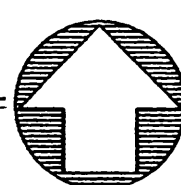


# SITE PLAN

SCALE: 1" = 10'-0"



**PREMISE ID**  
 TO BE 6" MIN HT. LETTERS/NUMBERS  
 ON CONTRASTING BACKGROUND  
 TO BE CLEARLY LEGIBLE FROM STREET  
 PER UPL 10301

10/18/02  
 [Signature]



## PARKING CRITERIA

OFFICE AREA.....800 SQ. FT. / 200 = 4 SPACES  
 FOOD PREP AREA.....800 SQ. FT. / 200 = 4 SPACES  
 FOOD STORAGE.....800 SQ. FT. 2,000 = 1 SPACE  
 TOTAL NUMBER OF SPACES REQUIRED.....9 SPACES  
 TOTAL NUMBER OF SPACES PROVIDED.....11 SPACES  
 INCLUDES (1) VAN ACCESSIBLE SPACE

## LANDSCAPING CRITERIA

TOTAL LOT SIZE.....11,325 SQ. FT.  
 NEW BUILDING SIZE .....2,400 SQ. FT.

LANDSCAPE AREAS  
 (ALL LANDSCAPE TO BE BY OWNER N.I.C.)  
 (INCLUDES DRIP IRRIGATION SYSTEM)

- (A).....1,314 SQ. FT.
- (B).....328 SQ. FT.
- (C).....378 SQ. FT.

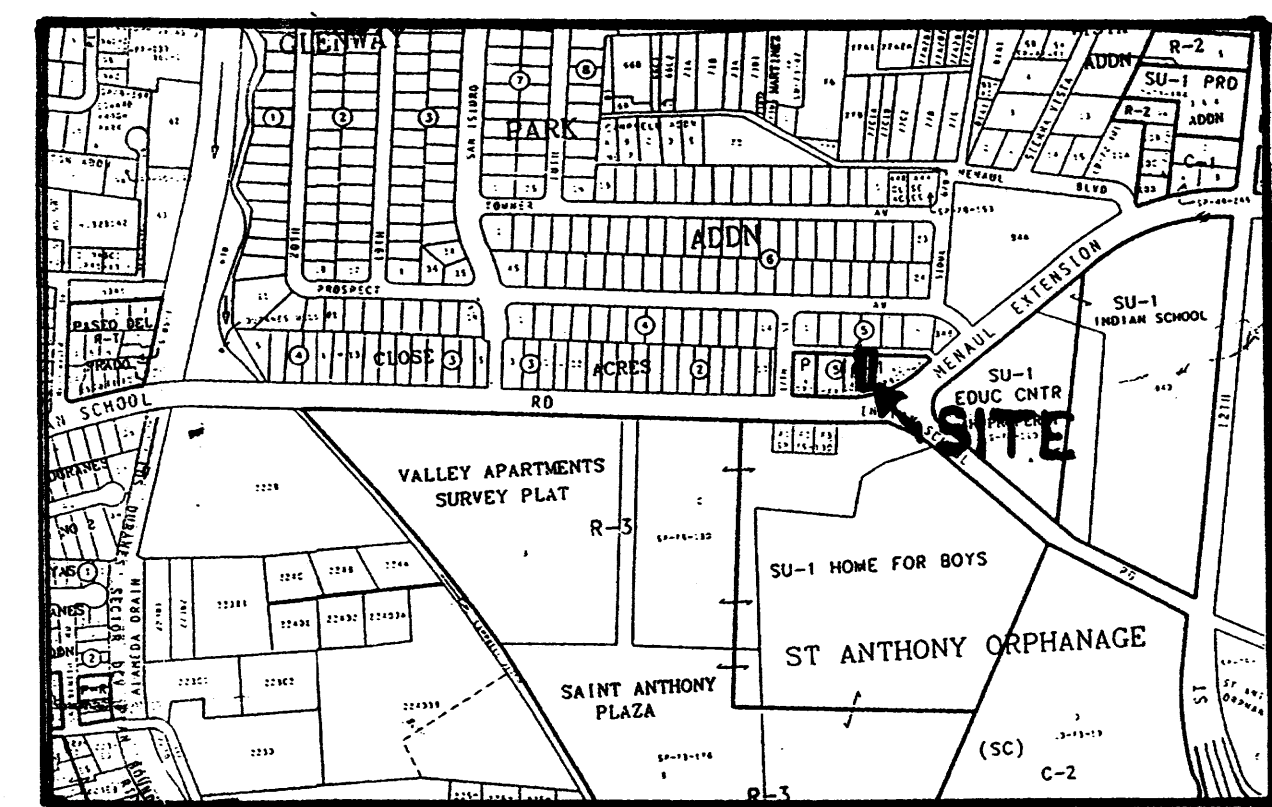
TOTAL AREA LANDSCAPING = 2,020 SQ. FT.  
 TOTAL AREA REQUIRED = (15% OF NET LOT) = 1,338 SQ. FT.

## LANDSCAPE LEGEND

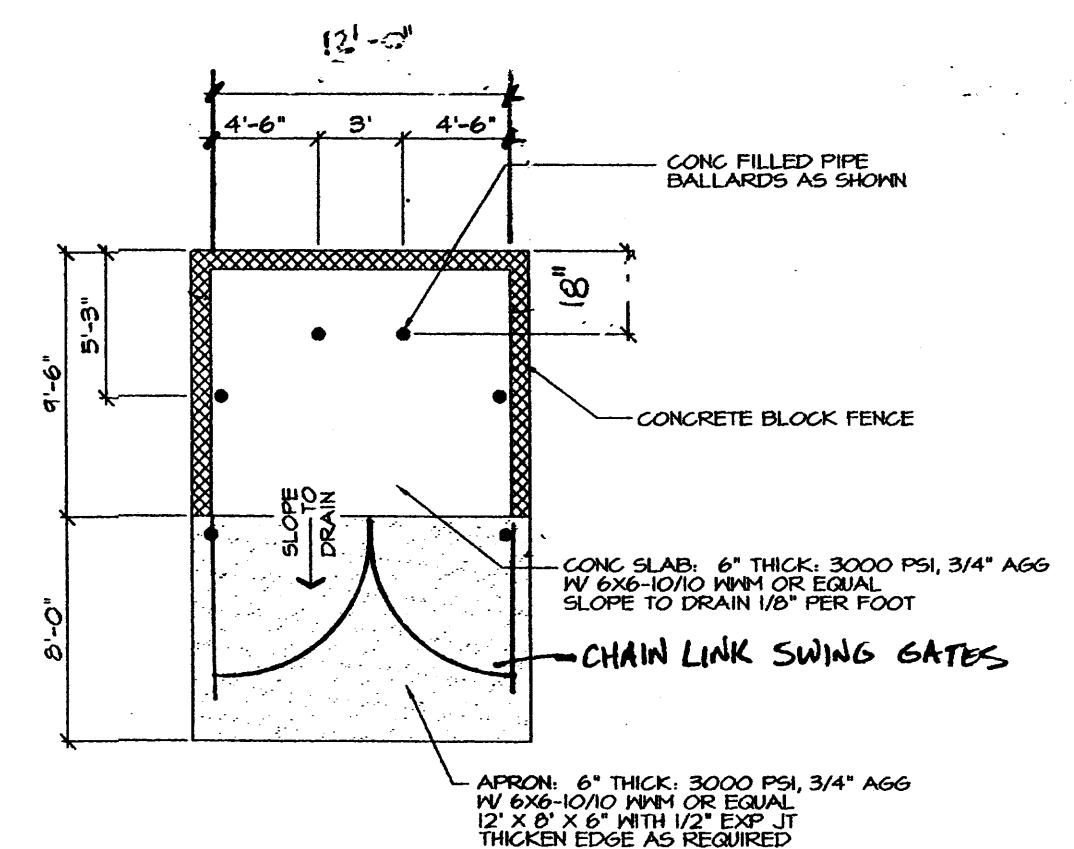
SYMBOL	PLANT TYPE
	STREET TREE GREEN ASH (FRAXINUS PENNSYLVANICA)
	SHRUB JUNIPER SHRUB (JUNIPERUS SCOPULORUM)
	GROUND COVER TAM JUNIPER (JUNIPERUS HORIZONTALIS)
	GRAVEL OVER WEED BARRIER

## LANDSCAPE NOTES

- LANDSCAPING AND IRRIGATION TO BE BY OWNER N.I.C.
- ALL LANDSCAPING IS TO BE DRIP SYSTEM IRRIGATED. (BY OWNER N.I.C.)
- LANDSCAPED AREAS ARE TO BE WEED FREE AND MAINTAINED BY THE OWNER.
- GROUND COVER TO HAVE 75% COVERAGE AT MATURITY.

