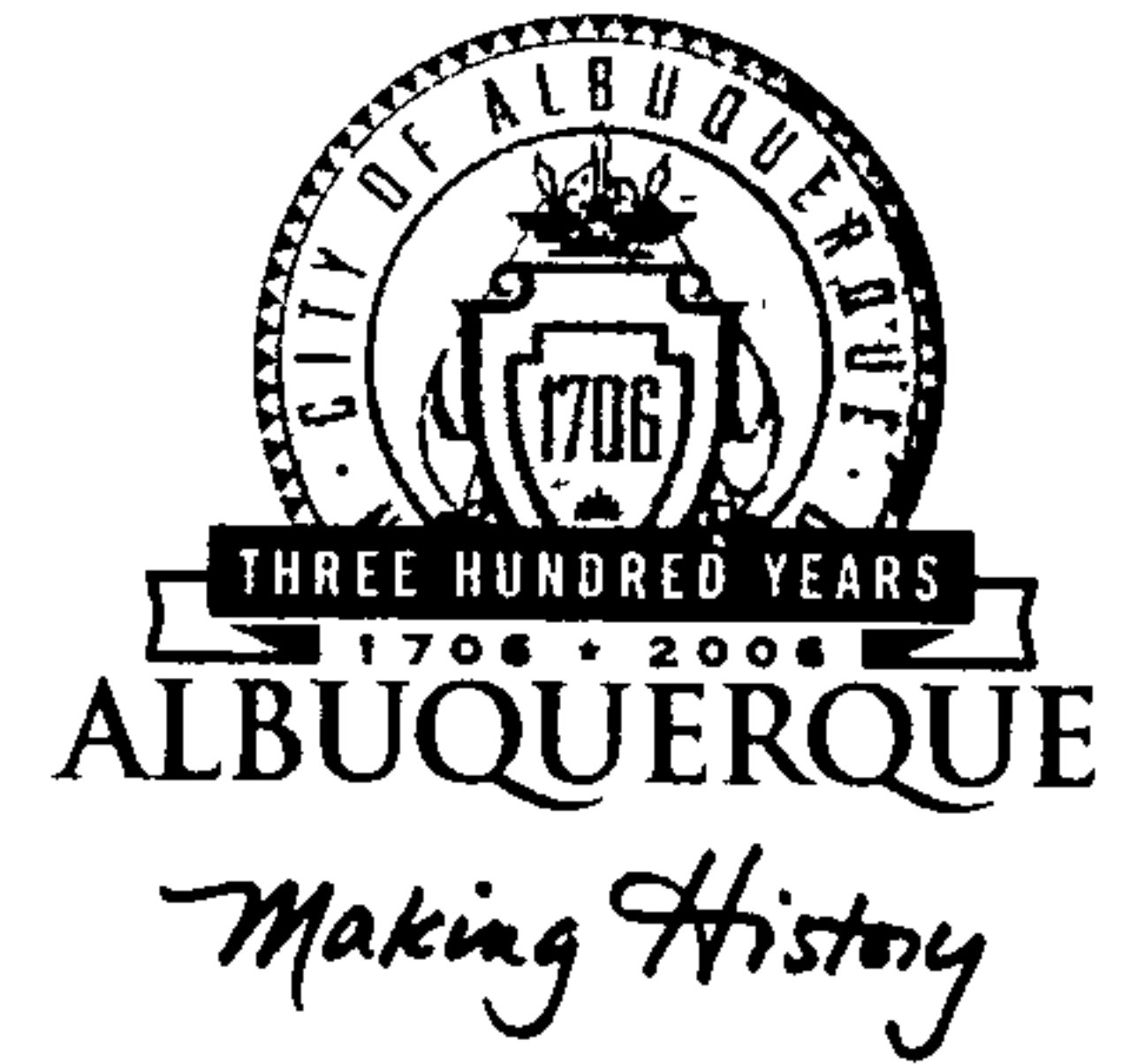


CITY OF ALBUQUERQUE



December 8, 2005

Mr. Marvin R. Kortum, PE
1605 Speakman Drive SE
Albuquerque, NM 87123

RE: RICE'S DURANES, LOTS 24A, 24B, 24C, 24D (H-13/D46)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 10/28/2004
Engineers Certification dated 12/06/2005

Dear Marvin:

Based upon the information provided in your Engineer's Certification Submittal dated 12/07/2005, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982

Albuquerque

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

www.cabq.gov

C: Marilyn Maldonado, COA# 721081
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

GRADING AND DRAINAGE PLAN

PROJECT TITLE: LOT 24-A, 24-B, 24-C & 24-D ZONE MAP/DRG: FILE #: H-13/D46
 DRB #: 1002636 EPC#: _____ WORK ORDER#: 721081

LEGAL DESCRIPTION: RILEY'S DRAINAGE ADDITION #1
 CITY ADDRESS: 2422 RILEY AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
 ADDRESS: 1605 Speakman Drive, SE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
 PHONE: (505) 299-0774
 ZIP CODE: 87123

OWNER: WAYNE LUJAN
 ADDRESS: 1321 TOBACCO RD SW
 CITY, STATE: ALBUQUERQUE

CONTACT: WAYNE LUJAN
 PHONE: (505) 307-1266
 ZIP CODE: 87105

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: SURBURY SOUTHWEST
 ADDRESS: 333 LOMAS BLVD NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: DAN GRADY
 PHONE: 988 0303
 ZIP CODE: 87102

