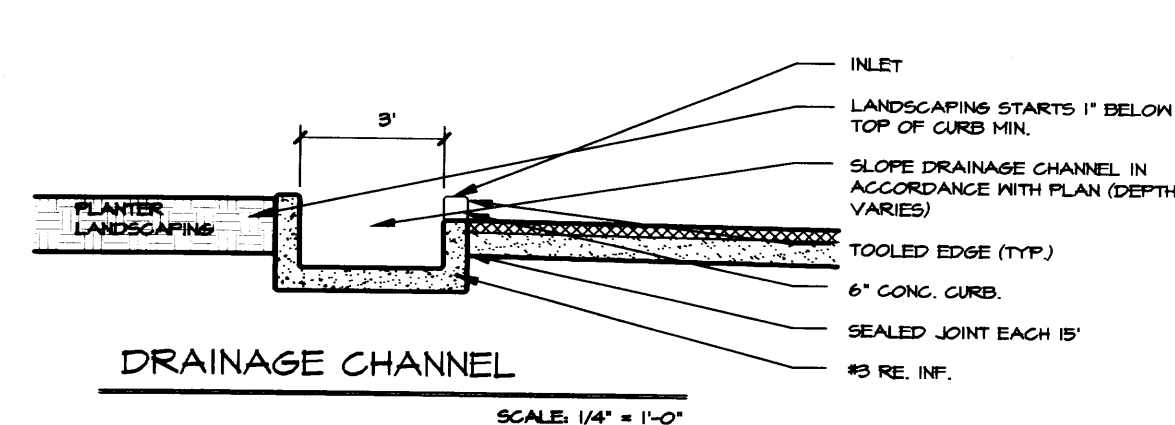
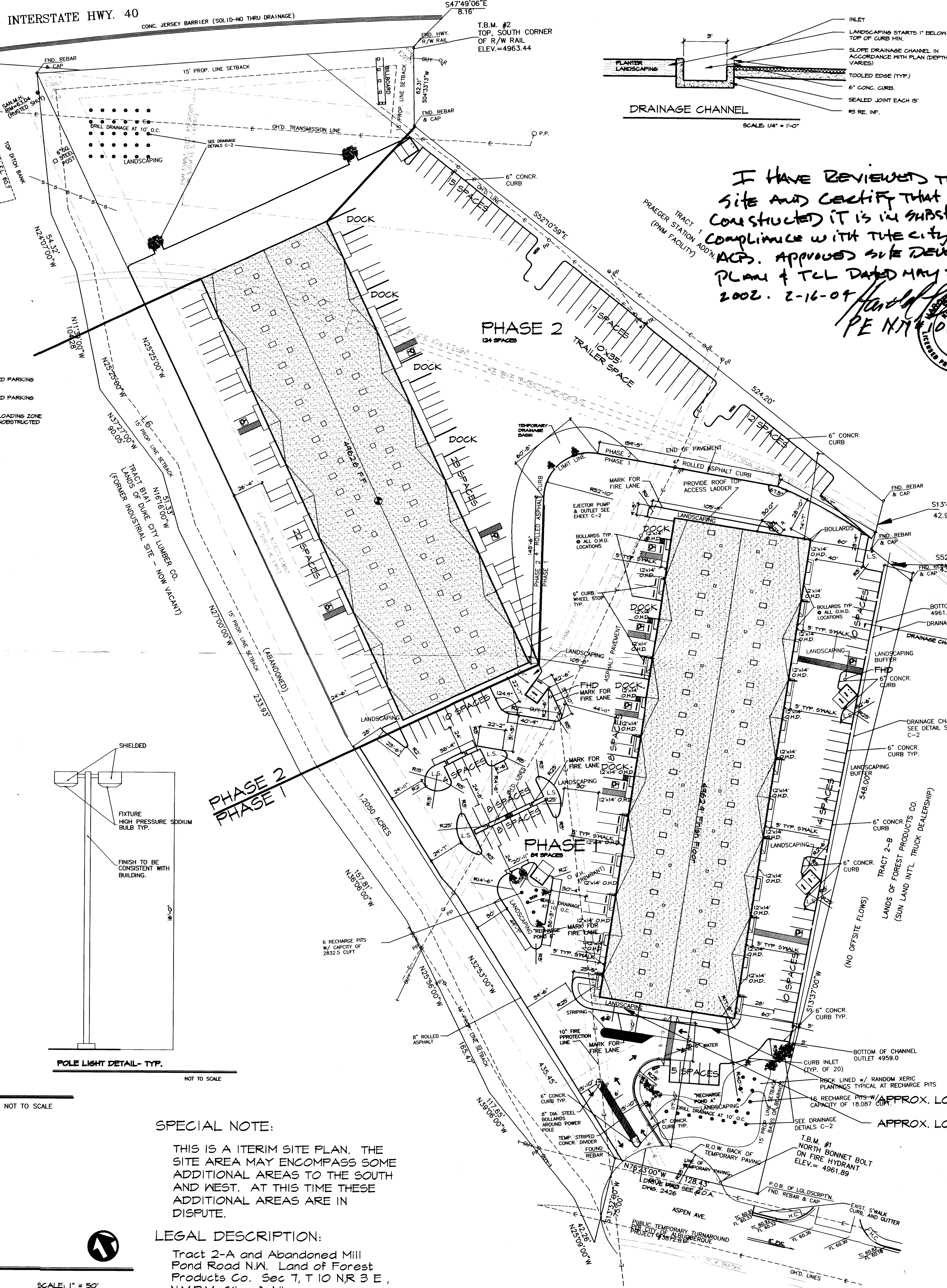
REFUSE ENCLOSURE PLAN

NOTES:

1. DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND ARE THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH DESIGN OF ENCLOSURE.
2. 4" O.D. CONCRETE FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'.

SITE PLAN (PHASE I & 2)

SCALE: 1" = 50'



DRAINAGE CHANNEL

I HAVE REVIEWED THIS SITE AND CERTIFY THAT AS CONSTRUCTED IT IS IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF A.C.S. APPROVED SITE DEVELOPMENT PLAN & T.C.L. DATED MAY 20, 2002. 2-16-04

SHEET INDEX

- A-1 SITE / LANDSCAPE PLAN
- A-1.1 PHASE I ENLARGED GRADING & DRAINAGE PLAN
- C-1 SITE DETAILS
- S-1 FOUNDATION PLAN
- S-2 FRAMING PLAN
- A-2 FLOOR PLAN
- A-3 ROOF PLAN
- A-4 ELEVATIONS
- A-5 SECTIONS
- A-6 CANOPY DETAILS/WALL SECTION
- A-7 ADA & ANSI REQUIREMENTS
- M-1 MECHANICAL PLAN
- E-1 ELECTRICAL PLAN

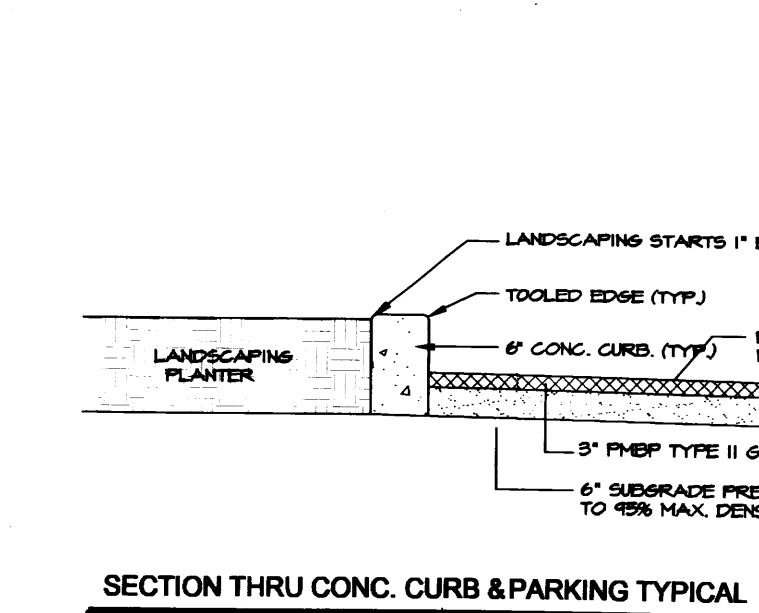
PARKING REQUIREMENTS (CALC'S)

NET OFFICE / SERVICE AREA:	15120 SF
15120 / 200 = 76	
76 / 2 = 38	
= 38 REQUIRED PARKING SPACES : Phase 1	
= 38 REQUIRED PARKING SPACES : Phase 2	
38000 / 2000 = 26	
= 26 REQUIRED PARKING SPACES : Phase 1	
= 26 REQUIRED PARKING SPACES : Phase 2	
64 TOTAL REQUIRED PARKING SPACES per Phase	
PARKING PROVIDED:	
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE	
SURFACE PARKING:	Phase 1 Phase 2
TRAILER SPACES	17 TRAILERS 17 TRAILERS
HANDICAPPED	6 CARS 4 CARS
REGULAR AND COMPACT	83 CARS 68 CARS
TOTAL ON SITE PARKING PROVIDED	89 CARS 89 CARS
TOTAL REQUIRED PARKING:	64 CARS 64 CARS

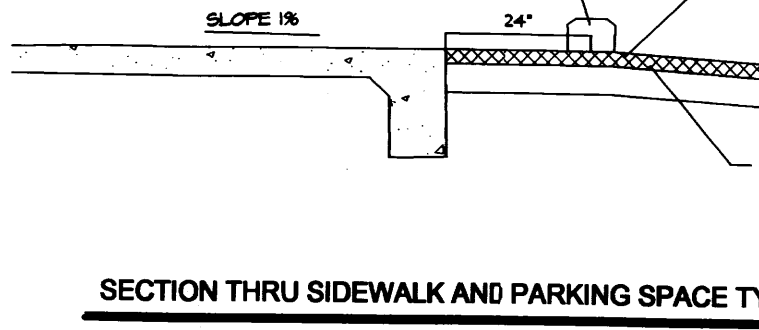
TYP. ASPHALTIC CONCRETE LTD. AREAS

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
AUTOMOBILE PARKING	2"	4"
AUTOMOBILE DRIVEWAYS	2"	4"
AREAS SUBJECT TO SEMI-TRUCKS	3"	6"

SECTION THRU CONC. CURB & PARKING TYPICAL



SECTION THRU SIDEWALK AND PARKING SPACE TYPICAL



SECTION THRU CONC. CURB & PARKING TYPICAL



SECTION THRU CONC. CURB & PARKING TYPICAL

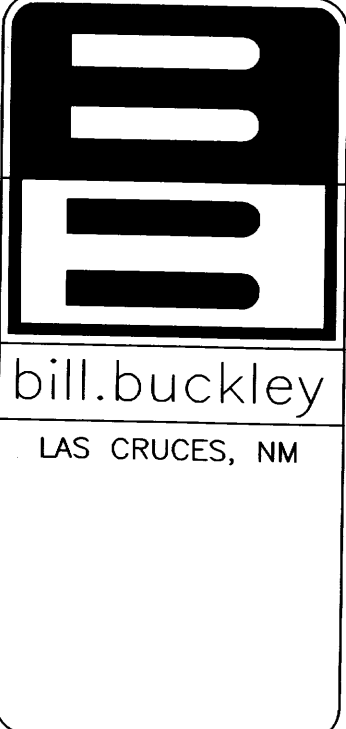


DESIGN DATA

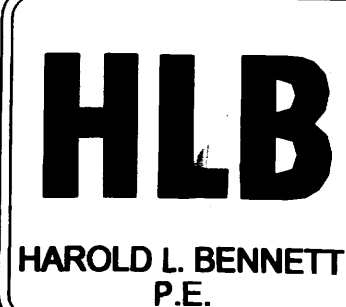
- I. APPLICABLE CODES AND REGULATIONS.
 - UNIFORM BUILDING CODE, 1997
 - ANSI
 - GUIDELINES, 1998
 - NFPA, 1997 / UFC, 1997
- II. BUILDING FLOOR AREA (UBC SEC. 504)
 - BUILDING 1 WAREHOUSE(PHASE 1) 50400 SF
 - BUILDING 2 WAREHOUSE(PHASE 2) 50400 SF
 - TOTAL BUILDING AREA (PHASE 1 + PHASE 2) 100800 SF
- III. OCCUPANCY GROUP (UBC TABLE 5A)
 - OFFICE B-SPRINKLED
 - WAREHOUSE S1-SPRINKLED
- IV. EXTERIOR WALLS AND OPENINGS
 - UBC TABLE 5A
- V. BUILDING HEIGHT
 - BUILDING 1 - ONE STORY 22'-0"
 - BUILDING 2 - ONE STORY 22'-0"
- VI. TYPE OF CONSTRUCTION
 - UBC TABLE 5A: OFFICE-TYPE V-N
 - WAREHOUSE-TYPE V-N
- VII. BASIC ALLOWABLE FLOOR AREA
 - UBC TABLE 5B: OFFICE-B-8,000 S.F.
 - WAREHOUSE-S3-8,000 S.F.
 - 4 SIDE SEPARATION OF MIN. 60' + SPRINKLED
 - ALLOWABLE UNLIMITED
- VIII. FIRE RESISTIVE REQUIREMENTS
 - UBC TABLE 6-A: TYPE V-N-SPRINKLED
- IX. OCCUPANT LOAD
 - UBC TABLE 10-A
- X. EXIT REQUIREMENTS
 - A. NUMBER OF EXITS: UBC TABLE 10-A
 - B. WIDTH: UBC 1003.2.3
- XI. SEISMIC ZONE: 2B
- XII. WIND SPEED: 75 MPH
- XIII. EXPOSURE: C
- XIV. SOIL BEARING CAP. [SOILS REP.] 2500 PSF
- XV. ROOF LOAD(TOTAL) 40 PSF
- UNIT A OCCUPANCY
 - UNIT A 1065 SQ. FT.
 - OFFICE 300 SQ. FT. 300/100 = 3
 - WAREHOUSE 1565 SQ. FT. 1565/500 = 3
- EXIT REQUIREMENTS 1 REQUIRED
- TOILET REQUIREMENTS 1 M.C. & 1 LAVATORY

SITE NOTES

- 1) THE SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: 1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY C.O. IN ORDER TO CORRECT UNAPPROVED WORK, AND 2) INCREASE IN CONST. COSTS TO RESPONSIBLE PARTIES.
- 2) THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- 3) ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION AND BEFORE TEMP. C.O. WILL BE SCHEDULED.
- 4) ALL PARKING SPACES ARE TYPICAL (8'-6" X 20') UNLESS OTHERWISE NOTED
- 5) OWNER IS RESPONSIBLE TO VERIFY ALL DATA SUPPLIED BY SURVEYOR IN TERMS OF ALL EXISTING IMPROVEMENTS TO SUPPORT UTILITY SERVICES WITHIN UTILITY EASEMENTS.