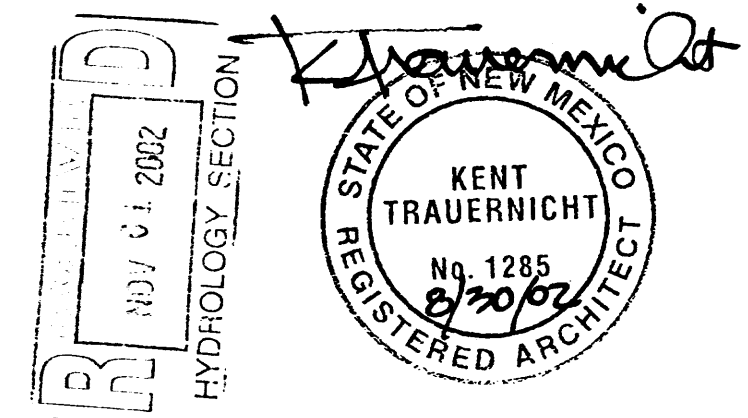


LOCATION MAP H-13-Z



## REFUSE ENCLOSURE

ALBUQUERQUE  
 BLDG & SAFETY  
 SEP 18 2002  
 U.S.C.  
 PLAN CHECK  
 SECTION



REVISION

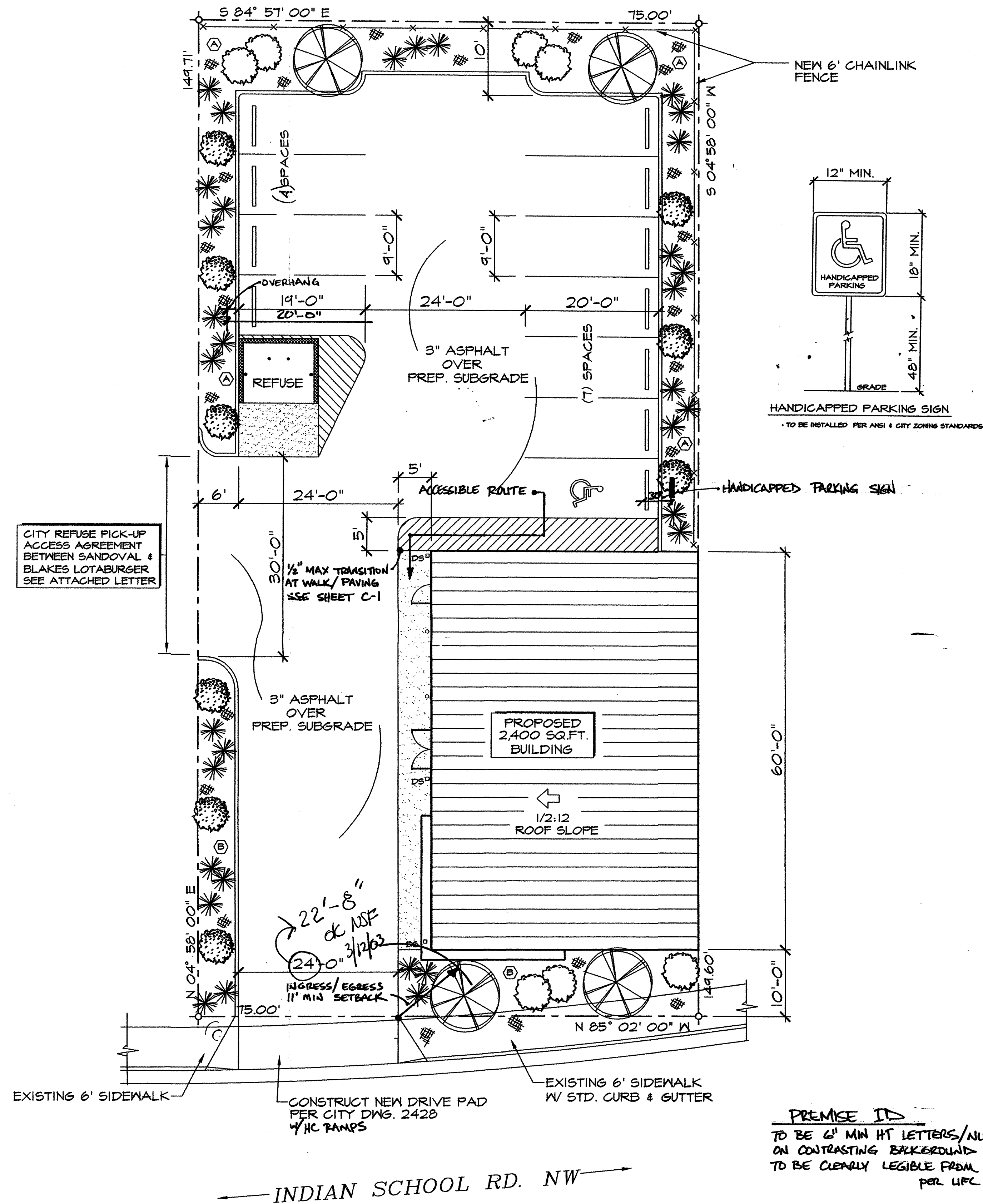
THESE PLANS WERE PREPARED BY SHIVER CONSTRUCTION CO. FOR SHIVER CONSTRUCTION CO. OR SHIVER CONSTRUCTION CO. FOR SHIVER CONSTRUCTION CO. WITHOUT WRITTEN CONSENT.

SHIVER CONSTRUCTION CO.  
 DESIGN/BUILD  
 ALBUQUERQUE, NEW MEXICO 87102 PHONE (505) 344-3461 FAX (505) 764-8198  
 100 IRON AVE SE  
 WWW.SHIVERCONSTRUCTIONCOMPANY.COM

A NEW BUSINESS OFFICE FOR:  
 DAVID SANDOVAL  
 1609 INDIAN SCHOOL RD. NE  
 ALBUQUERQUE, NEW MEXICO

SHEET  
 52  
 of  
 3  
 TOTAL PAGES

8/15/02  
 DATE  
 C-02-05  
 PROJECT NO.



# **SITE PLAN**

SCALE: 1" = 10'-0"

**PREMISE ID**  
TO BE 6" MIN HT LETTERS/NUMBERS ON CONTRASTING BACKGROUND TO BE CLEARLY LEGIBLE FROM STREET PER UPC 10301

10/10/02  
RWR

## **PARKING CRITERIA**

OFFICE AREA.....800 SQ.FT. / 200 = 4 SPACES  
FOOD PREP AREA.....800 SQ.FT. / 200 = 4 SPACES  
FOOD STORAGE.....800 SQ.FT. 2,000 = 1 SPACE  
TOTAL NUMBER OF SPACES REQUIRED.....4 SPACES  
TOTAL NUMBER OF SPACES PROVIDED.....11 SPACES  
INCLUDES (1) VAN ACCESSIBLE SPACE

## **LANDSCAPING CRITERIA**

TOTAL LOT SIZE.....11,325 SQ. FT.  
NEW BUILDING SIZE .....2,400 SQ. FT.

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(ALL LANDSCAPE TO BY OWNER N.I.C.)  
(INCLUDES DRIP IRRIGATION SYSTEM)

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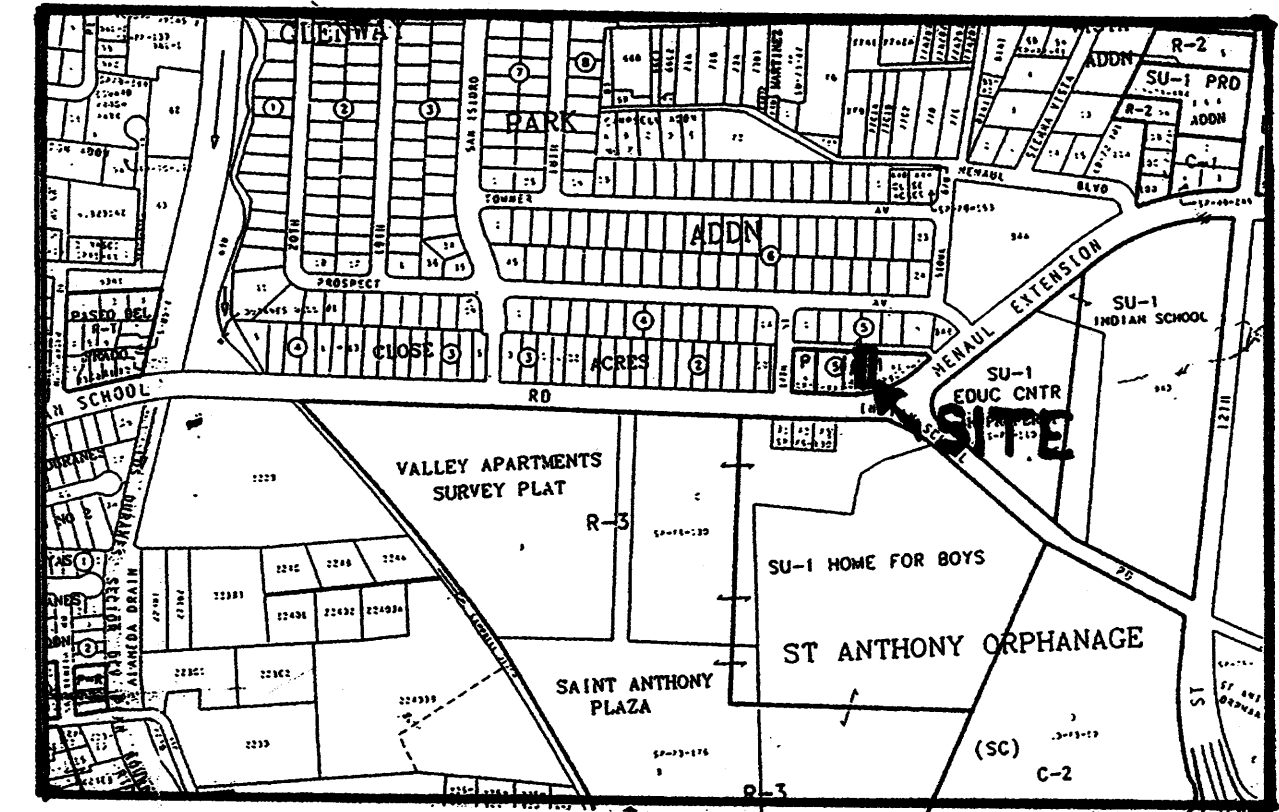
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## **LANDSCAPE LEGEND**