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

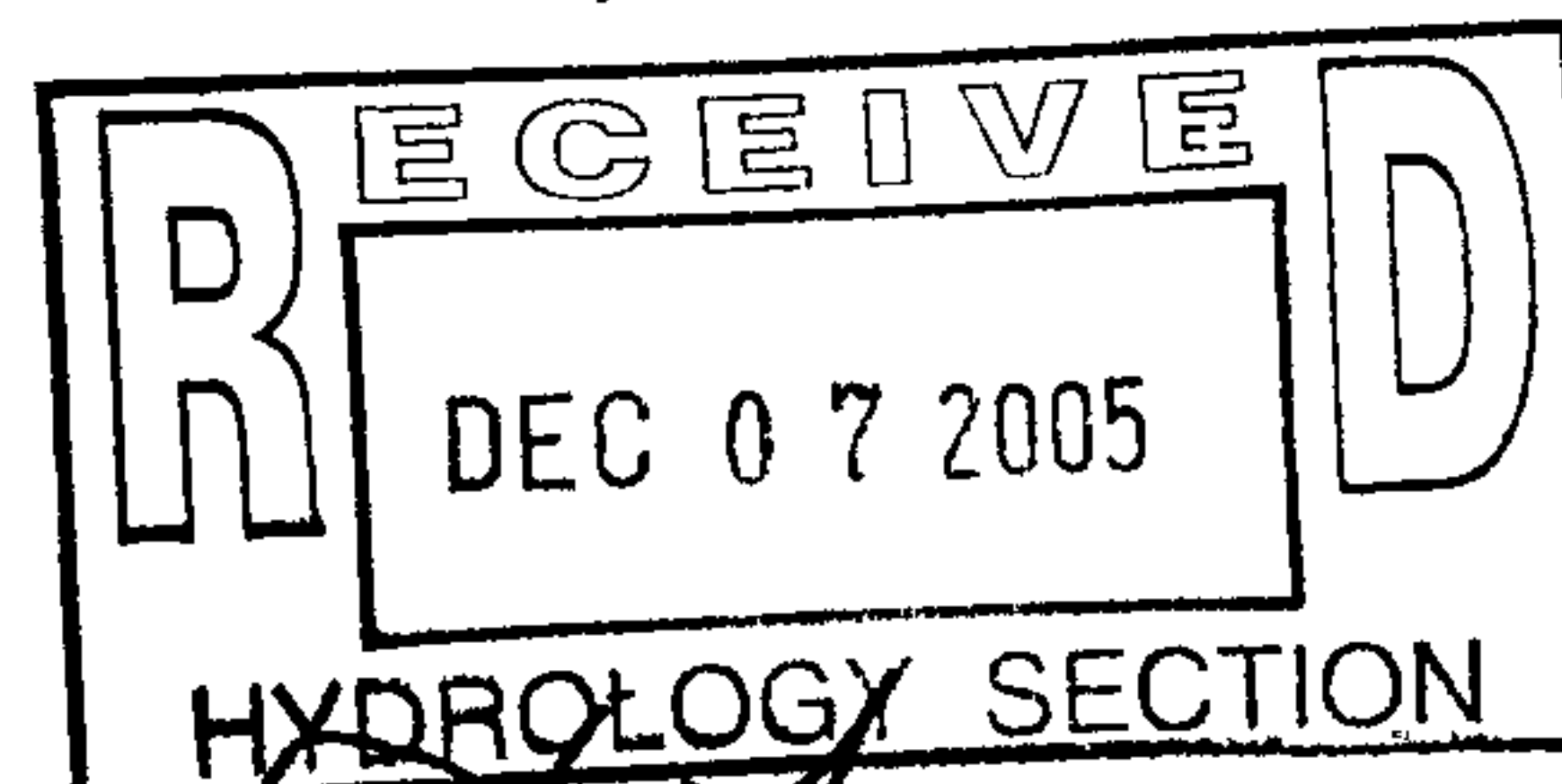
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMP
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: Dec 6, 2005 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Marvin R Kortum
1605 Speakman Drive, SE
NMPE 6519
Albuquerque, New Mexico 87123
(505) 299-0774; M: 934-5786
FAX 299-9405

December 6, 2005

City of Albuquerque
Planning Department, Hydrology
ATTN: Arlene V. Portillo, 924-3482
Albuquerque, New Mexico 87102

REFERENCE: Certification of Grading and Drainage Plan, H-13/D46) for lots 24A, 24B, 24C, and 24D, Rice's Duranes Add No. 1, zone atlas map H-13, Project No. 721081, DRB 1002636,.

Dear Arlene:

This letter is in reply to your letter of November 28, 2005 on the referenced project. Attached is a revised set of drawings with the Engineer's Certification for SIA/Financial Guarantee Release for the referenced project.

The set of drawings includes the Work Order and the Grading and Drainage Plan with the following sheets:

Sheet 1:	Title Sheet
Sheet 2A:	Plat
Sheet 2B:	Plat
Sheet 3	Drainage Plan
Sheet 4:	Drainage Maps
Sheet 5:	SAS and Water Utilities, Street Design

(This sheet 3 of 3 of the Grading and Drainage Plan)