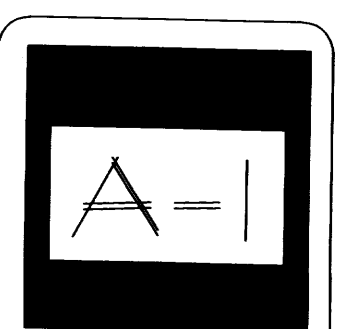


DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS



HAROLD L. BENNETT
P.E.

JOB TITLE:	CHRISTOPHER LTD. OFFICE WAREHOUSE
REVISION:	05.15.02 JON
FILE NAME:	C-LTD-A-1
JOB NO.:	1/26/01
SHEET TITLE:	SITE PLAN
DRAWN BY:	ACM



INTERSTATE HWY. 40

CONC. JERSEY BARRIER (SOLID-NO THRU DRAINAGE)

T.B.M. #2
TOP, SOUTH CORNER
OF R/W RAIL
ELEV.=4963.44

SHEET INDEX

- A-1 SITE / LANDSCAPE PLAN
- C-1 GRADING & DRAINAGE PLAN
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- E-1 ELECTRICAL PLAN

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 = 38 REQUIRED PARKING SPACES : Phase 2
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 Phase2 50400 SF
 $50400 / 2000 = 26$
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PARKING PROVIDED:

	Phase 1	Phase 2
SURFACE PARKING:		
TRAILER SPACES	17 TRAILERS	17 TRAILERS
HANDICAPPED	6 CARS	4 CARS
REGULAR AND COMPACT	105 CARS	91 CARS
TOTAL ON SITE PARKING PROVIDED	131 CARS	112 CARS
TOTAL REQUIRED PARKING:	64 CARS	64 CARS

DESIGN DATA

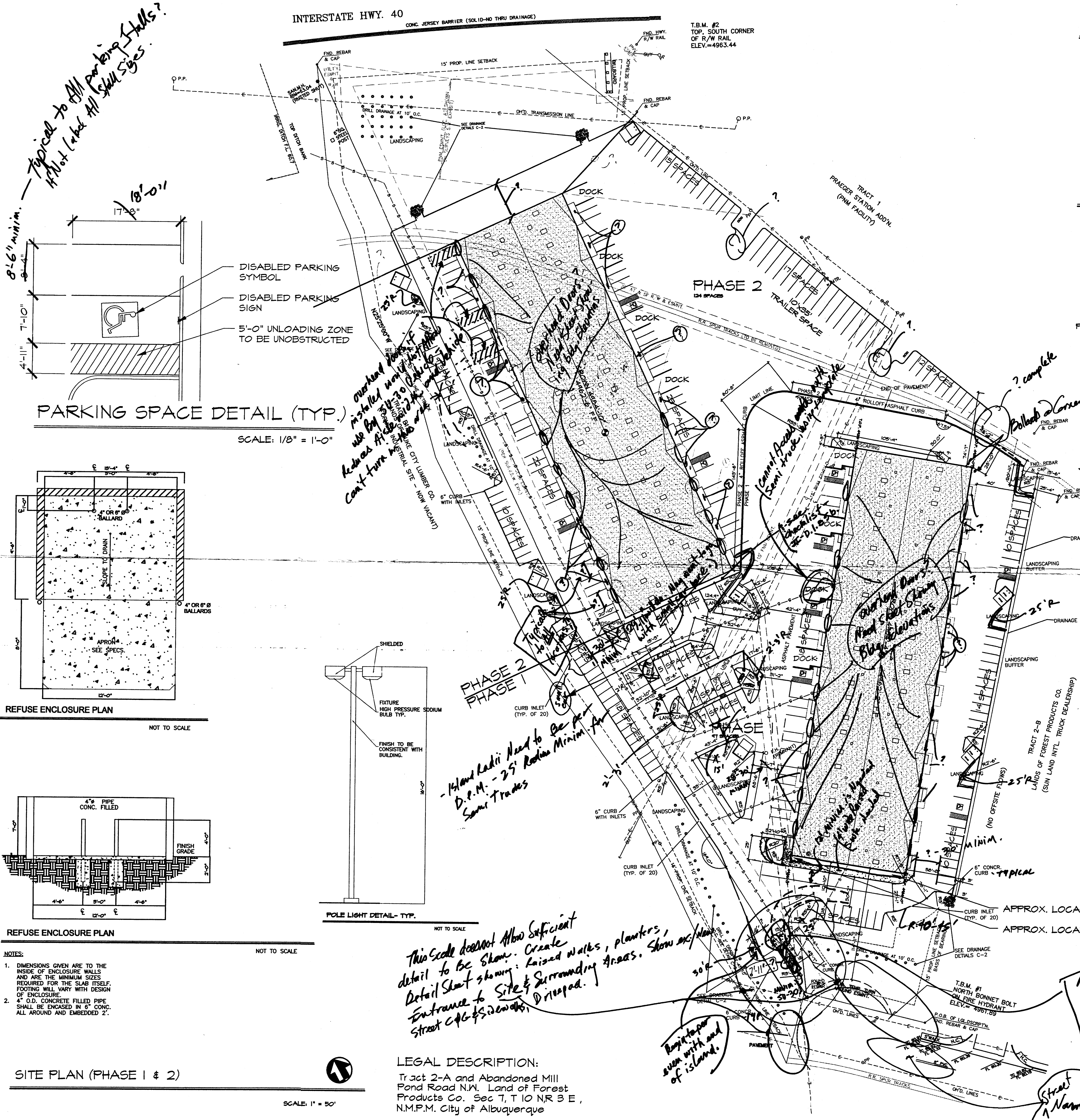
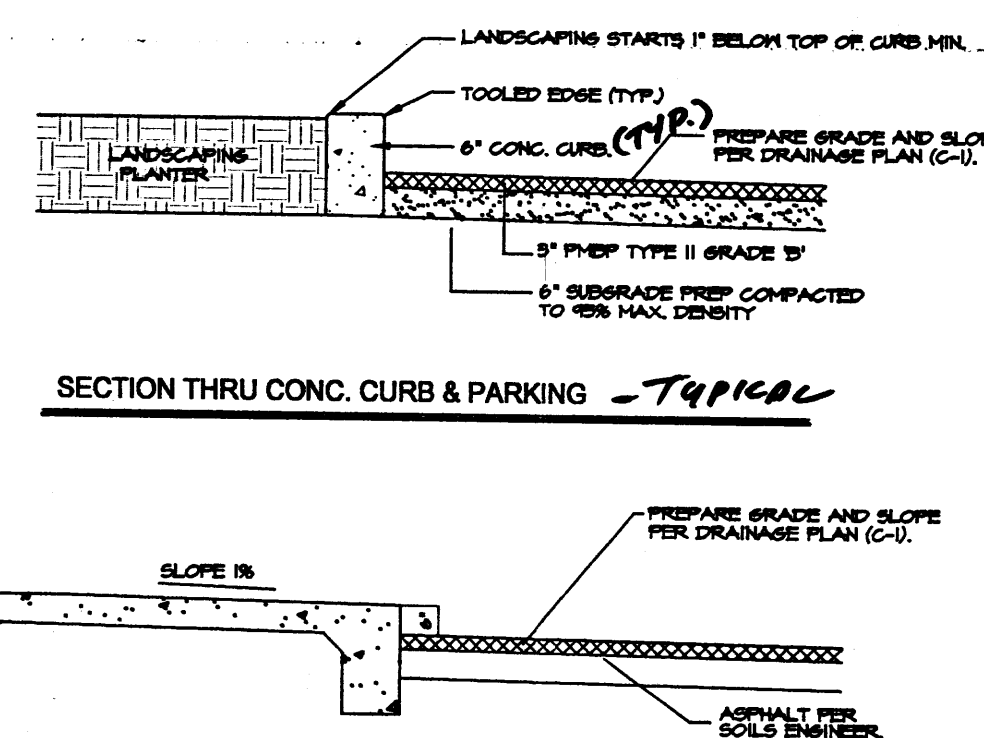
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 - 4" O.D. CONCRETE FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2".

SITE PLAN (PHASE 1 & 2)

SCALE: 1" = 50'

LEGAL DESCRIPTION:

Tract 2-A and Abandoned Mill Pond Road N.M. Land of Forest Products Co. Sec 7, T 10 N R 3 E, N.M.P.M. City of Albuquerque

bill.buckley
LAS CRUCES, NM

H13/D043

2nd - S/M

DESIGN COLLABORATIVE THE ART AND SCIENCE OF BUILDINGS

JOB TITLE: CHRISTOPHER LTD.

REVISION: 02-08-02
 SHEET TITLE: SITE PLAN
 FILE NAME: JOB NO.: DATE: 1/26/02
 DRAWN BY: ACM

A-1

copy ab
geotechnical
info for
port

LOCATION MAP

PROJECT LOCATION

Zone Atlas Page
H-13-Z
Map Amended through December 07, 2000

LOCATION MAP

PROJECT LOCATION

1" = 50'

GRADING AND DRAINAGE PLAN

1" = 50'

scale

feet

LEGAL DESCRIPTION:
Tract 2-A and Abandoned Mill
Pond Road N.M. Land of Forest
Products Co. Section 7, T. 10N., 3E.,
N.M.P.M. City of Albuquerque

no drilling
provide permission
to build in Abn
mill pond Rd.
!! s/s & water in
road

12" WATER
CAST 1200
4' DEED
ON ABANDONED
ROAD

NOTE: PROVIDE DRAINAGE
RECHARGE PITS AS REQUIRED
WITHIN THE PHASE 2 BOUNDARY
DURING PHASE 1 DEVELOPMENT.

THIS IS ONLY
FOR PHASE 1
- DO YOU ONLY
WANT B.P. APPROVAL
FOR PHASE 1
OR PHASE 1+2?
NEED TO
PUT
APPROPRIATE
SITE LOCATION?

note:
Building and asphalt parking area shown on
phase 2 shall be constructed during phase 2.

IDENTIFY RR TRACKS
- REMOVING
FF: elevations
C-2
RR

SEE TYP. DOCK SUMP
PUMP DETAILS, C-2

SEE DRAINAGE SECTION
DETAILS, C-2

TRACT 2-B
LANDS OF FOREST PRODUCTS CO.
(SUN LAND INTL. TRUCK DEALERSHIP)

BETTER
DETAIL
APPEARS lower
than drainage
structure.

WHAT'S HAPPENING
STREET?

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOTS 1 AND 2
BRIGHTWOOD ADDITION ARE CONTAINED HEREON:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

CHRISTOPHER LTD. DRAINAGE AREAS - PHASE 1		CHRISTOPHER LTD. DRAINAGE AREAS - PHASE 2	
WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)	WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)
LANDSCAPE AREA	= 1.0774 ACRES (46,930 SF)	LANDSCAPE AREA	= 1.60 ACRES (69,650 SF)
PARKING/ASPHALT AREA	= 2.379 ACRES (103,620 SF)	PARKING/ASPHALT AREA	= 2.369 ACRES (103,200 SF)
TOTAL SITE	= 4.613 ACRES (200,950 SF)	TOTAL SITE	= 5.125 ACRES (223,250 SF)

PRECIPITATION:	360 = 2.35 IN. 1440 = 2.75 IN. 100A = 3.95 IN.	PHASE 2 NORTH (NORTH OF TRACKS) TOTAL AREA = 2.713 ACRES (118,200 SF) PHASE 2 SOUTH (SOUTH OF TRACKS) TOTAL AREA = 2.376 ACRES (103,500 SF)
----------------	--	--

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.53 IN. 1.56 CFS/AC.
TREATMENT B	0.78 IN. 2.28 CFS/AC.
TREATMENT C	1.13 IN. 3.14 CFS/AC.
TREATMENT D	2.12 IN. 4.70 CFS/AC.