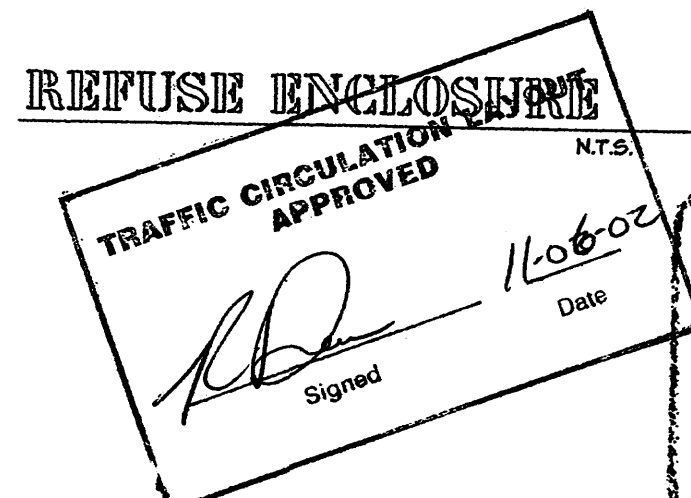
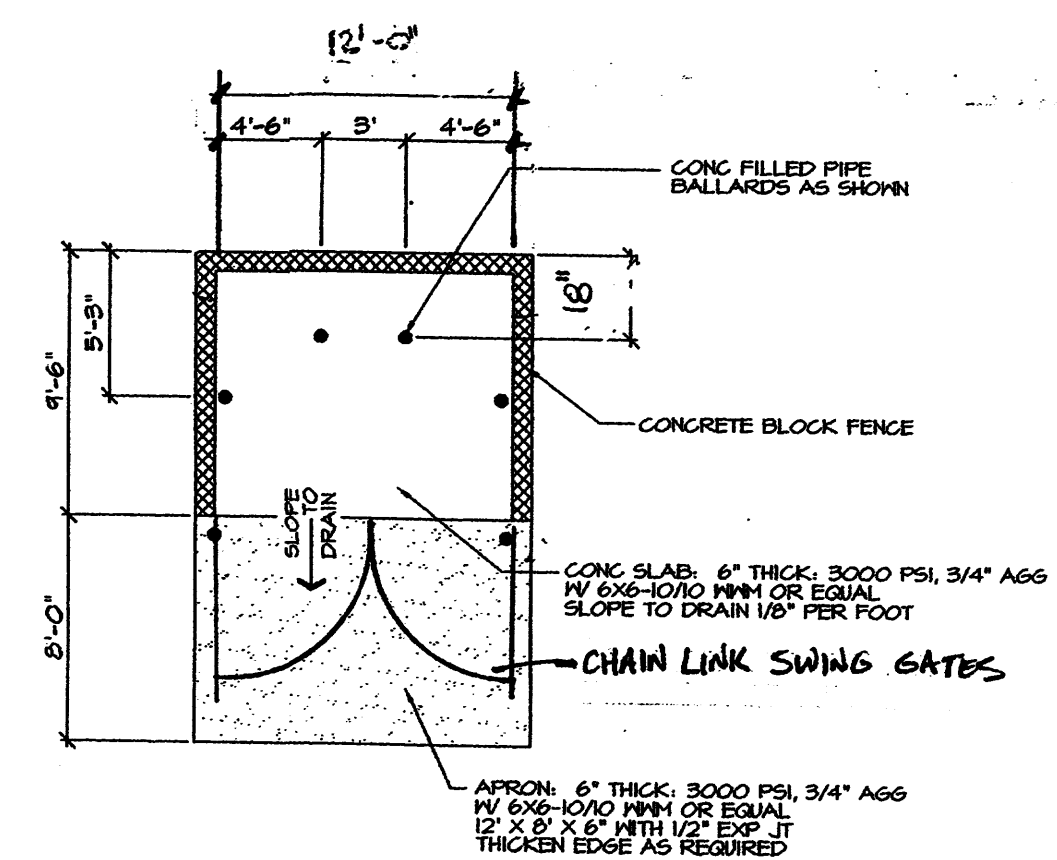
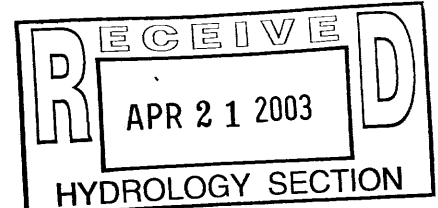
SYMBOL	PLANT TYPE
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	GROUND COVER TAM JUNIPER (JUNIPERUS HORIZONTALIS)
	GRAVEL OVER WEED BARRIER

## **LANDSCAPE NOTES**

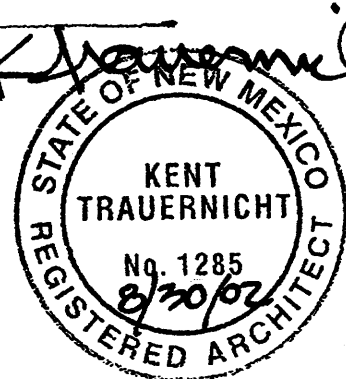
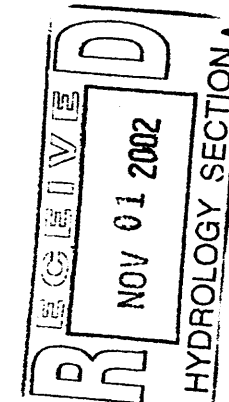
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LOCATION MAP H-13-Z



ALBUQUERQUE BLDG & SAFETY  
SEP 18 2002  
U.S.C. PLAN CHECK SECTION



REVISION

THESE PLANS WERE PREPARED BY SHIVER CONSTRUCTION CO. FOR THE PROJECT OF VALLEY APARTMENTS SURVEY PLAT. THESE PLANS WERE PREPARED BY SHIVER CONSTRUCTION CO. FOR THE PROJECT OF VALLEY APARTMENTS SURVEY PLAT. THESE PLANS WERE PREPARED BY SHIVER CONSTRUCTION CO. FOR THE PROJECT OF VALLEY APARTMENTS SURVEY PLAT.

**SHIVER CONSTRUCTION CO.**  
DESIGN/BUILD  
ALBUQUERQUE, NEW MEXICO 87102  
100 IRON AVE. SE  
ALBUQUERQUE, NEW MEXICO  
PHONE (505) 344-3461 FAX (505) 764-8098  
WWW.SHIVERCONSTRUCTIONCOMPANY.COM

A NEW BUSINESS OFFICE FOR:  
**DAVID SANDOVAL**  
1609 INDIAN SCHOOL RD. NE  
ALBUQUERQUE, NEW MEXICO

SHEET  
**22**  
of  
**3**  
TOTAL PAGES

8/15/02  
DATE  
C-02-05  
PROJECT NO.