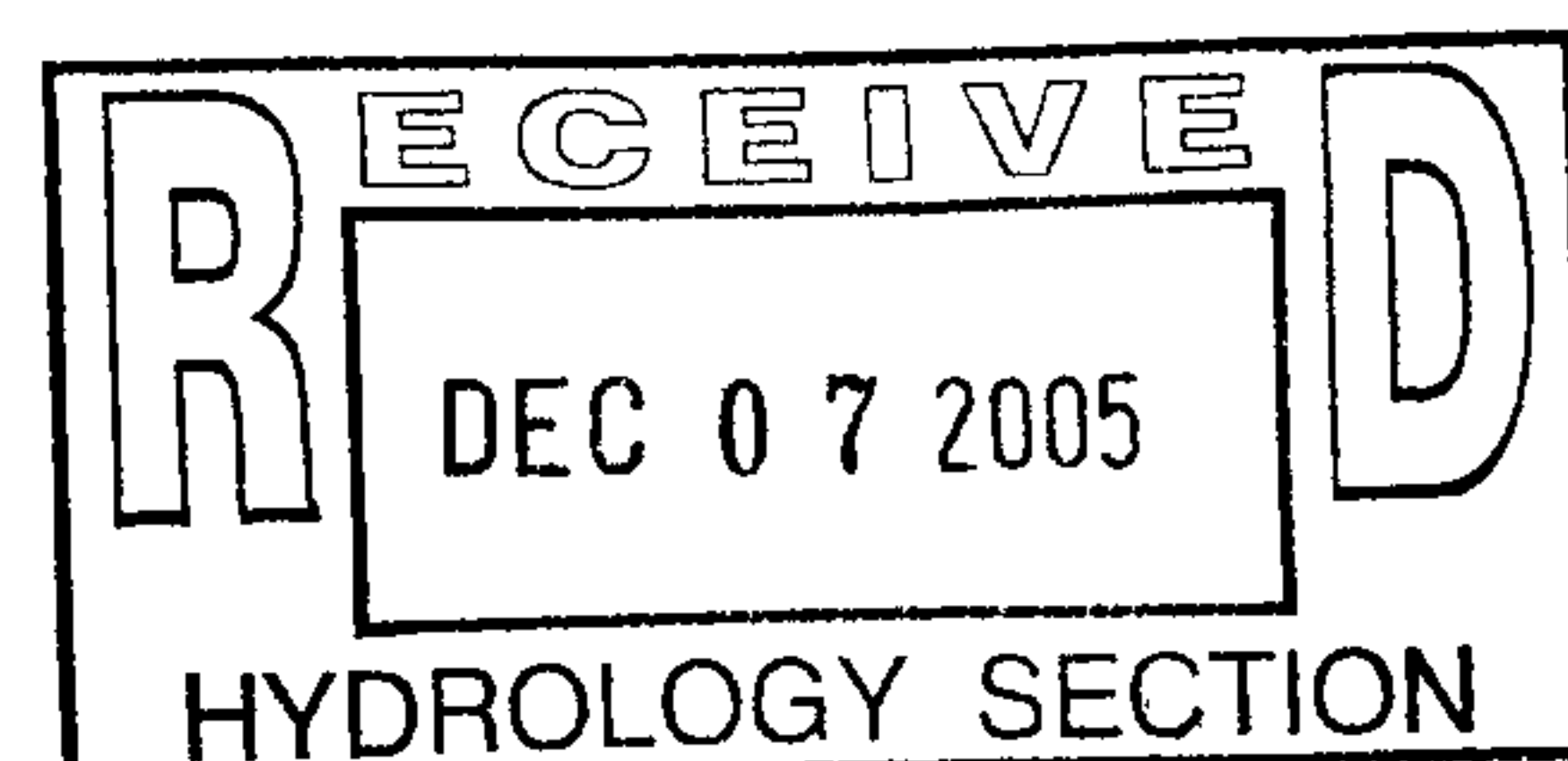
There were several revisions to the plan. The set attached is the current set. The date of the signature on each sheet is the date of the submittal of that particular sheet, as stated in the City approval letters (note that the City letters had a one day difference in the stated approved signature date).

If you have any questions please call me.