EXISTING CONDITIONS:	PROPOSED CONDITIONS PHASE 1:	PROPOSED CONDITIONS PHASE 2:
TREATMENT A	0 AC. 1.077 AC.	0 AC.
TREATMENT B	0 AC. 0 AC.	5.125 AC.
TREATMENT C	9.73 AC. 0 AC.	0 AC.
TREATMENT D	0 AC. 3.53 AC.	0 AC.

EXISTING EXCESS PRECIPITATION:
WEIGHTED E = $[0.53 (0.00) + 0.78 (0.00) + 1.13 (9.7362) + 2.12 (0.00)] / 9.7362$ AC.
= 1.13 IN.
V100 -360 = $1.13 (9.7362) / 12 = 0.9168$ ACFT. = 39937 CFS

EXISTING PEAK DISCHARGE:
Q100 = $1.56 (0.00) + 2.28 (0.00) + 3.14 (9.7362) + 4.70 (0.00)$
= 30.572 CFS

PROPOSED EXCESS PRECIPITATION - PHASE 1
WEIGHTED E = $[0.53 (1.0077) + 0.78 (0.00) + 1.13 (0) + 2.12 (3.530)] / 4.617$ AC.
= 1.723 IN.
V100 -350 = $0.506 (4.617) / 12 = 0.1947$ ACFT = 8480 CFS
V100 -1440 = $0.19 + 4.617 \times (2.75 - 2.35) / 12 = 0.344$ ACFT = 14980 CFS
V100 -1440 = $0.19 + 4.617 \times (3.85 - 2.35) / 12 = 0.767$ ACFT = 33416 CFS

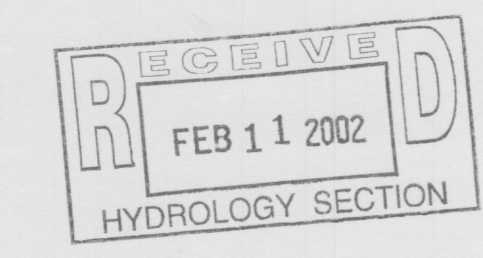
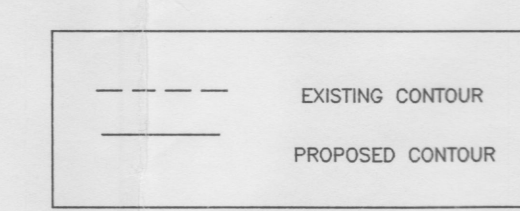
BENCHMARK:
THE BASIS OF ELEVATIONS IS ACS BENCHMARK 24314. THE PUBLISHED
ELEVATION OF WHICH IS 688.86. SAID BENCHMARK IS LOCATED AT THE
NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH ST. NW AND
CONSTITUTION NW.

- EROSION CONTROL MEASURES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT
OF STORM RUN-OFF DURING CONSTRUCTION. HE/SHE SHALL
ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES
BY TEMPORARY BARRIERS, DIKES, SWALES, AND OTHER
TEMPORARY GRADING AS REQUIRED TO PREVENT STORM
RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT
PROPERTY. A 15' SET BACK SHALL BE ESTABLISHED BETWEEN
ALL RETENTION AREAS AND PROPERTY LINES.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED
AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE
SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO
ENTER THE PUBLIC STREETS.
 - DUE TO AN INCREASE IN LANDSCAPED AREA A SUBSTANTIAL
REDUCTION IN RUNOFF IS EXPECTED, EXCEPT DURING AN UNUSUAL
STORM OCCURRENCE.

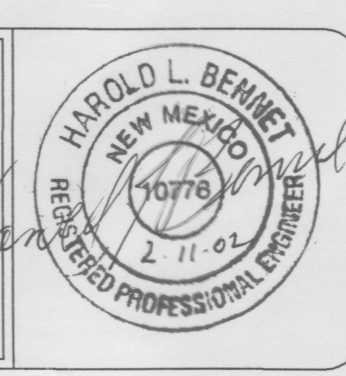
EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 9.723 ACRES
AND IS LOCATED WEST OF TWELFTH STREET
THE SITE WILL BE GRADED TO DRAIN INTO
RECHARGE/RETENTION BASINS WITH 24" DIA. DRILLED
DRAINS INTO SAND SUBSTRATA. ALL STORM WATER
WILL BE MANAGED ON SITE. ACCORDING TO THE
FLOOD INSURANCE RATE MAP (ALL ASPHALT), DATED
SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED
WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS
AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL
CONSIST OF ONE WAREHOUSE BUILDING TOTALING
50400 SQ. FT. ALONG WITH ASSOCIATED LANDSCAPED AREAS.
THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND
PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR EVENT. THE
PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN
THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT
PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN
USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF
RUN-OFF GENERATED.

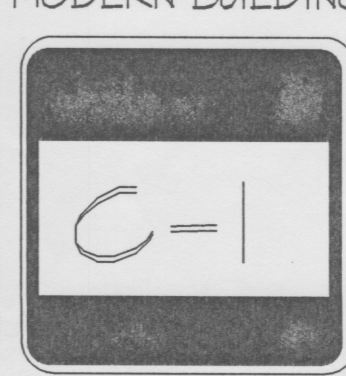
STATE ALL OFF SITE FLOWS.

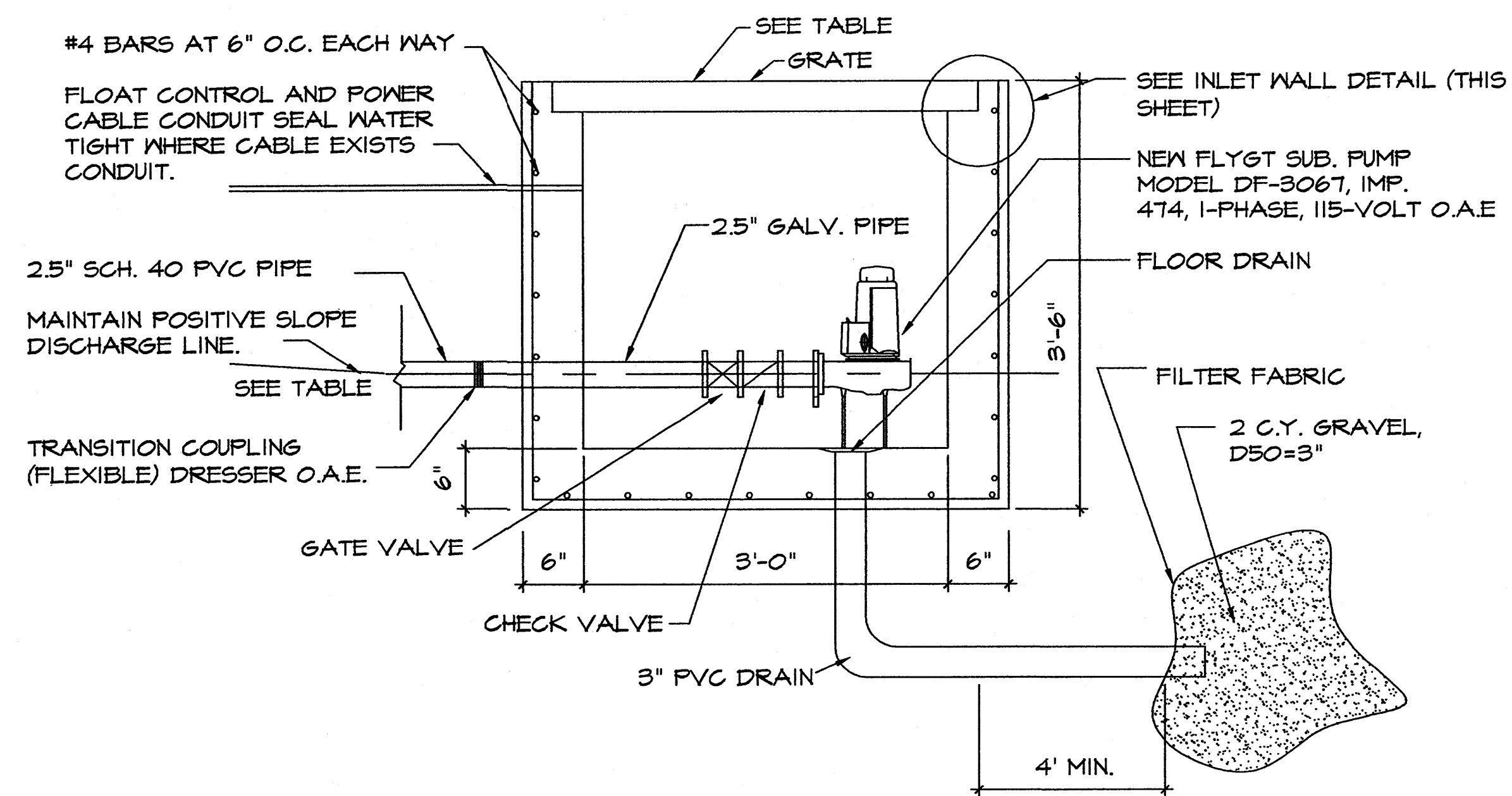


DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS



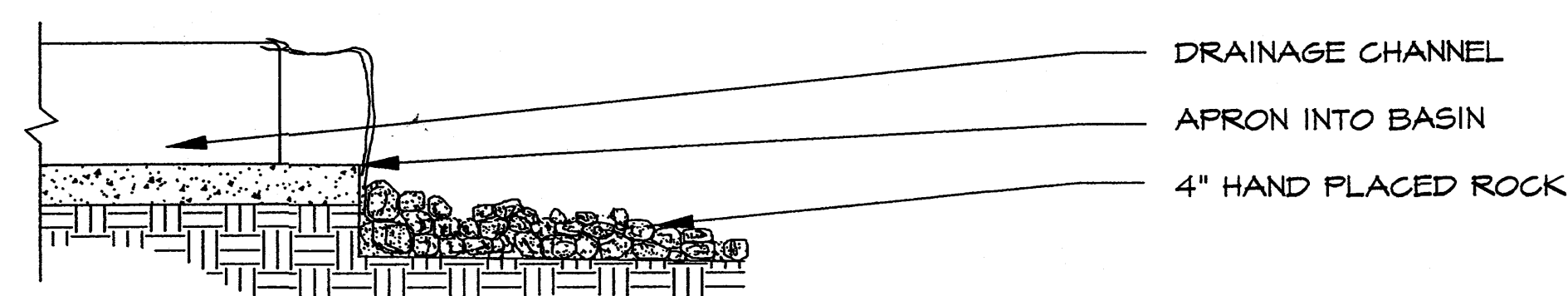
JOB TITLE: CHRISTOPHER LTD.		
REVISION: 02-08-02	FILE NAME: C-LTD C-1	DATE:
SHEET TITLE: GRADING & DRAINAGE PLAN		DRAWN BY: MPK





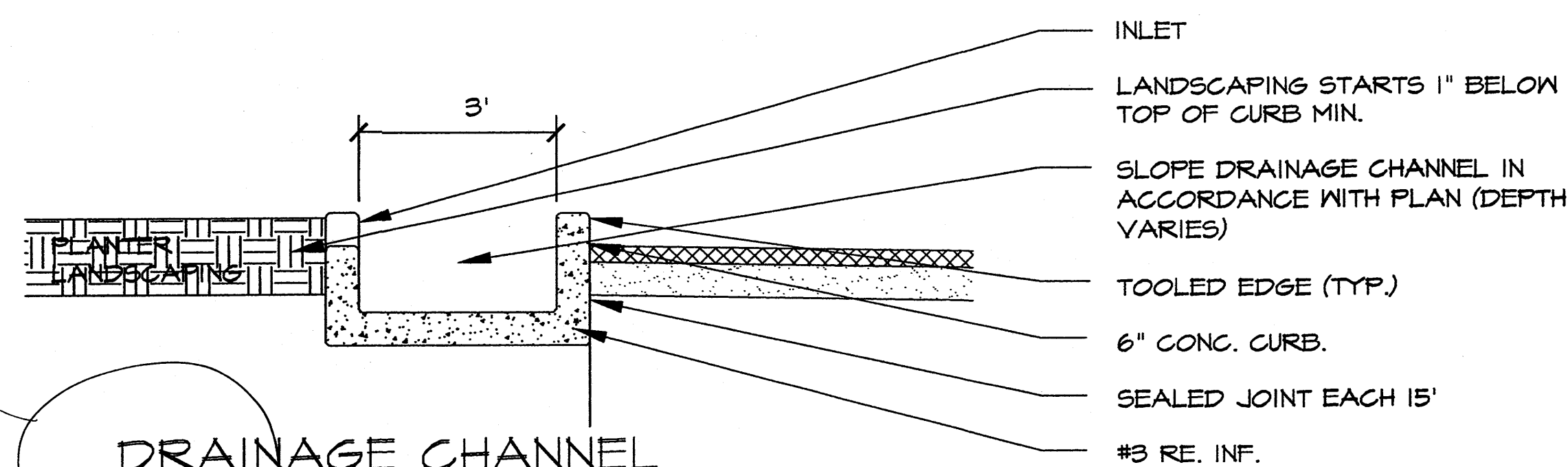
SUMP SECTION DETAIL A-A

SCALE: 1" = 1'-0"