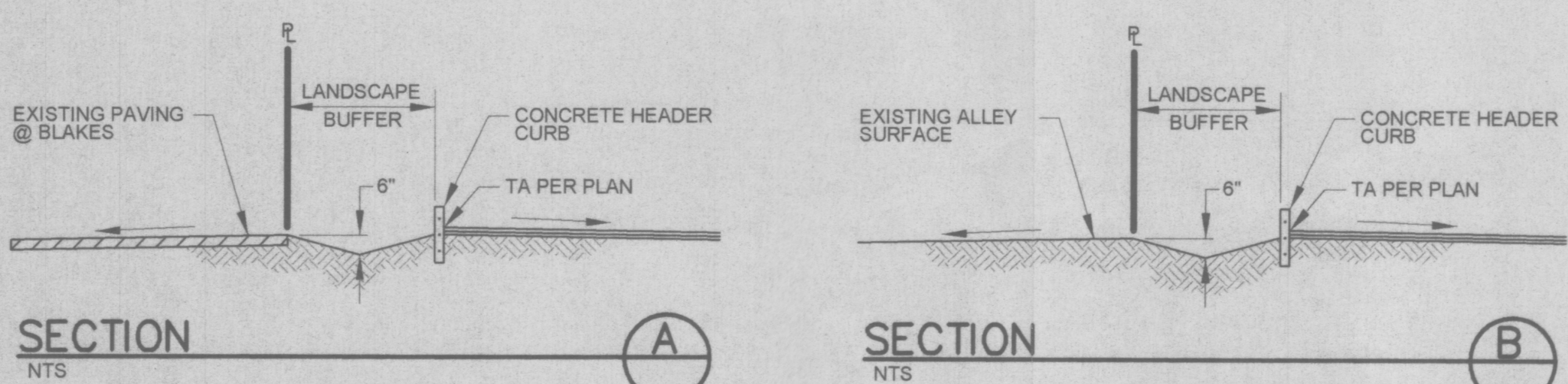
LOT A, REPLAT  
LOTS 10-12 BLOCK 5  
GLENWAY PARK ADDITION  
BOOK B-11, PAGE 18, 2/23/76

TRACT A1, REPLAT LOTS 7, 8,  
EAST 30 FT. LOT 9  
GLENWAY PARK ADDITION  
BOOK C-17, PAGE 30 7/30/80

PROPOSED  
2,400 SQ. FT.  
BUILDING  
FF = 4962.25

INDIAN SCHOOL ROAD NW

CONSIDERED  
INFILL SITE  
SD sized for developed conditions  
Small increase overall basin



SECTION  
NTS

SECTION  
NTS

#### LEGEND

- 0001 — EXISTING CONTOUR ELEVATION
- 02.5 x EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- • — PROPERTY LINE
- 01.5 x PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- DRAINAGE SWALE

#### KEYED NOTES

1. EXISTING STD CURB & GUTTER
2. EXISTING 6" SIDEWALK
3. EXISTING ASPHALT PAVEMENT
4. EXISTING BLOCK WALL
5. EXISTING CONCRETE VALLEY GUTTER
6. NEW PAVEMENT - 3" ASPHALT OVER COMPACTED SUBGRADE
7. NEW 6" CONCRETE CURB
8. NEW CONCRETE SIDEWALK FLUSH W/ ASPHALT
9. STRIPING - SEE SITE PLAN
10. NEW REFUSE ENCLOSURE - SEE SITE PLAN
11. UNIMPROVED 20' ALLEY
12. SAWCUT & REMOVE EXISTING ASPHALT TO LIMITS SHOWN
13. REMOVE & DISPOSE 34 LF EXISTING C&G AND SIDEWALK CONSTRUCT NEW DRIVEPAD PER CITY STD DWG 2428
14. INSTALL 6" CHAIN LINK FENCE
15. EXISTING PONDING AREA
16. NEW LANDSCAPING PER LANDSCAPING PLAN

#### PROPERTY ADDRESS

1613 INDIAN SCHOOL RD. NE

#### LEGAL DESCRIPTION

PORTIONS OF LOTS 9 & 10,  
BLOCK 5, GLENWAY PARK ADDITION

#### PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK, STAMPED  
"ACS BM. 10-H13", EPOXYED ON TOP OF  
THE CONCRETE CURB RETURN,  
WNW QUADRANT OF INDIAN SCHOOL  
RD. & 17TH ST. NW,  
ELEV = 4960.180