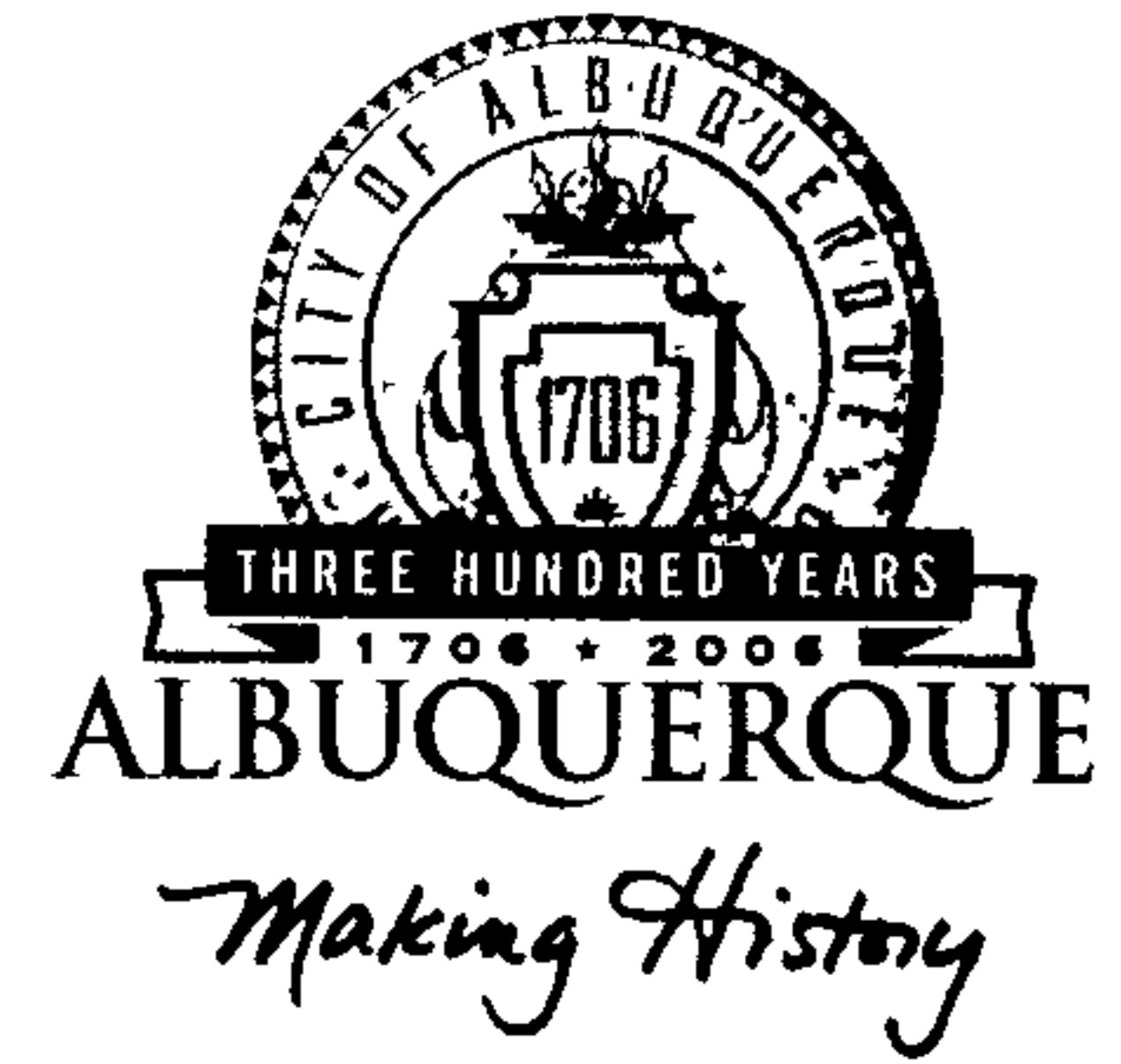
Sincerely,

Marvin R Kortum

Cc: Wayne Lujan
1321 Tobacco Road, SW
Albuquerque, New Mexico 87105
(505) 307-1266



CITY OF ALBUQUERQUE



November 28, 2005

Mr. Marvin R. Kortum, PE
1605 Speakman Drive SE
Albuquerque, NM 87123

RE: RICE'S DURANES, LOTS 24A, 24B, 24C, 24D (H-13/D46)
Engineers Certification for Release of Financial Guaranty
Approved Engineers Stamp dated 10/28/2004
Submitted Engineers Stamp dated 08/25/2003
Engineers Certification dated 11/23/2005

Dear Marvin:

Based upon the information provided in your Engineer's Certification Submittal dated 11/28/2005, the above referenced plan cannot be approved for Grading and Drainage Certification for Release of Financial Guaranty.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The submitted Drainage and Transportation Information Sheet and language in the Certification both request a "Certificate of Occupancy". Since the approved review is for a subdivision, you will need to change your request/language to a "SIA/Financial Guarantee Release".
2. The Approved Grading and Drainage Plan has an Engineer's Seal date of 10/28/2004 not 08/25/2003 as indicated in your submittal. (See attached copies of Grading Plan approval letter and Engineer's Seal).

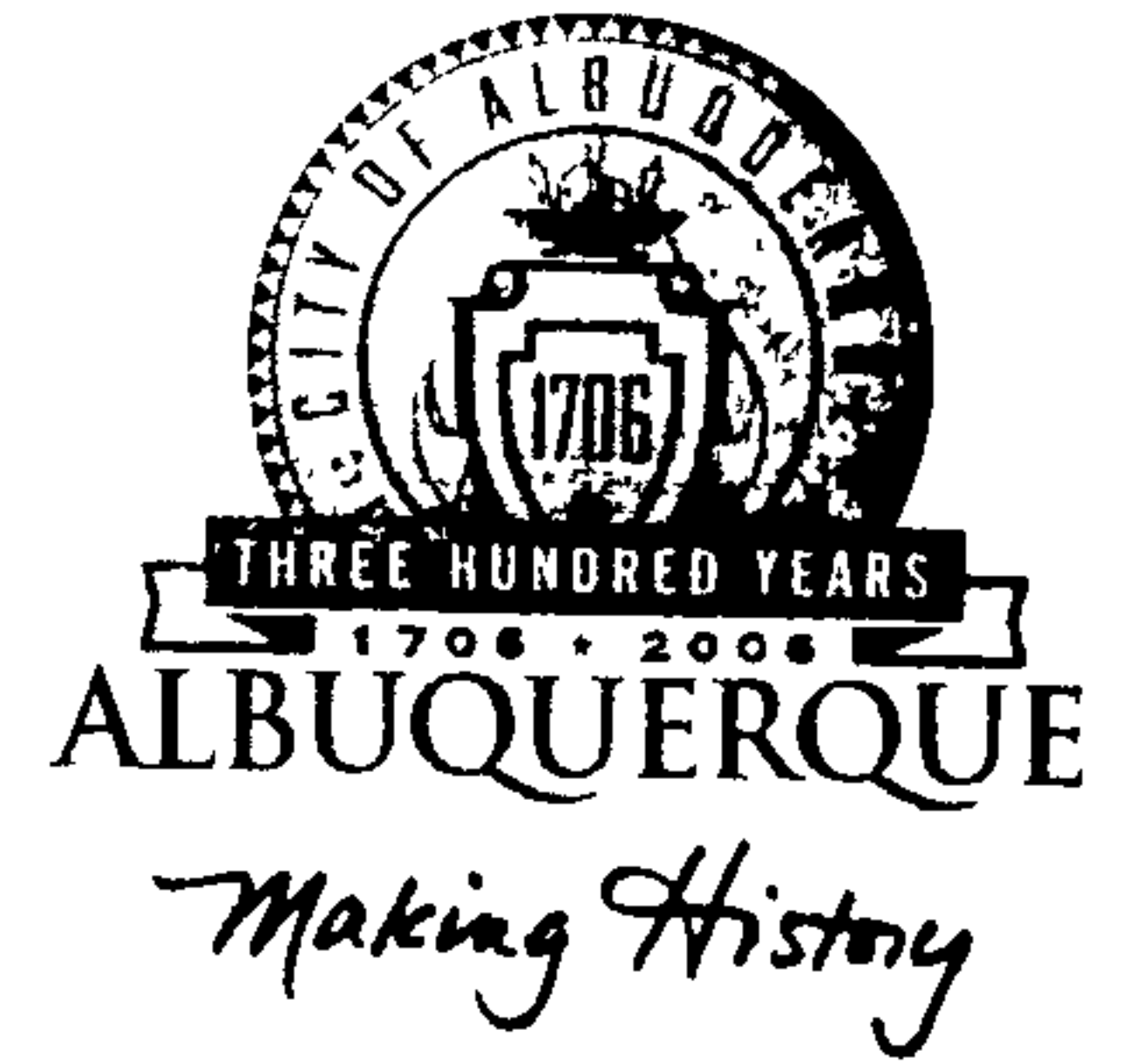
If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

C: File

CITY OF ALBUQUERQUE



November 5, 2004

Marvin R. Kortum, PE
1605 Speakman Dr., SE
Albuquerque, NM 87123

**Re: Rice's Duranes Add'n Lot 24 Subdivision Grading and Drainage Plan
Engineer's Stamp dated 10-28-04 (H13/D46)**

Dear Mr. Kortum,

Based upon the information provided in your submittal dated 10-29-04, the above referenced plan is approved as amended. This is now the plan that must be certified for Release of Financial Guarantees and SIA.