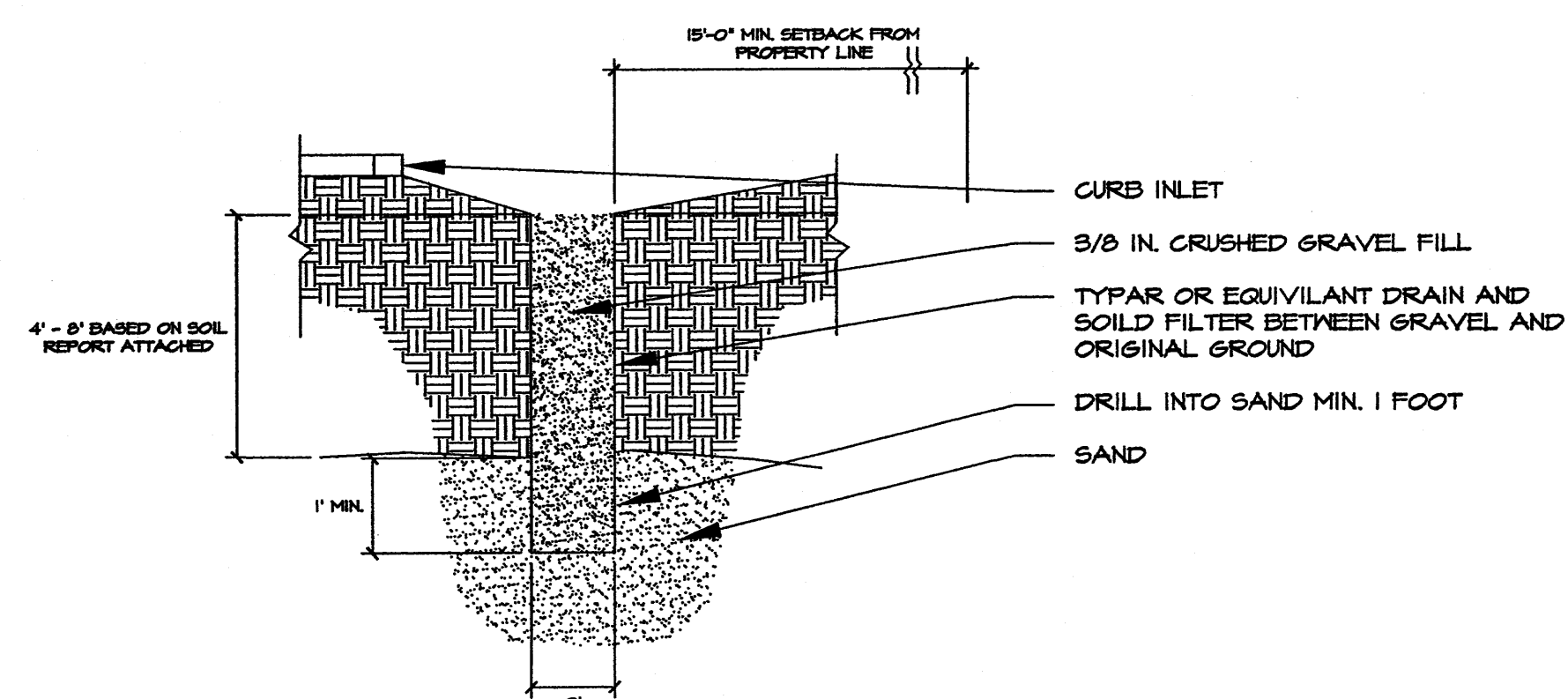
DRAINAGE INLET

SCALE: 1/2" = 1'-0"



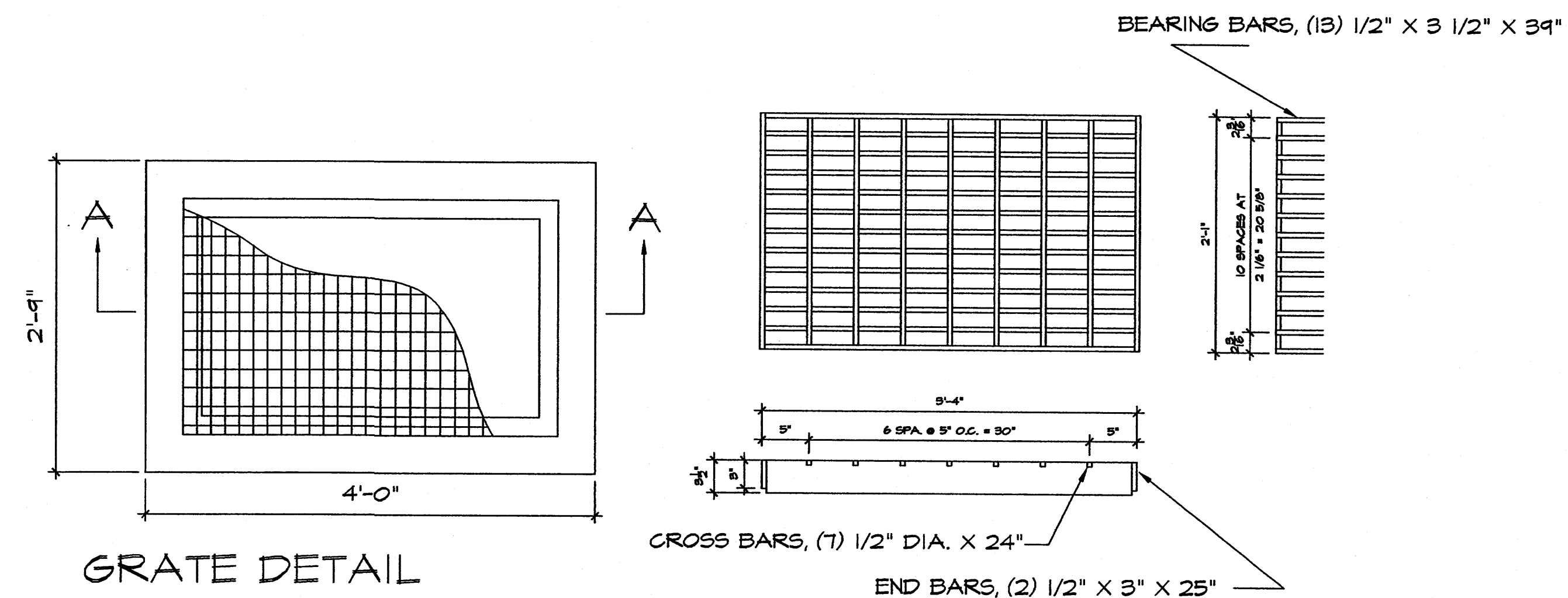
DRAINAGE CHANNEL

SCALE: 1/2" = 1'-0"



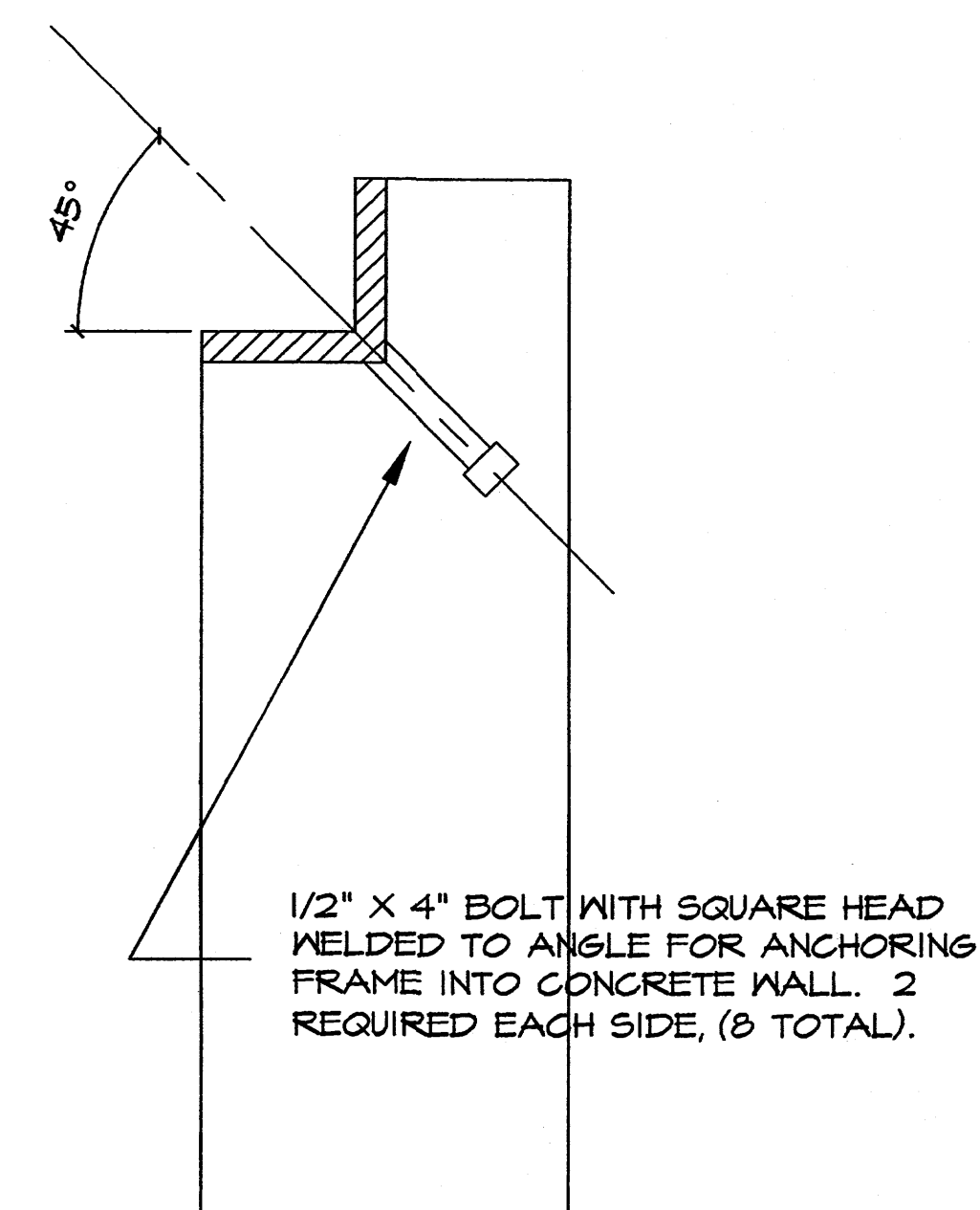
TYP. RECHARGE PIT SECTION

SCALE: 1/4" = 1'-0"



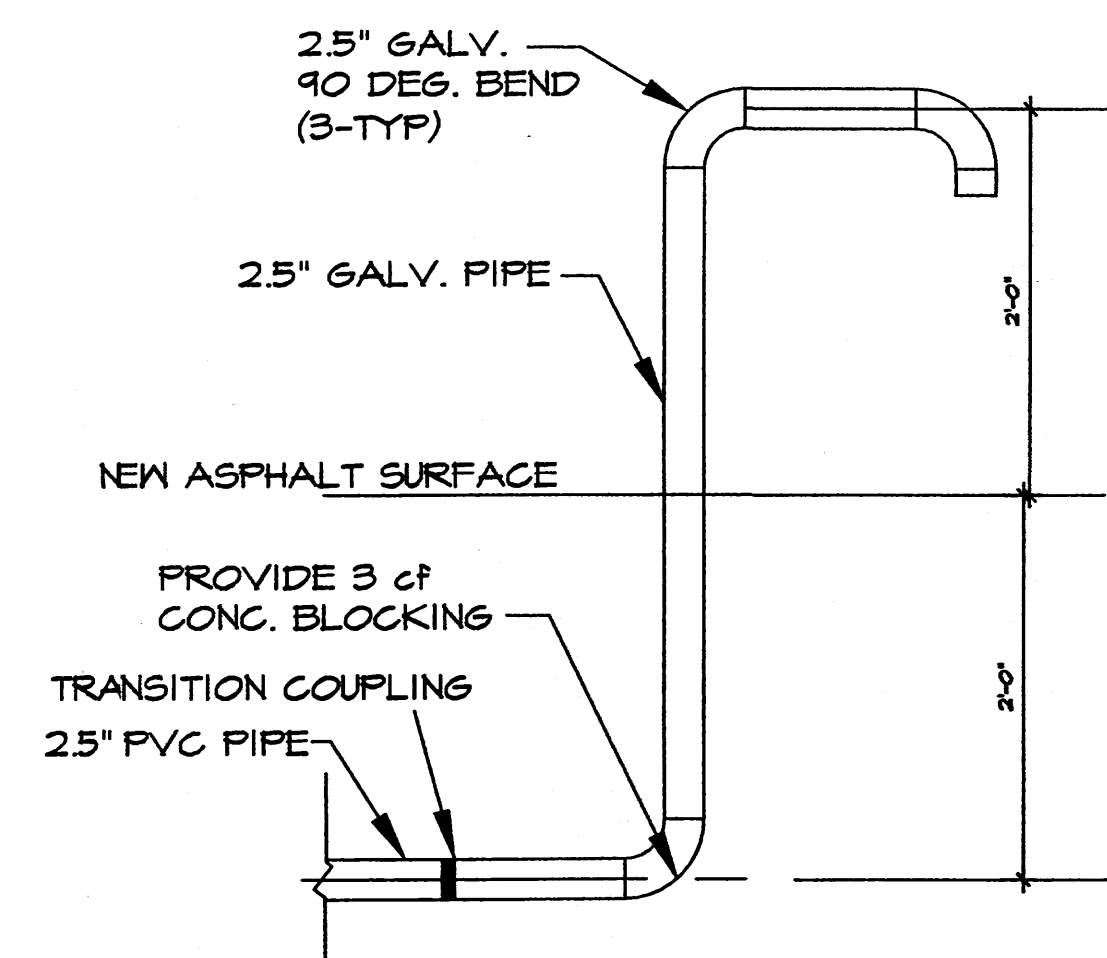
GRATE DETAIL

SCALE: 1" = 1'-0"