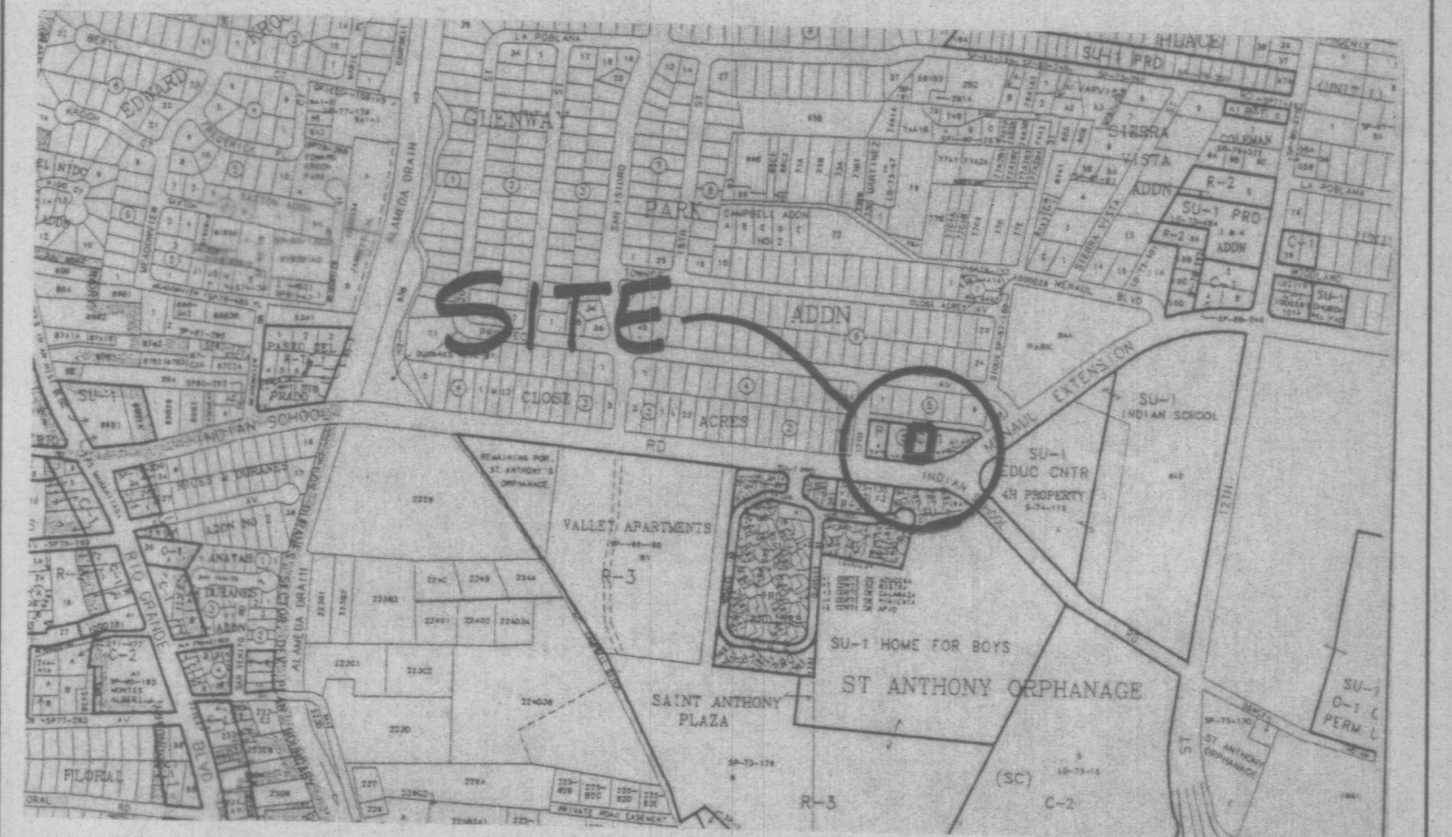
#### SURVEY

TOPOGRAPHIC AND FIELD MEASUREMENTS BY  
BRASHER & LORENZ INC.  
JULY, 2002

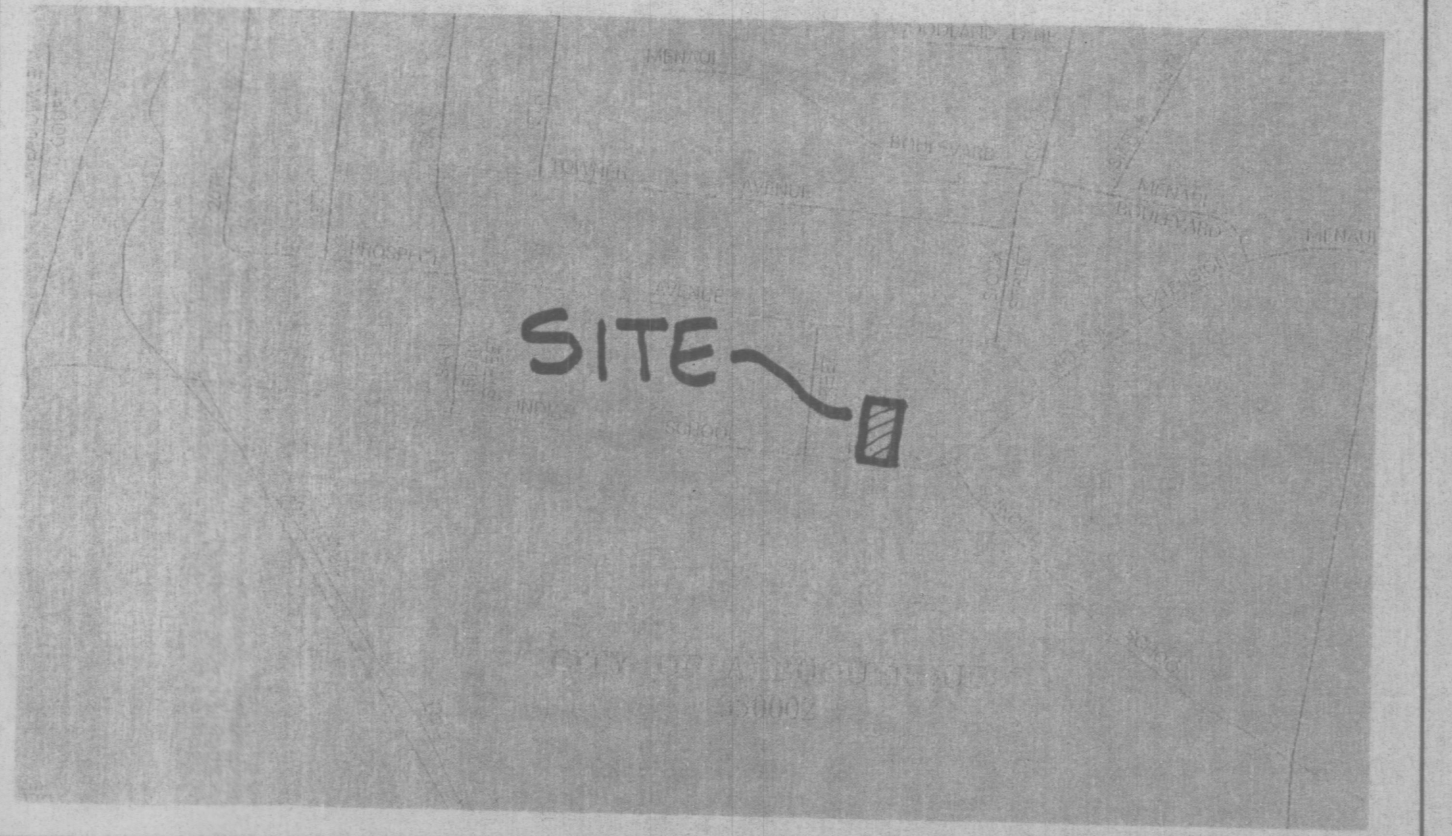
#### DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the Contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevation are top of pavement or finished grade unless noted otherwise.

PROJECT HYDROLOGY									
DAVID SANDOVAL									
ZONE:		2							
P <sub>1</sub> HOUR		2.35							
P <sub>10</sub> DAY		3.95							
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.26	0.00	0.00	0.26	0.00	1.13	0.82	0.024	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.26	0.00	0.01	0.03	0.22	1.95	1.15	0.042	



H-13 LOCATION MAP NTS



FIRM PANEL NTS

#### GRADING AND DRAINAGE PLAN

#### PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling development runoff from the project site. The project consists of the construction of an office building for David Sandoval, located 1613 Indian School Road NW. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

#### EXISTING CONDITIONS

The project site is approximately 0.26 acres in size and is located on Indian School Road NW east of 17th Street. The project site is particularly described as Portions of Lots 9&10, Block 5, Glenway Park Addition. The site is bounded by developed commercial land on the east and west, Indian School on the south, and an unimproved alley on the north. The site, located on the north valley floor, is nearly flat. Drainage flows appear to drain slightly toward Indian School road. The site does not appear to be impacted by off-site flows. The unimproved alley drains slightly to the west, toward 17th Street. Allups Convenience store, located on the east, drains south to Indian School. Blake's Lota Burger located to the west drain north to a small retention pond and south to Indian School. A drop inlet located at Indian School just west of 17th Street intercepts Indian School and 17th Street flows.

As shown by the attached FIRM Panel, a Flood Hazard Zone does not impact this site.

#### PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of an office building for David Sandoval, with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

All drainage flows will be managed on-site by paved swales that discharge to Indian School Road. Indian School Road will convey excess runoff to the existing drop inlet located just west of 17th Street. No runoff will be discharged to the unimproved alley. Since this is an infill project with access to an existing public storm drain, no on-site ponding is recommended.

#### EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

#### CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling within the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

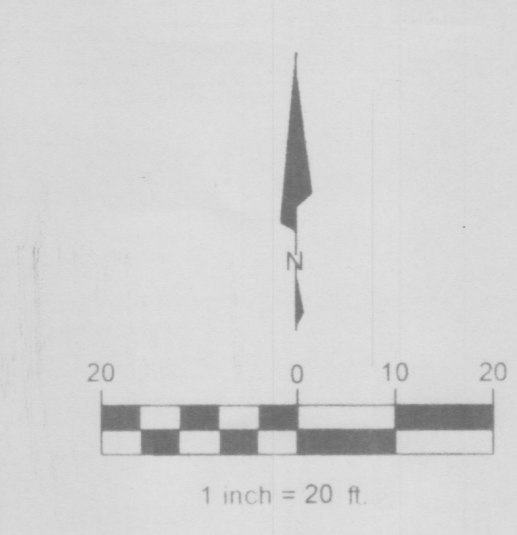
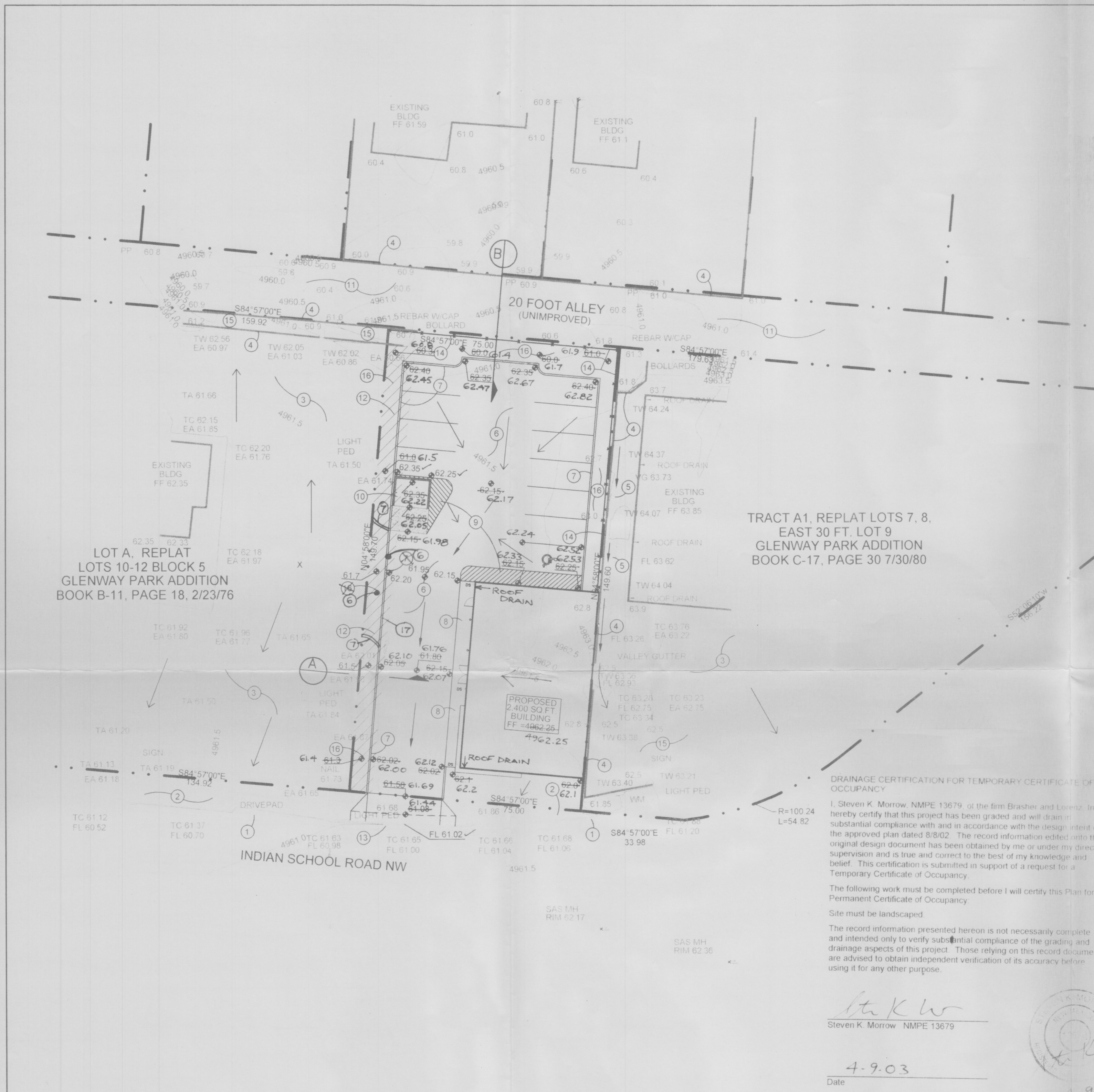
DAVID SANDOVAL OFFICE  
GRADING & DRAINAGE PLAN