P.O. Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

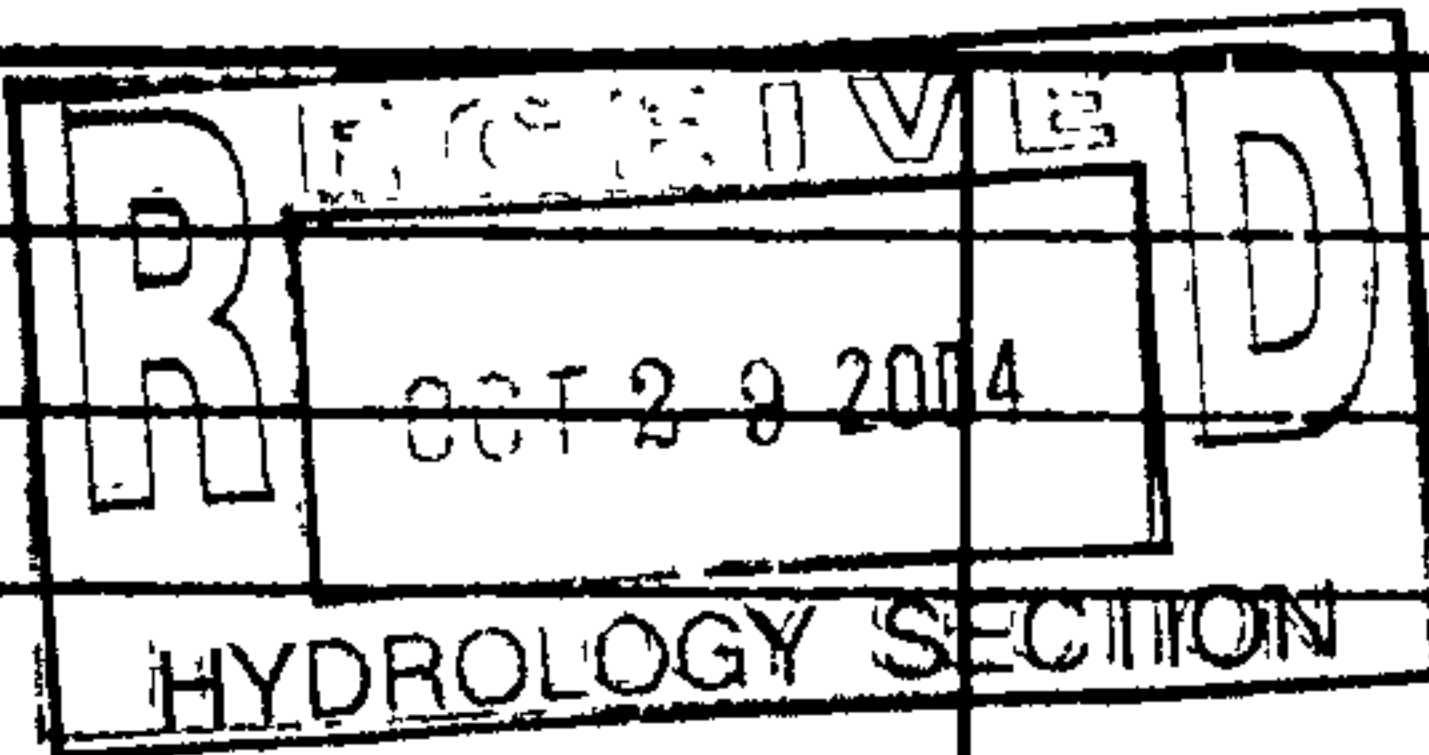

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

5. FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATING DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATING DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADING ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATION.

6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTED OR INDICATED BY THIS PLAN SET.

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☐ SIDEWALKS AND WHEEL CHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

							
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP, SIGNATURE		APPROVALS		ENGINEER	DATE	APPROVED FOR CONSTRUCTION _____ City Engineer Date	
		DRC Chairman					
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks					
		Constr. Mngmnt.					
CONST. COORD.							
City Project No.				721081		Sheet Of <div style="display: flex; justify-content: space-around; font-size: 36pt;"> 1 5 </div>	

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: GRADING AND DRAINAGE PLAN
LOT 24-A, 24-B, 24-C & 24-D **ZONE MAP/DRG:** FILE #: H-13/D46
DRB #: 1002636 **EPOCH:** WORK ORDER#: 721081

LEGAL DESCRIPTION: RILEY'S DRAINAGE ADDITION #1
CITY ADDRESS: 2422 RILEY AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum **CONTACT:** FAX 299-9405
ADDRESS: 1605 Speakman Drive, SE **PHONE:** (505) 299-0774
CITY, STATE: Albuquerque, New Mexico **ZIP CODE:** 87123

OWNER: WAYNE LUJAN **CONTACT:** WAYNE LUJAN
ADDRESS: 1321 TOBACCO RD SW **PHONE:** (505) 307-1266
CITY, STATE: ALBUQUERQUE **ZIP CODE:** 87105

ARCHITECT: ADDRESS: CITY, STATE: **CONTACT:** PHONE: ZIP CODE:

SURVEYOR: SUBUDY S. SOWILFEST **CONTACT:** DAN GRADY
ADDRESS: 333 LOMAS BLVD NE **PHONE:** 998 0303
CITY, STATE: ALBUQUERQUE NM **ZIP CODE:** 87107