INLET WALL DETAIL

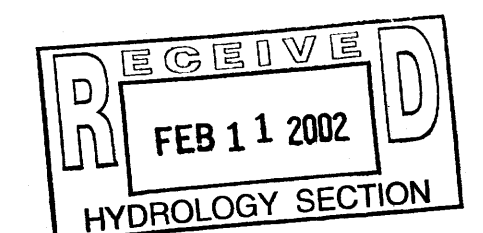
SCALE: 4" = 1'-0"



OUTLET DETAIL

SCALE: 1" = 1'-0"

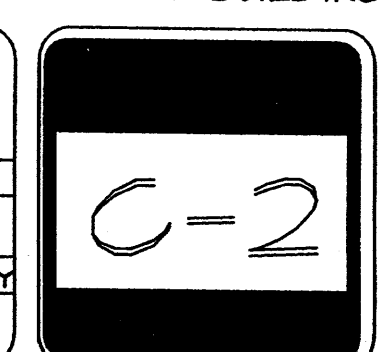
- INLET CONSTRUCTION NOTES**
1. ALL BARS SHALL BE STRUCTURAL GRADE STEEL, GRADE A36.
 2. THE GRATE SHALL BE WELDED WITH 1/8" FILLET WELD AROUND BOTH SIDES OF CROSS BARS, 1/4". FILLET WELD BOTH SIDES OF BEARING BARS TO END BARS.
 3. AFTER CLEANING SURFACE OF SCALE, RUST, OILS, ECT., PAINT GRATE WITH ONE SHOP COAT RED OXIDE, TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
 4. TOP OF CROSS BARS SHALL BE FLUSH WITH TOP OF GRATE.
 5. GRIND WELDS FLUSH WITH BEARING BARS.
 6. WHEN INSTALLED IN FRAME, PUSH TIGHT TO ONE SIDE, OTHER SIDE SHALL HAVE 1/2" MAX. OPENING. SPACERS WELDED TO FRAME MAY BE USED IF REQUIRED TO KEEP 1/2" SPACE OR LESS.



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DESIGN COLLABORATIVE
 THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE:	CHRISTOPHER LTD.
REVISION:	FILE NAME JOB NO. DATE
02.06.02 JON	C-LTD C-1
SHEET TITLE:	DRAWN BY
GRADING & DRAINAGE PLAN	REFC



C-2

INTERSTATE HWY. 40

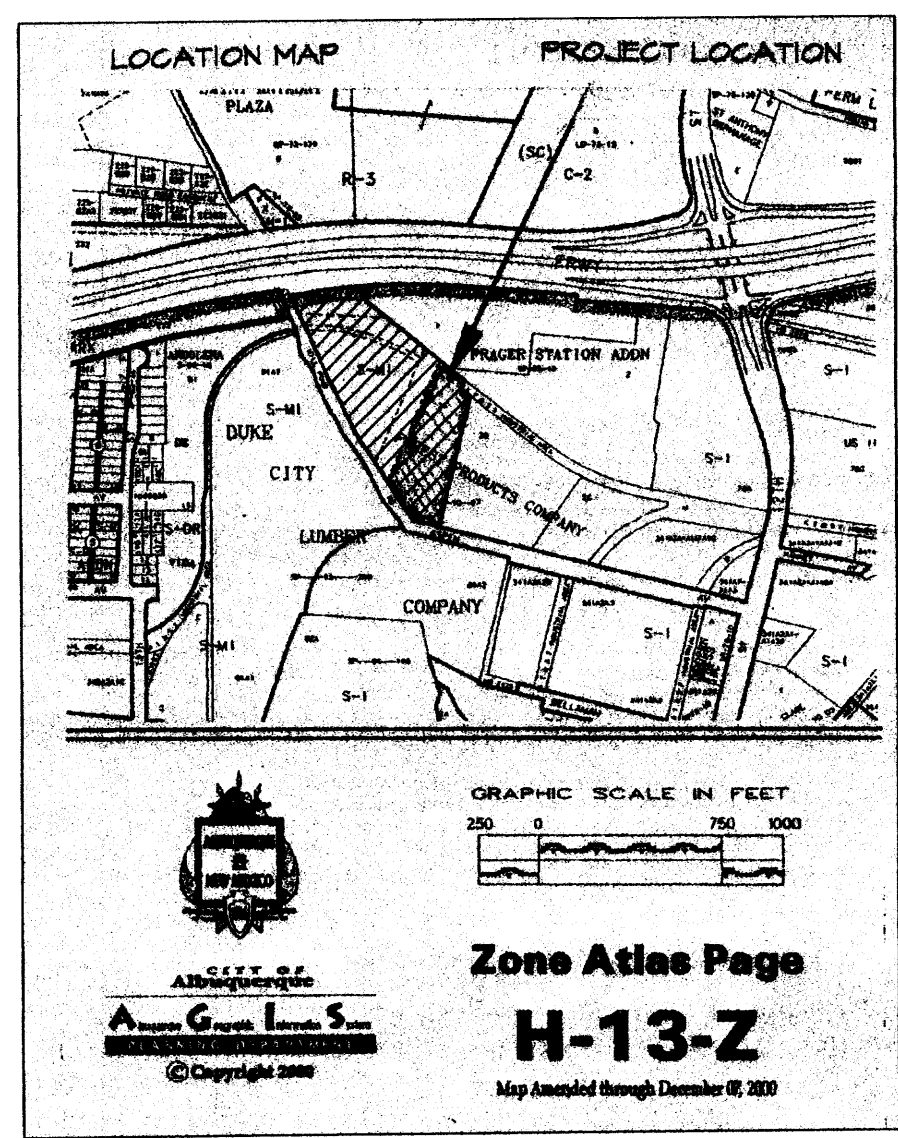
Δ=4°59'47"
R=3684.72'
L=322.18'
CH=N85°32'47"E
322.08

S47°49'06"E
8.16'
T.B.M. #2
TOP. SOUTH CORNER
OF R/W RAIL
ELEV.=4983.44

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MAY 01 2002
HYDROLOGY SECTION

NOTE: PROVIDE DRAINAGE
RECHARGE PITS (AS REQUIRED)
WITHIN THE PHASE 2 BOUNDARY
DURING PHASE 2 DEVELOPMENT.

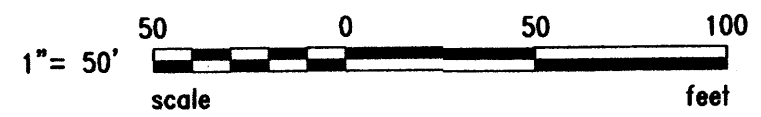
20' PUBLIC SANITARY
SEWER ESMT.
(GRANTED BY THIS PLAN)



LOCATION MAP

PROJECT LOCATION

GRADING AND DRAINAGE PLAN

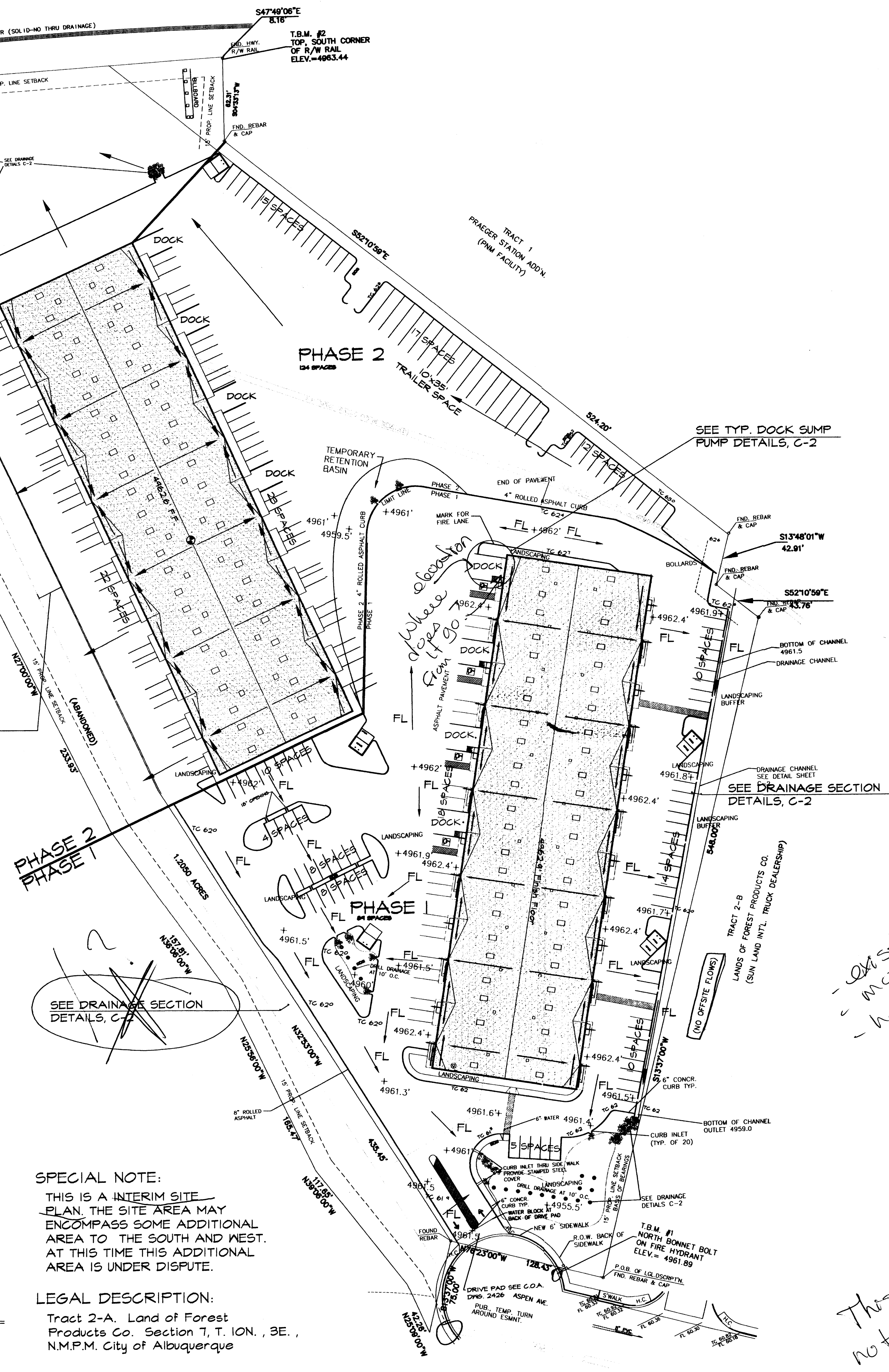


SPECIAL NOTE:

THIS IS A INTERIM SITE
PLAN. THE SITE AREA MAY
ENCOMPASS SOME ADDITIONAL
AREA TO THE SOUTH AND WEST.
AT THIS TIME THIS ADDITIONAL
AREA IS UNDER DISPUTE.

LEGAL DESCRIPTION:

Tract 2-A, Land of Forest
Products Co. Section 7, T. 10N., 3E.,
N.M.P.M. City of Albuquerque



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOTS 1 AND 2
BRIGHTWOOD ADDITION ARE CONTAINED HEREON:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

CHRISTOPHER LTD DRAINAGE AREAS - PHASE 1

WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)
LANDSCAPE AREA	= 1.077 ACRES (46,830 SF)
PARKING/ASPHALT AREA	= 2.379 ACRES (103,620 SF)
TOTAL SITE	= 4.613 ACRES (200,850 SF)

CHRISTOPHER LTD DRAINAGE AREAS - PHASE 2

WAREHOUSE BUILDING AREA	= 1.157 ACRES (50,400 SF)
LANDSCAPE AREA	= 1.60 ACRES (69,650 SF)
PARKING/ASPHALT AREA	= 2.369 ACRES (103,200 SF)
TOTAL SITE	= 5.125 ACRES (223,250 SF)

PRECIPITATION: 360 = 2.35 IN.
1440 = 2.75 IN.
10DA = 3.95 IN.

PHASE 2 NORTH (NORTH OF TRACKS) TOTAL AREA = 2.713 ACRES (118,200 SF)
PHASE 2 SOUTH (SOUTH OF TRACKS) TOTAL AREA = 2.376 ACRES (103,500 SF)

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 IN.	1.56 CFS/AC.
TREATMENT B 0.78 IN.	2.28 CFS/AC.
TREATMENT C 1.13 IN.	3.14 CFS/AC.
TREATMENT D 2.12 IN.	4.70 CFS/AC.