**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: RM  
CHECKED BY: D.A.L.  
FILE: 02529-BASE.DWG  
DATE: AUGUST 2002  
SHEET C-1





- LEGEND**
- 6001 EXISTING CONTOUR ELEVATION
  - 02.5 x EXISTING SPOT ELEVATION
  - 01 PROPOSED CONTOUR ELEVATION
  - PROPERTY LINE
  - 01.5 x PROPOSED SPOT ELEVATION
  - ← DIRECTION OF FLOW
  - DRAINAGE SWALE

**KEYED NOTES**

- EXISTING STD CURB & GUTTER
- EXISTING 6" SIDEWALK
- EXISTING ASPHALT PAVEMENT
- EXISTING BLOCK WALL
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- NEW REFUSE ENCLOSURE - SEE SITE PLAN
- UNIMPROVED 20' ALLEY
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- INSTALL 6" CHAIN LINK FENCE
- EXISTING PONDING AREA
- NEW LANDSCAPING PER LANDSCAPING PLAN
- 36 FT. OF CURB OMITTED FROM PROJECT

**PROPERTY ADDRESS**

1613 INDIAN SCHOOL RD. NE

**LEGAL DESCRIPTION**

PORTIONS OF LOTS 9 & 10, BLOCK 5, GLENWAY PARK ADDITION

**PROJECT BENCHMARK**

ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 10-H13", EPOXIED ON TOP OF THE CONCRETE CURB RETURN, WNW QUADRANT OF INDIAN SCHOOL RD. & 17TH ST. NW ELEV = 4960.180

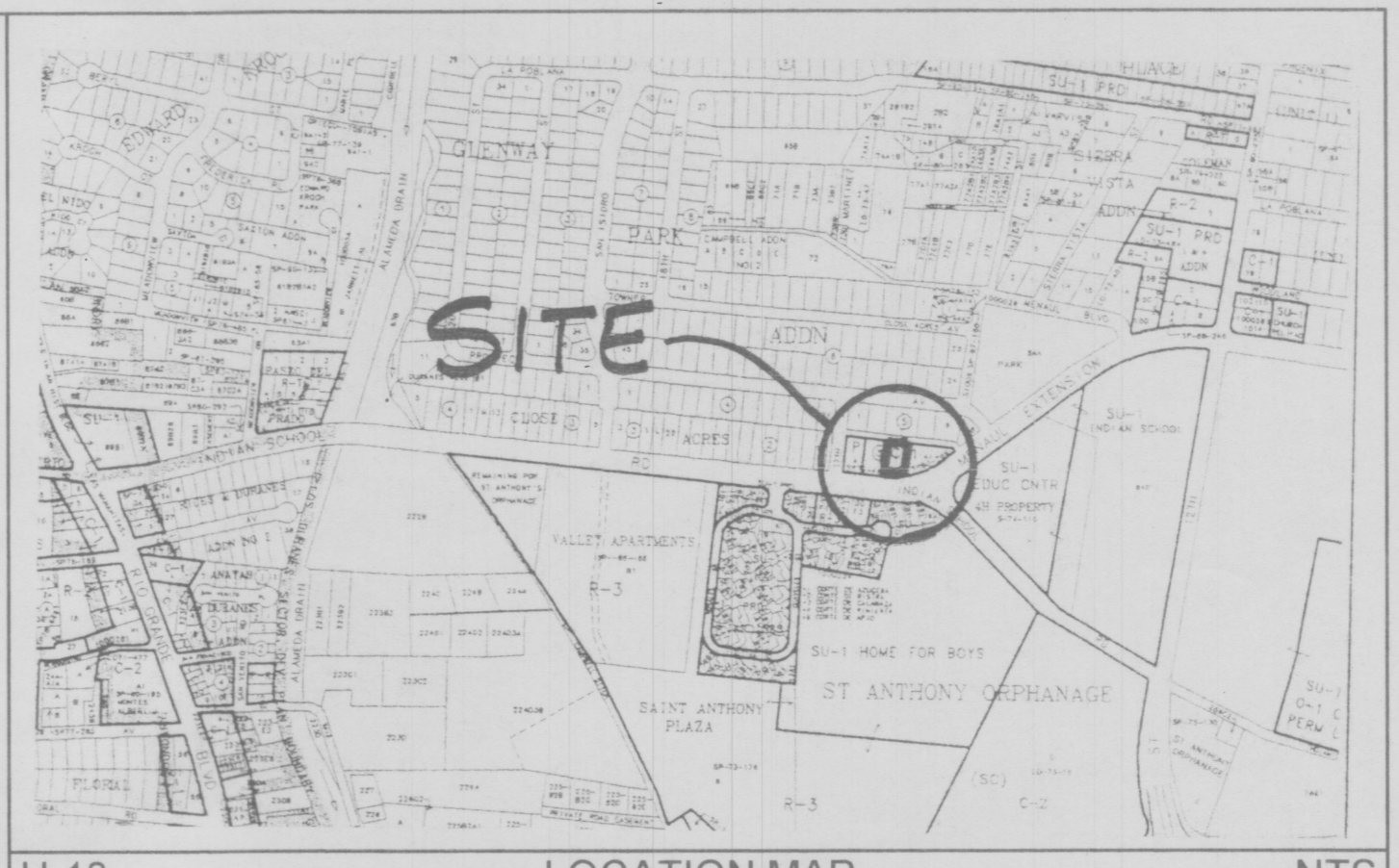
**SURVEY**

TOPOGRAPHIC AND FIELD MEASUREMENTS BY BRASHER & LORENZ INC. JULY, 2002

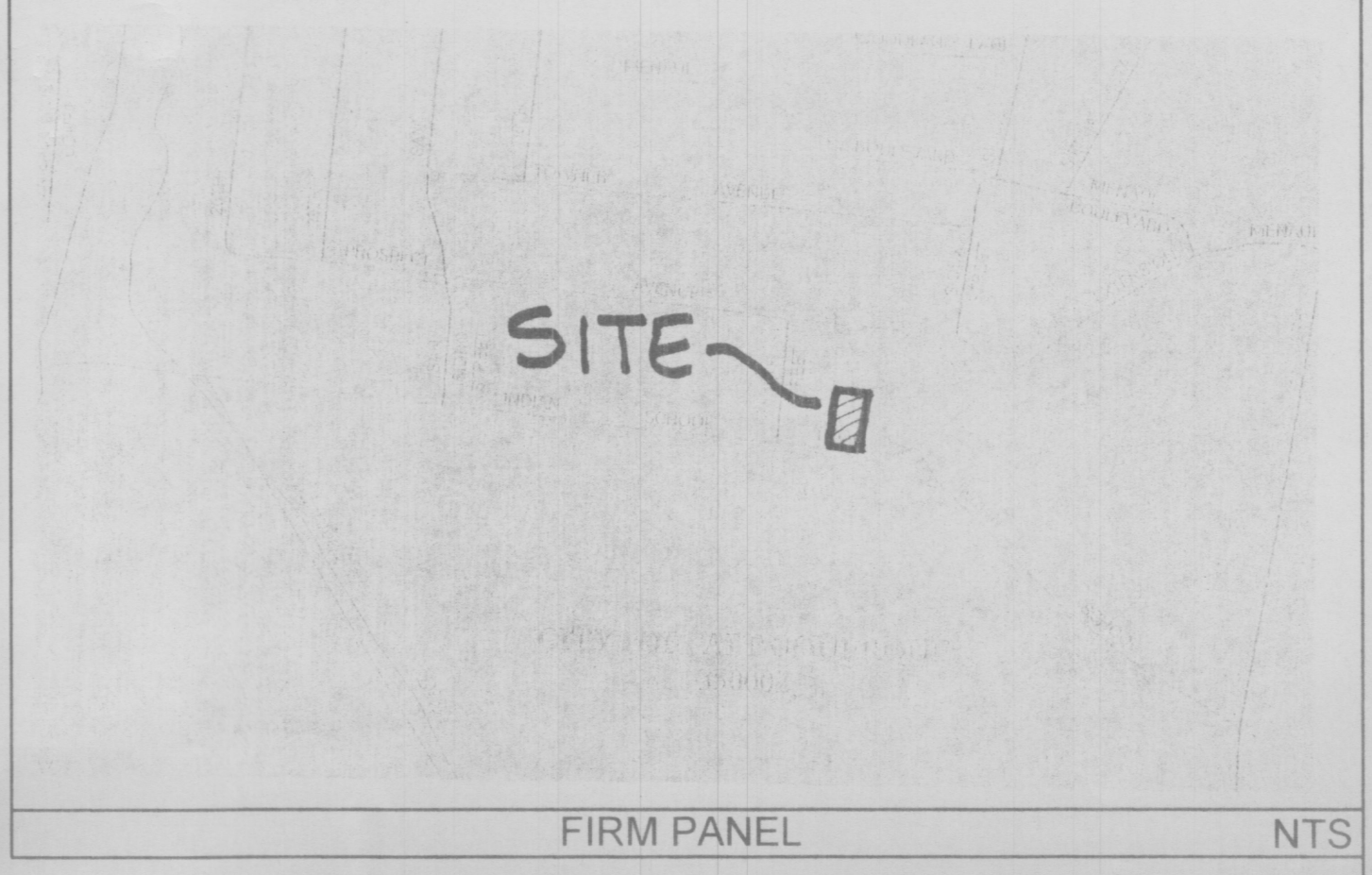
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PROJECT HYDROLOGY									
DAVID SANDOVAL									
ZONE	2								
PER HOUR	2.35								
PER DAY	3.95								
UNDEVELOPED									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
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DEVELOPED (PROPOSED)									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
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H-13 LOCATION MAP NTS