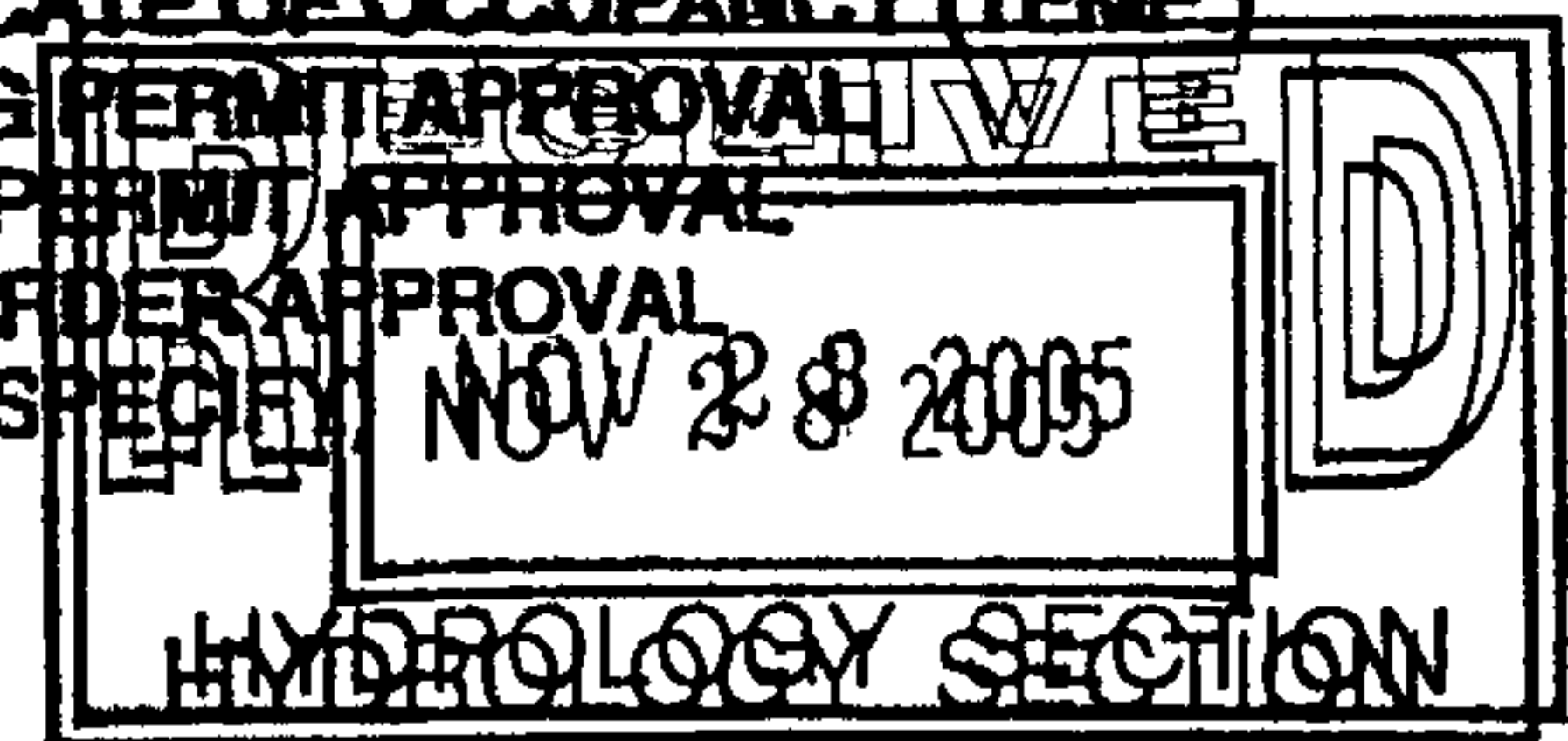
CONTRACTOR: ADDRESS: CITY, STATE: **CONTACT:** PHONE: ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOM/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

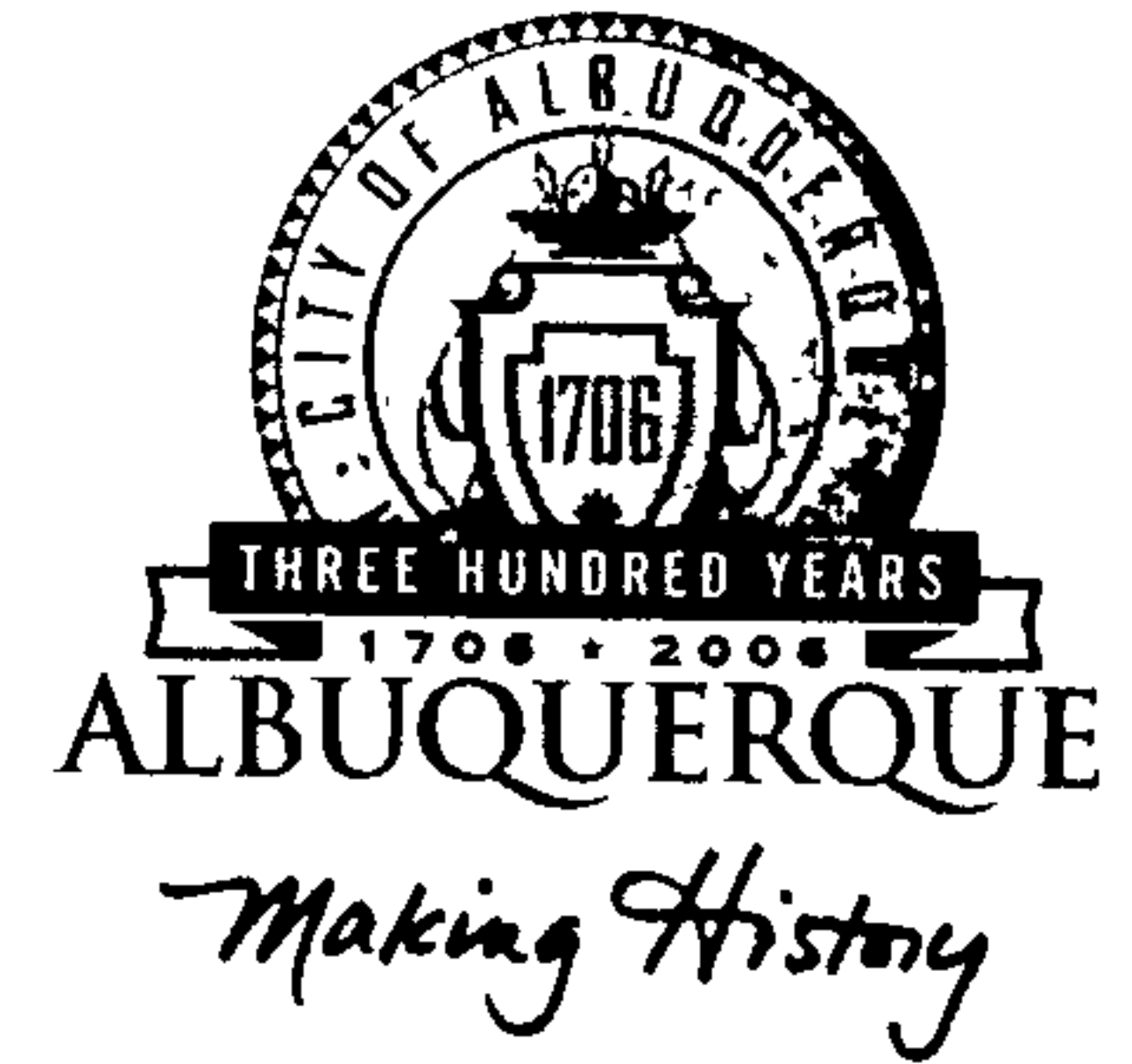
- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: Nov 23, 2005 **BY:** [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