EXISTING CONDITIONS: PROPOSED CONDITIONS PHASE 1: PROPOSED CONDITIONS PHASE 2:

TREATMENT	EXISTING CONDITIONS	PROPOSED CONDITIONS PHASE 1	PROPOSED CONDITIONS PHASE 2
TREATMENT A	0 AC.	0.077 AC.	0 AC.
TREATMENT B	0 AC.	0 AC.	0 AC.
TREATMENT C	9.73 AC.	9.73 AC.	5.125 AC.
TREATMENT D	0 AC.	3.53 AC.	0 AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = $[0.53 (0.00) + 0.78 (0.00) + 1.13 (9.7362) + 2.12 (0.00)] / 9.7362$ AC.
= 1.13 IN.
V100 -360 = $1.13 (9.7362) / 12 = 0.9168$ ACFT. = 39937 CFS

EXISTING PEAK DISCHARGE:

Q100 = $1.58 (0.00) + 2.28 (0.00) + 3.14 (9.7362) + 4.70 (0.00)$
= 30.572 CFS

PROPOSED EXCESS PRECIPITATION - PHASE 1

WEIGHTED E = $[0.53 (1.007) + 0.78 (0.00) + 1.13 (0) + 2.12 (3.530)] / 4.617$ AC.
= 1.723 IN. *NO*

V100 -360 = $0.506 (4.617) / 12 = 0.1947$ ACFT = 8480 CFS

V100 -1440 = $0.19 + 4.617 \times (2.75 - 2.35) / 12 = 0.344$ ACFT = 14980 CFS

V100 -1440 = $0.19 + 4.617 \times (3.85 - 2.35) / 12 = 0.767$ ACFT = 33416 CFS

What is peak discharge?

BENCHMARK:

THE BASIS OF ELEVATIONS IS ACS BENCHMARK 24.17A. THE PUBLISHED
ELEVATION OF WHICH IS 4986.360. SAID BENCHMARK IS LOCATED AT THE
NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH ST. NW AND
CONSTITUTION NW.

EROSION CONTROL MEASURES

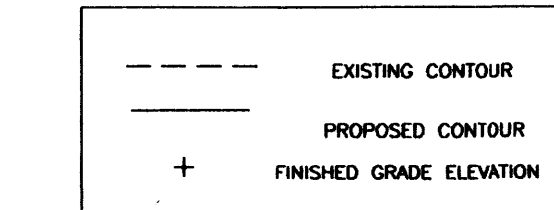
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT
OF STORM RUN-OFF DURING CONSTRUCTION. HE/SHE SHALL
ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
a. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES
BY TEMPORARY BERM, DITCH, SWALES, AND OTHER
TEMPORARY GRADING AS REQUIRED TO PREVENT STORM
RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT
PROPERTY. A 15' SET BACK SHALL BE ESTABLISHED BETWEEN
ALL RETENTION AREAS AND PROPERTY LINES.
b. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED
AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE
SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO
ENTER THE PUBLIC STREETS.
c. DUE TO AN INCREASE IN LANDSCAPED AREA A SUBSTANTIAL
REDUCTION IN RUN-OFF IS EXPECTED, EXCEPT DURING AN UNUSUAL
STORM OCCURRENCE.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 9.723 ACRES
AND IS LOCATED WEST OF TWELFTH STREET
THE SITE WILL BE GRADED TO DRAIN INTO
RECHARGE/RETENTION BASINS WITH 24" DIA. DRILLED
DRAINS INTO SAND SUBSTRATA. ALL STORM WATER
WILL BE MANAGED ON SITE. ACCORDING TO THE
FLOOD INSURANCE RATE MAP (ALL ASPHALT), DATED
SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED
WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL
CONSIST OF ONE WAREHOUSE BUILDING TOTALING
50400 SQ. FT. ALONG WITH ASSOCIATED LANDSCAPED AREAS.
THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND
PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR EVENT. THE
PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN
THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT
PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN
USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF
RUN-OFF GENERATED.



RECEIVED
MAY 01 2002
HYDROLOGY SECTION

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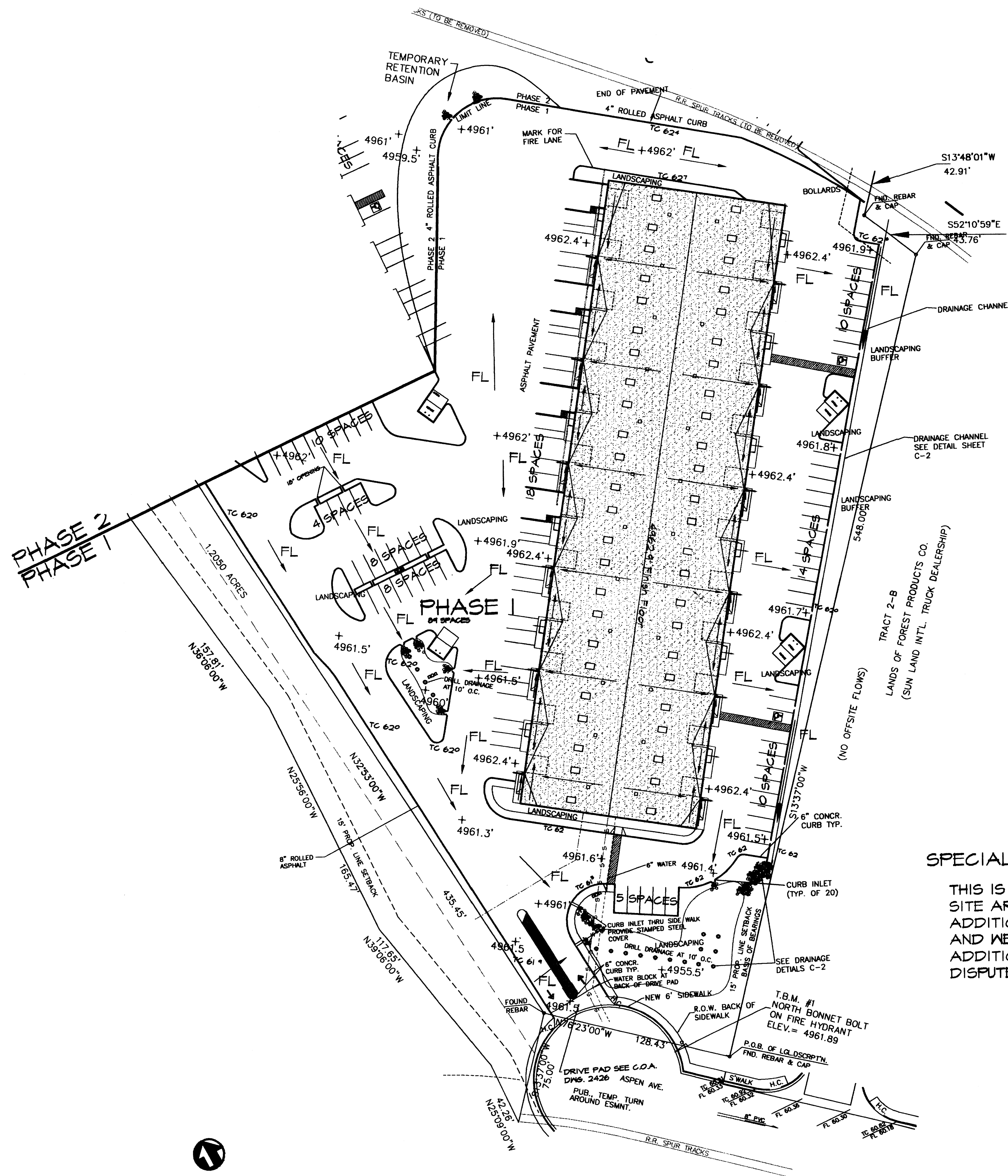
HLB
HAROLD L. BENNETT
P.E.

JOB TITLE: CHRISTOPHER LTD.
REVISION: 04.30.02 JON
SHEET TITLE: GRADING & DRAINAGE PLAN
FILE NAME: C-LTD C-1
JOB NO.:
DATE:
DRAWN BY: MPK

C-1

existing contours
more spot elevations
how does dock
work - detail?
- FL TC

This plan is
not buildable



SPECIAL NOTE:

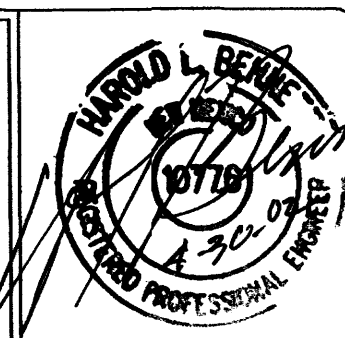
THIS IS A ITERIM SITE PLAN. THE SITE AREA MAY ENCOMPASS SOME ADDITIONAL AREAS TO THE SOUTH AND WEST. AT THIS TIME THESE ADDITIONAL AREAS ARE IN DISPUTE.

SITE PLAN - PHASE I

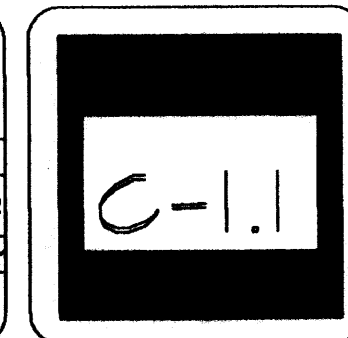
SCALE: 1" = 40'

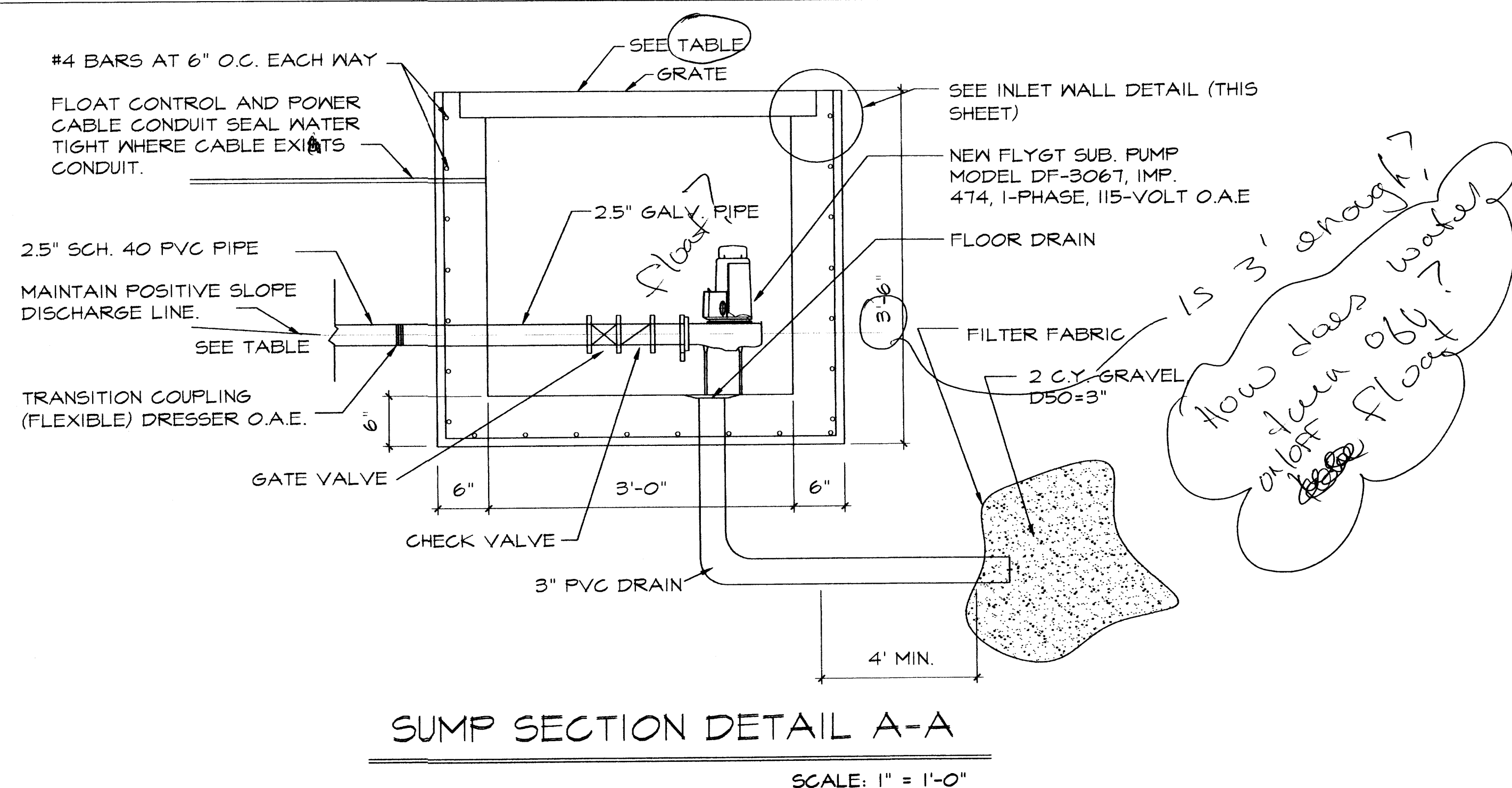


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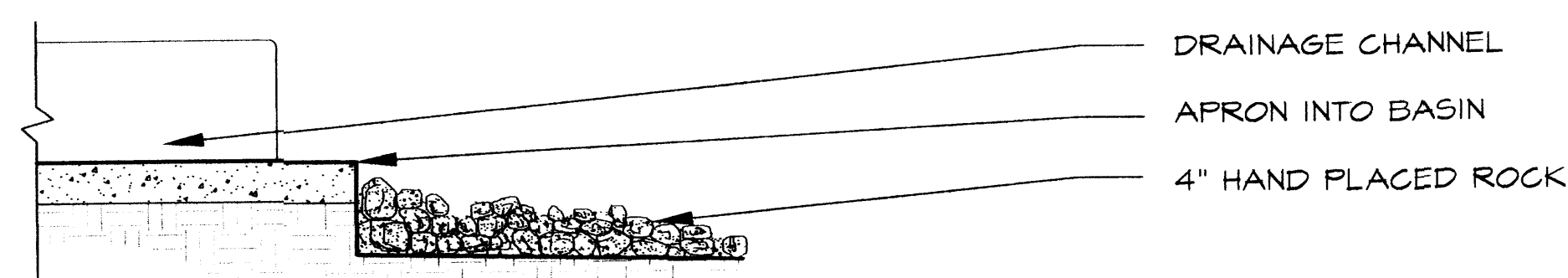
JOB TITLE: CHRISTOPHER LTD. OFFICE WAREHOUSE			
REVISION: 4-29-02	FILE NAME C-LTD-C11	JOB NO. 1	DATE 04-29-02
SHEET TITLE: GRADINGS & DRAINAGE PHASE I ENLARGED			DRAWN BY ACM