FIRM PANEL NTS

**GRADING AND DRAINAGE PLAN**

**PURPOSE AND SCOPE**

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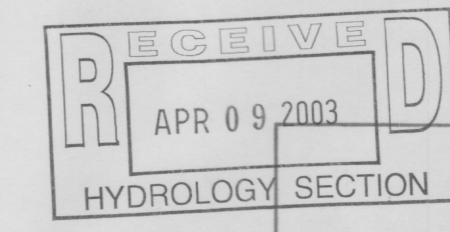
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**EROSION CONTROL**

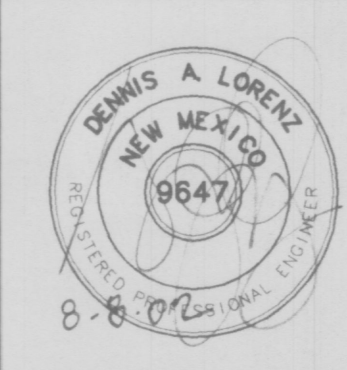
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**CALCULATIONS**

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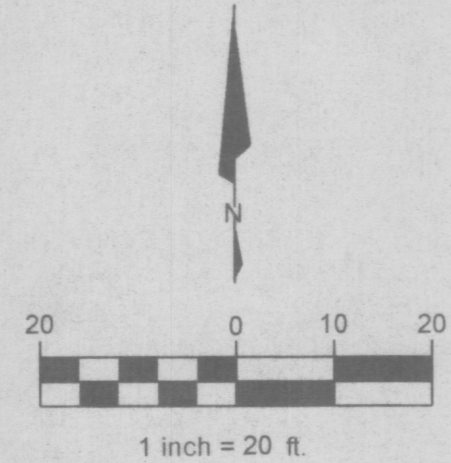
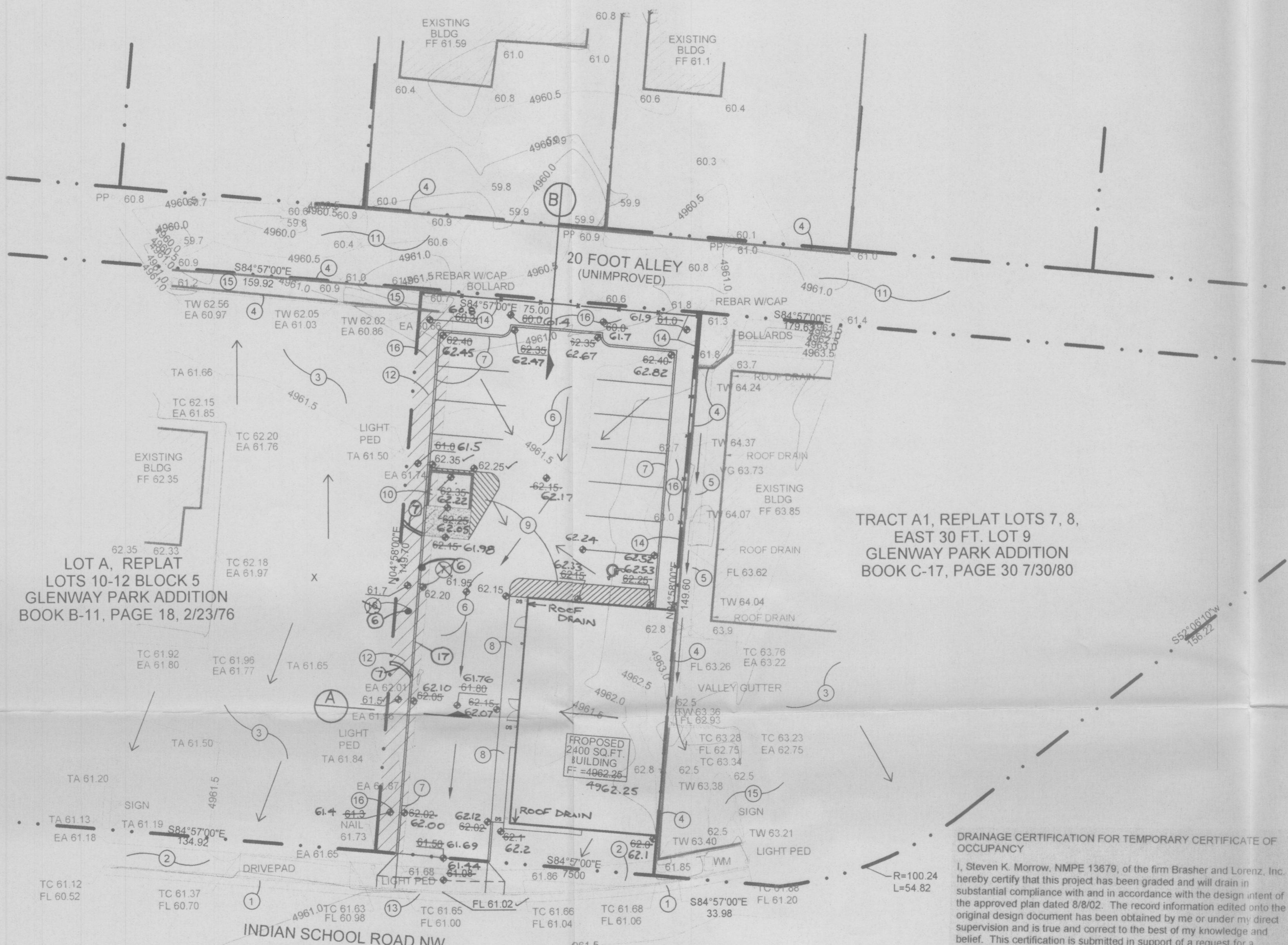
**DAVID SANDOVAL OFFICE**  
**GRADING & DRAINAGE PLAN**



**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: RM DATE: AUGUST 2002  
CHECKED BY: D.A.L.  
FILE: 02529-BASE.DWG SHEET C-1





- LEGEND**
- 6001 — EXISTING CONTOUR ELEVATION
  - 02.5 x — EXISTING SPOT ELEVATION
  - 01 — PROPOSED CONTOUR ELEVATION
  - — — — — PROPERTY LINE
  - 01.5 — PROPOSED SPOT ELEVATION
  - ← — DIRECTION OF FLOW
  - — — — — DRAINAGE SWALE

**KEYED NOTES**

- EXISTING STD CURB & GUTTER
- EXISTING 6" SIDEWALK
- EXISTING ASPHALT PAVEMENT
- EXISTING BLOCK WALL
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- NEW 6" CONCRETE CURB
- NEW CONCRETE SIDEWALK FLUSH W/ ASPHALT
- STRIPING - SEE SITE PLAN
- NEW REFUSE ENCLOSURE - SEE SITE PLAN
- UNIMPROVED 20' ALLEY TO LIMITS SHOWN
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**PROPERTY ADDRESS**

1613 INDIAN SCHOOL RD. NE

**LEGAL DESCRIPTION**

PORTIONS OF LOTS 9 & 10, BLOCK 5, GLENWAY PARK ADDITION.