CITY OF ALBUQUERQUE



November 5, 2004

Marvin R. Kortum, PE
1605 Speakman Dr., SE
Albuquerque, NM 87123

**Re: Rice's Duranes Add'n Lot 24 Subdivision Grading and Drainage Plan
Engineer's Stamp dated 10-28-04 (H13/D46)**

Dear Mr. Kortum,

Based upon the information provided in your submittal dated 10-29-04, the above referenced plan is approved as amended. This is now the plan that must be certified for Release of Financial Guarantees and SIA.

P.O. Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

www.cabq.gov

C: file

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

H-13/D46

GRADING AND DRAINAGE PLAN

PROJECT TITLE: LOT 24-A, 24-B, 24-C & 24-D

DRB #: 1002636

EPC#:

ZONE MAP/DRG. FILE #: H-13/D46

WORK ORDER#: 721081

LEGAL DESCRIPTION: RILEY'S DURANGOS ADDITION #1

CITY ADDRESS: 2422 RICE AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum

ADDRESS: 1605 Speakman Drive, SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
PHONE: (505) 299-0774
ZIP CODE: 87123

OWNER: WAYNE LUJAN

ADDRESS: 1321 TOBACCO RD SW
CITY, STATE: ALBUQUERQUE

CONTACT: WAYNE LUJAN
PHONE: (505) 307-1266
ZIP CODE: 87105

ARCHITECT:

ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: SURUGY S SOUTHWEST

ADDRESS: 333 LOMAS BLVD NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: DAN GRANCY
PHONE: 998 0363
ZIP CODE: 87102

CONTRACTOR:

ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER REVISION TO APPROVED
GRADING & DRAINAGE PLAN

CHECK TYPE OF APPROVAL SOUGHT:

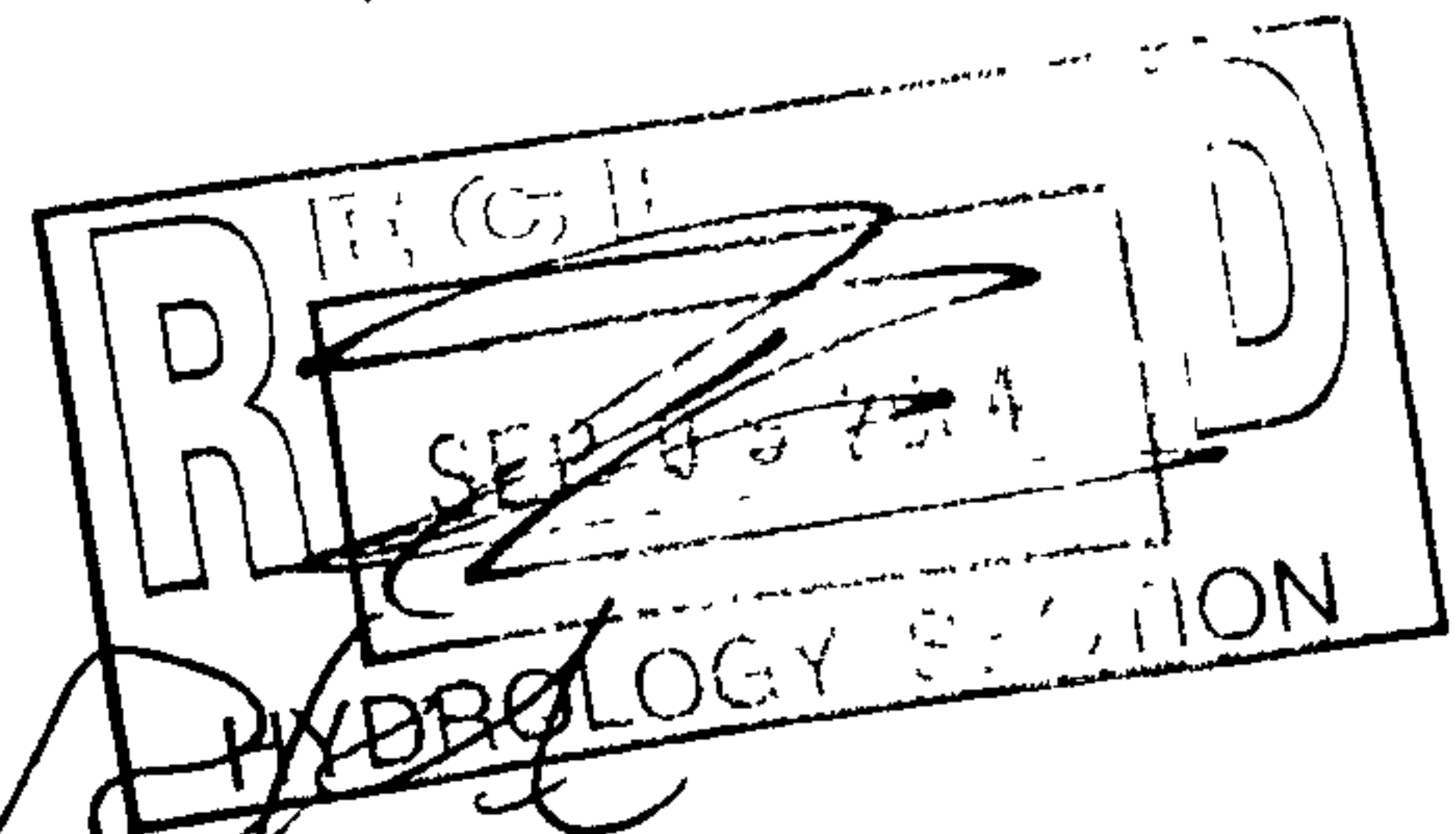
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