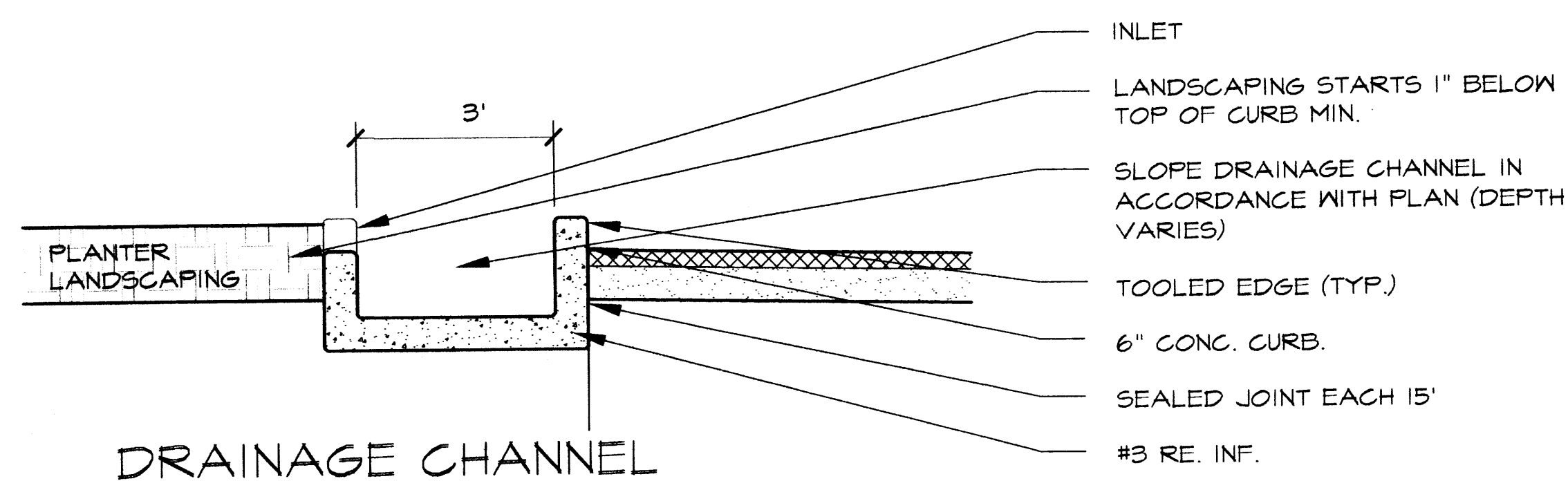
SUMP SECTION DETAIL A-A

SCALE: 1" = 1'-0"



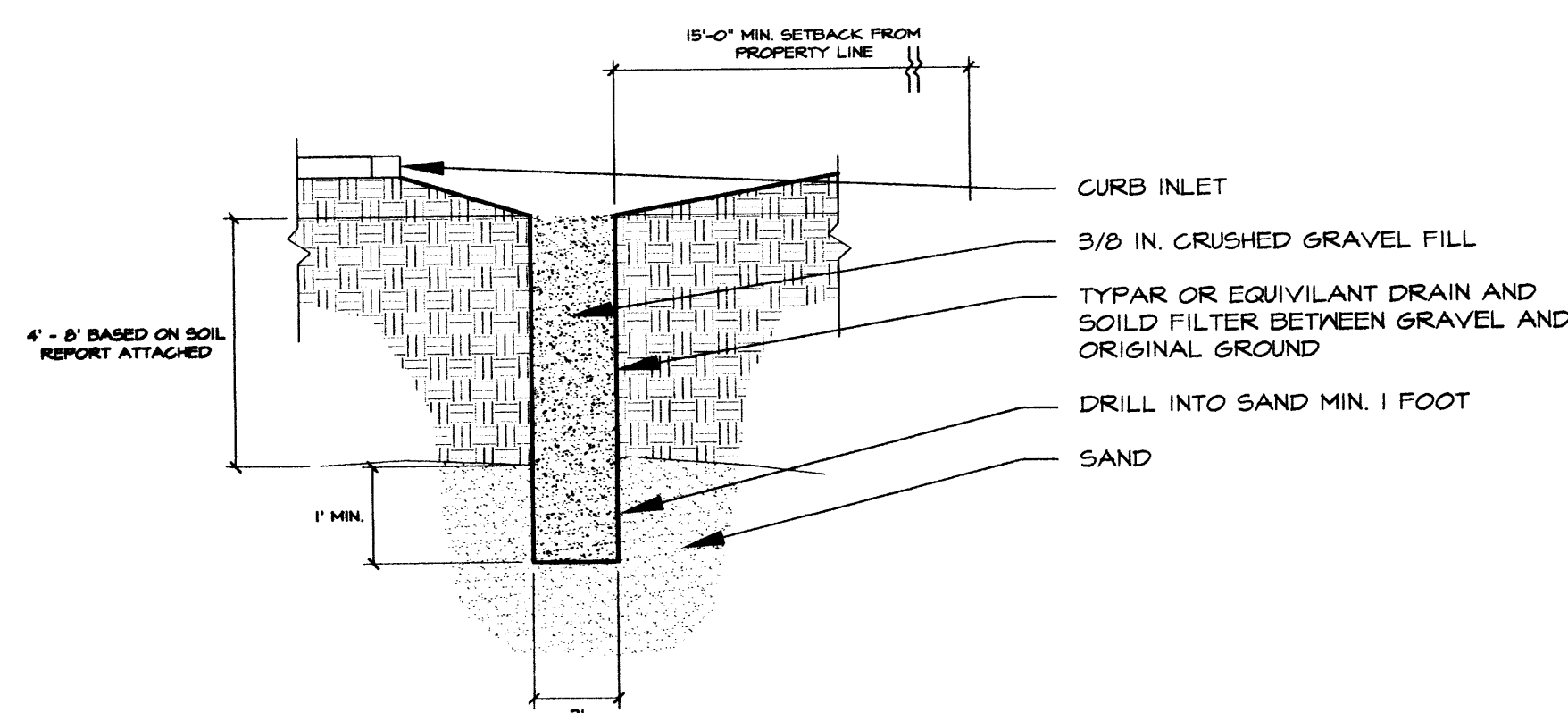
DRAINAGE- EROSION CONTROL

SCALE: 1/2" = 1'-0"



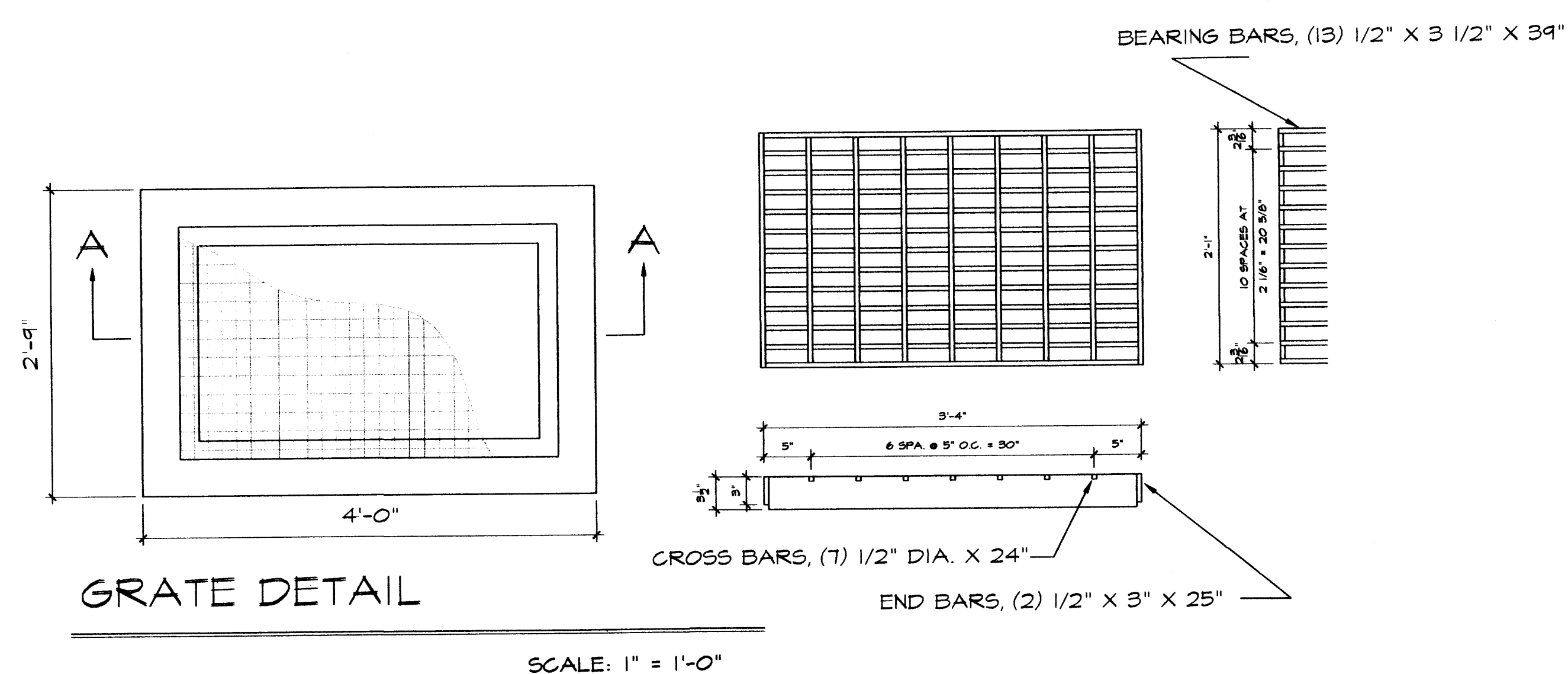
DRAINAGE CHANNEL

SCALE: 1/2" = 1'-0"



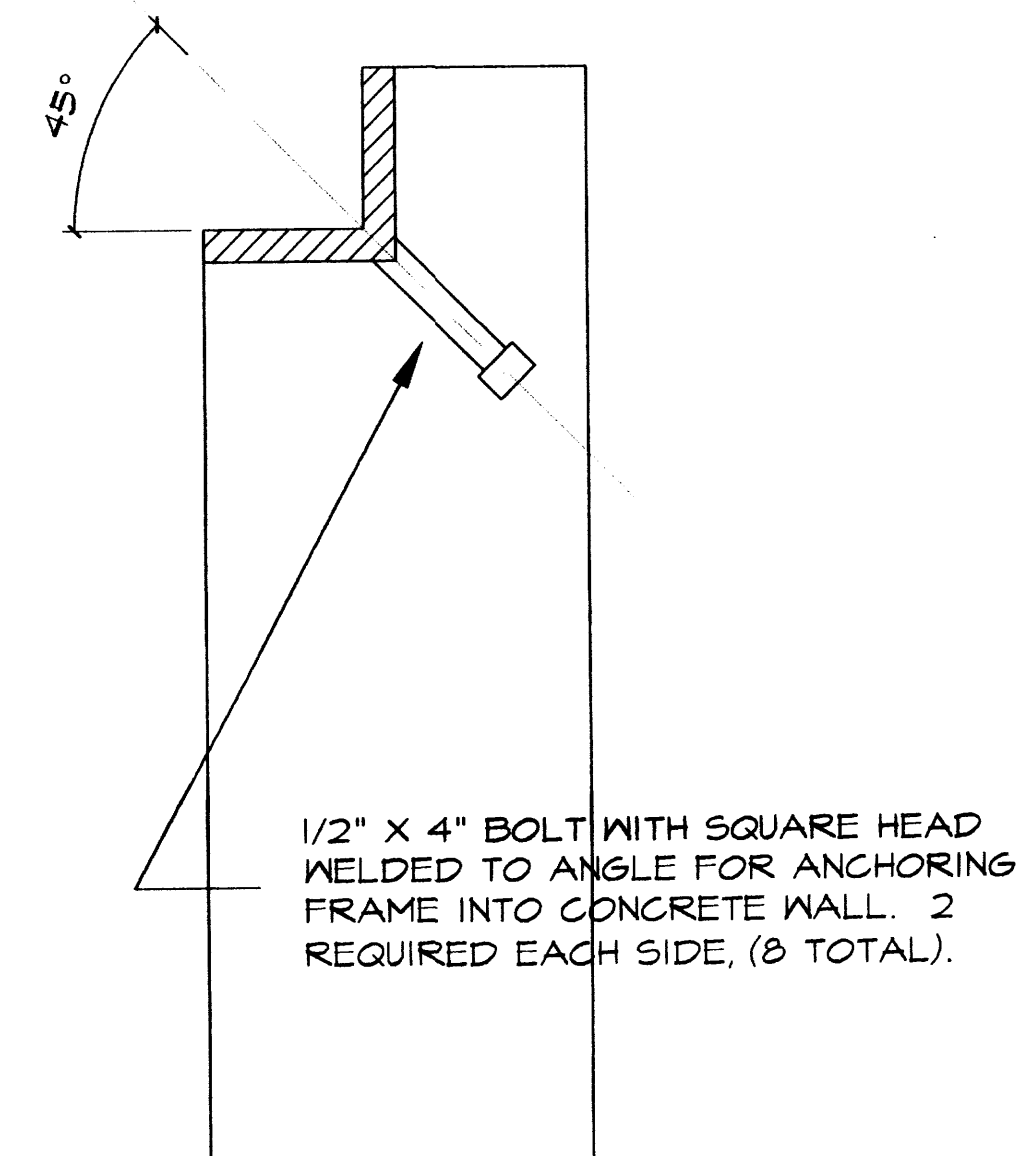
TYP. RECHARGE PIT SECTION

SCALE: 1/4" = 1'-0"