**PROJECT BENCHMARK**

ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 10-H13", EPOXIED ON TOP OF THE CONCRETE CURB RETURN, WNW QUADRANT OF INDIAN SCHOOL RD. & 17TH ST. NW, ELEV = 4960.180

**SURVEY**

TOPOGRAPHIC AND FIELD MEASUREMENTS BY BRASHER & LORENZ INC. JULY, 2002

**DRAINAGE PLAN NOTES**

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevation are top of pavement or finished grade unless noted otherwise.

**DRAINAGE CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY**  
I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8/8/02. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Temporary Certificate of Occupancy.

The following work must be completed before I will certify this Plan for a Permanent Certificate of Occupancy:  
Site must be landscaped.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

*Steven K. Morrow*  
Steven K. Morrow NMPE 13679

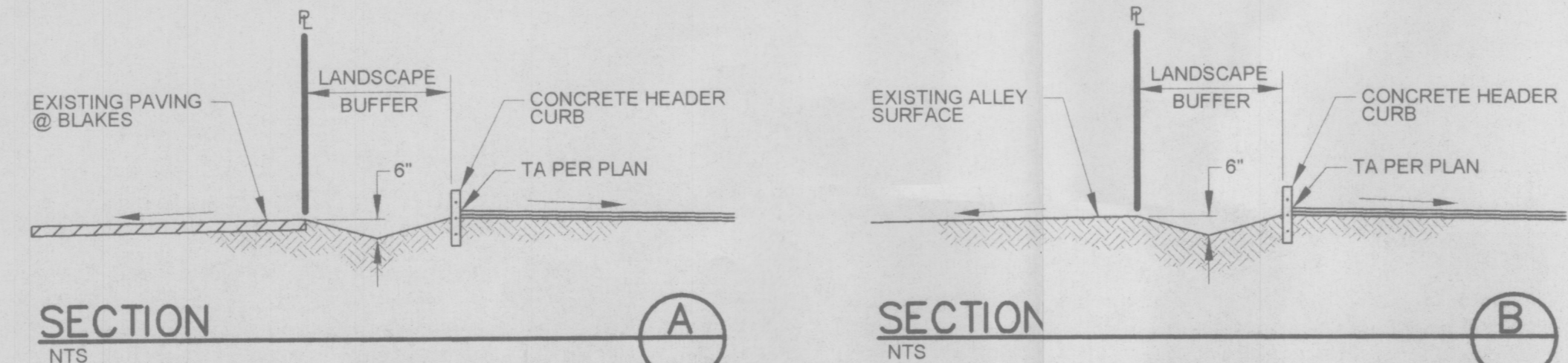
4-9-03  
Date

**ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY**

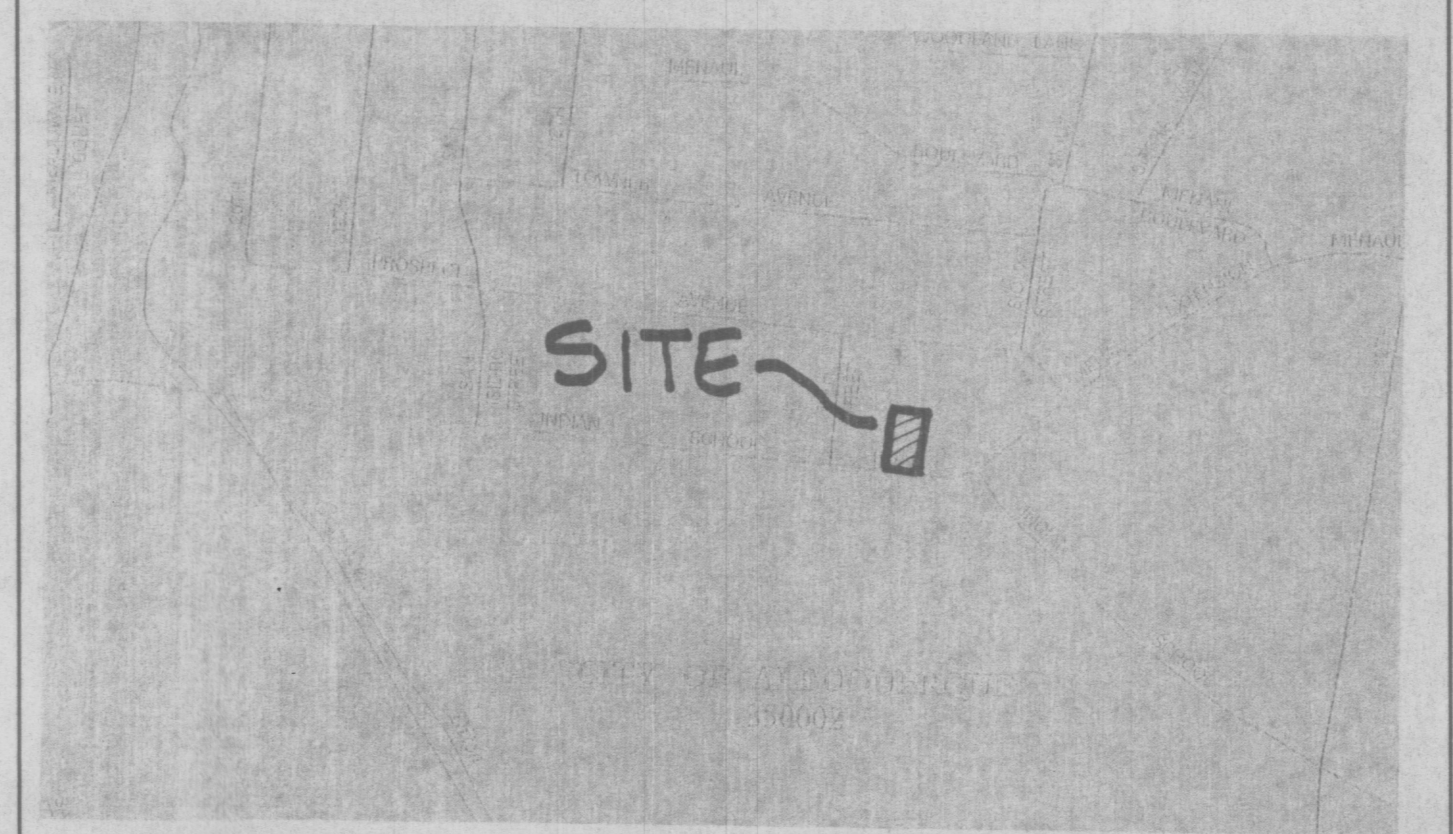
I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the exceptions listed above have been completed.

*Steven K. Morrow* 4-25-03  
Steven K. Morrow NMPE 13679 Date

PROJECT HYDROLOGY								
DAVID SANDOVAL								
ZONE:	2							
P <sub>6</sub> HOUR	2.35							
P <sub>10</sub> DAY	3.95							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	0.26	0.00	0.00	0.26	0.00	1.13	0.82	0.024
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	0.26	0.00	0.01	0.03	0.22	1.95	1.15	0.042



H-13 LOCATION MAP NTS



FIRM PANEL NTS

**GRADING AND DRAINAGE PLAN**

**PURPOSE AND SCOPE**

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling development runoff from the project site. The project consists of the construction of an office building for David Sandoval, located 1613 Indian School Road NW. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

**EXISTING CONDITIONS**

The project site is approximately 0.26 acres in size and is located on Indian School Road NW east of 17th Street. The project site is particularly described as Portions of Lots 9&10, Block 5, Glenway Park Addition. The site is bounded by developed commercial land on the east and west, Indian School on the south, and an unimproved alley on the north. The site, located on the north valley floor, is nearly flat. Drainage flows appear to drain slightly toward Indian School road. The site does not appear to be impacted by off-site flows. The unimproved alley drains slightly to the west, toward 17th Street. Aikups Convenience store, located on the east, drains south to Indian School. Blake's Lota Burger located to the west drain north to a small retention pond and south to Indian School. A drop inlet located at Indian School just west of 17th Street intercepts Indian School and 17th Street flows.

As shown by the attached FIRM Panel, a Flood Hazard Zone does not impact this site.

**PROPOSED CONDITIONS**

As shown by the Plan, the project consists of the construction of an office building for David Sandoval, with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

All drainage flows will be managed on-site by paved swales that discharge to Indian School Road. Indian School Road will convey excess runoff to the existing drop inlet located just west of 17th Street. No runoff will be discharged to the unimproved alley. Since this is an infill project with access to an existing public storm drain, no on-site ponding is recommended.

**EROSION CONTROL**

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

**CALCULATIONS**

Calculations are provided which define the 100-year/6 hour design storm falling within the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

**DAVID SANDOVAL OFFICE  
GRADING & DRAINAGE PLAN**



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DRAWN BY: RM	DATE: AUGUST 2002
CHECKED BY: D.A.L.	SHEET C-1
FILE: 02529-BASE.DWG	