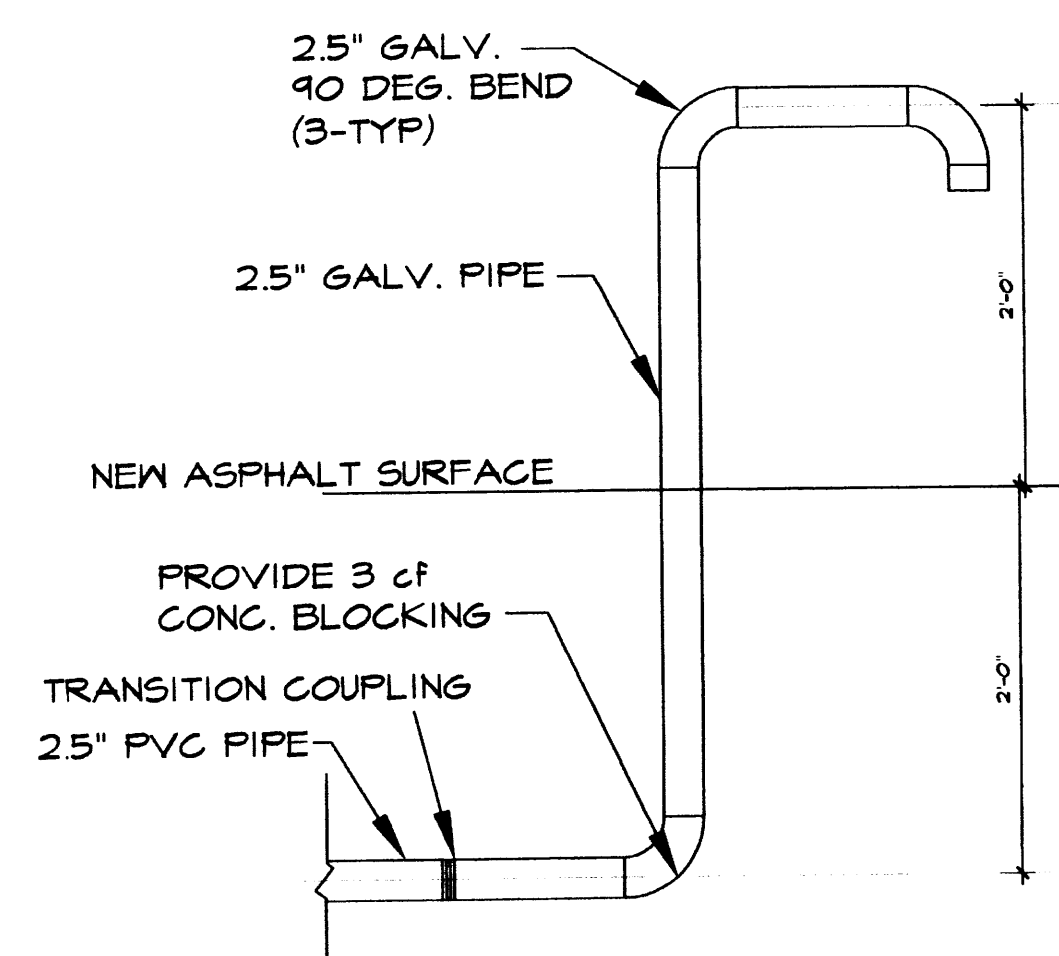
GRATE DETAIL

SCALE: 1" = 1'-0"



INLET WALL DETAIL

SCALE: 4" = 1'-0"

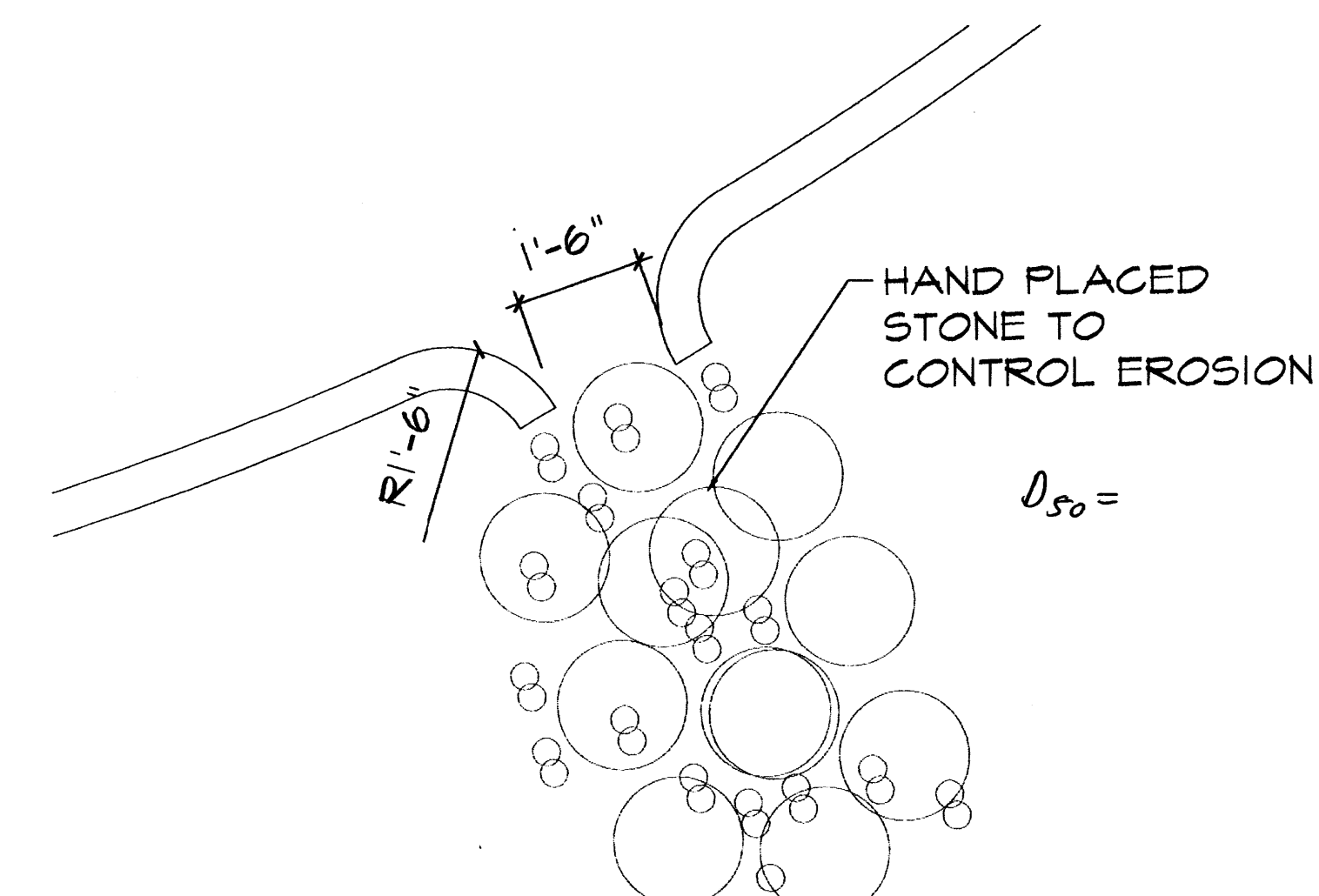


OUTLET DETAIL

SCALE: 1" = 1'-0"

INLET CONSTRUCTION NOTES

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TYPICAL CURB INLET

SCALE: 1/2" = 1'-0"

KCC

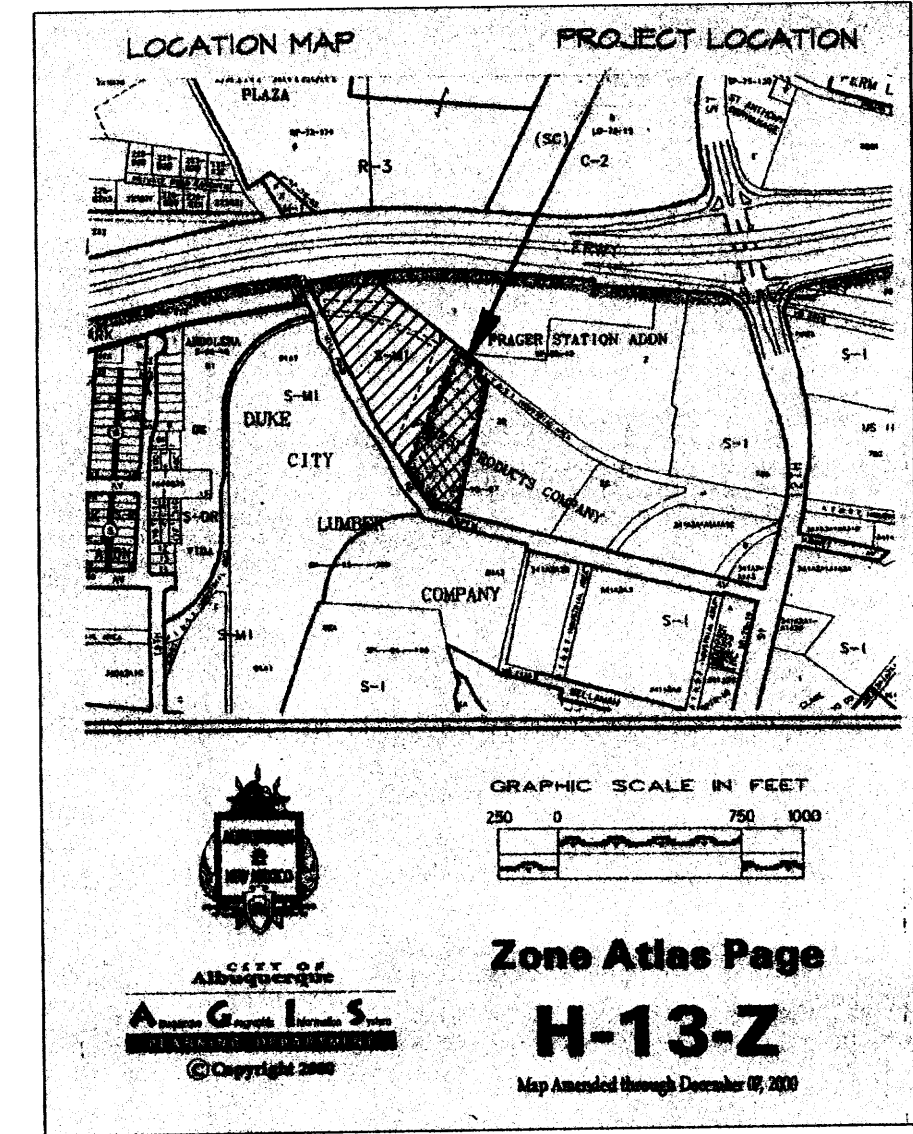
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

HLB
HAROLD L. BENNETT
P.E.

HAROLD L. BENNETT
P.E.
10776

JOB TITLE:	CHRISTOPHER LTD.
REVISION:	FILE NAME JOB NO. DATE
02.06.02 JON	C-LTD C-1
SHEET TITLE:	DRAWN BY
GRADING & DRAINAGE PLAN	REFC

C-2



Tract 2-A. Land of Forest
Products Co. Section 7, T. 10N., 3E.,
N.M.P.M. City of Albuquerque

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THE ART AND SCIENCE OF MODERN BUILDINGS

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GRADING & DRAINAGE PLAN			MPK