10/29/04

DATE SUBMITTED: SEP 7 2004 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Marvin R Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774, M: 934-5786

October 28, 2004

City of Albuquerque
Planning Department
ATTN: Brad Bingham, Hydrology Development Section
Albuquerque, New Mexico 87102
(505) 924-3986

REFERENCE: Grading and Drainage Plan for lots 24A, 24B, 24C, and 24D, Rice's Duranes
Add No. 1, zone atlas map H-13, Project No. 721081, DRB 1002636, Hydrology H13/D46. .

Dear Brad:

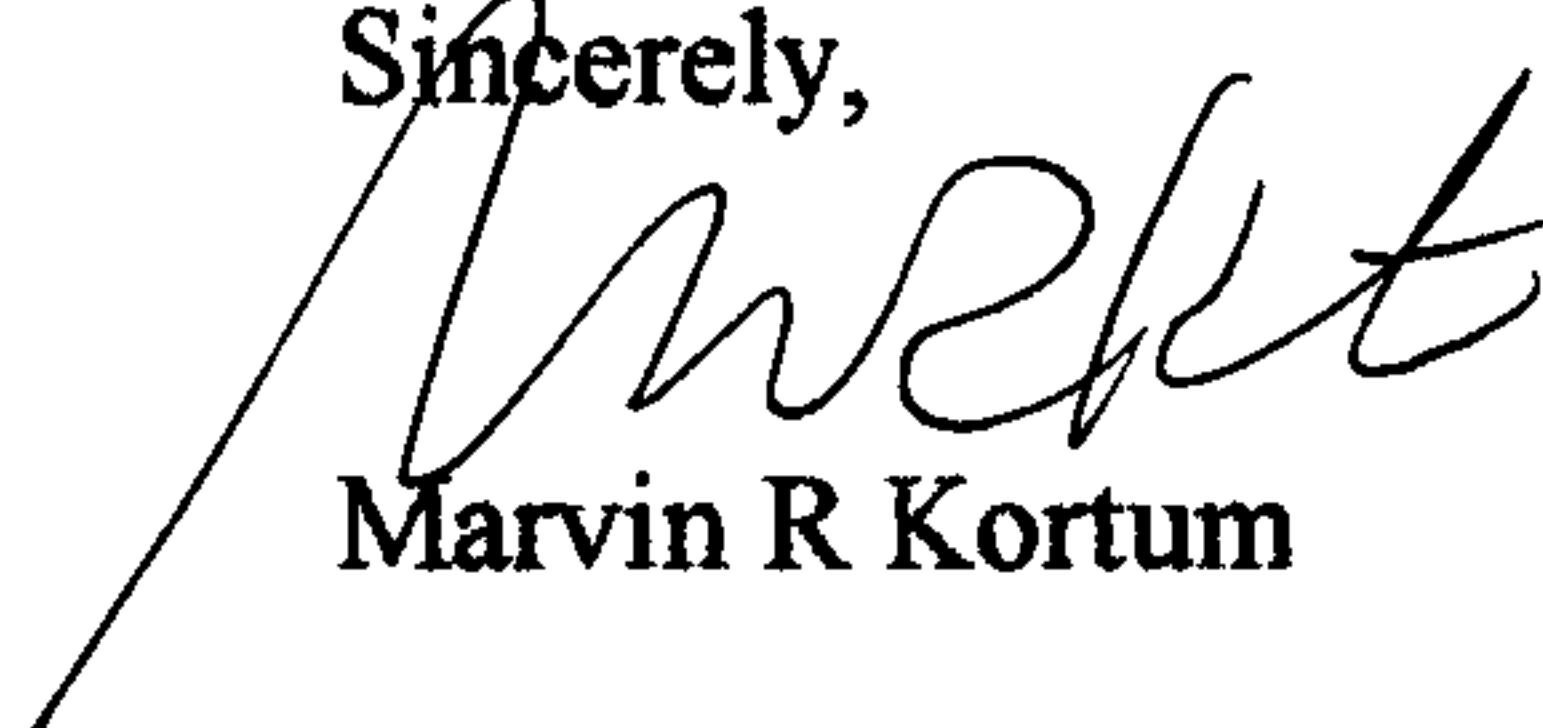
Attached is a revision to the Grading and Drainage Plan for the referenced project. A Grading
and Drainage plan was approved for the site on October 3, 2003.

The G and D plan attached is the same plan as submitted to you on September 7, 2004, with
minor changes to the utilities. I have stamped and sealed the set, dated October 28, 2004.

The work order plan set (Project 721091) has been submitted to the DRC for final approval and
signatures.

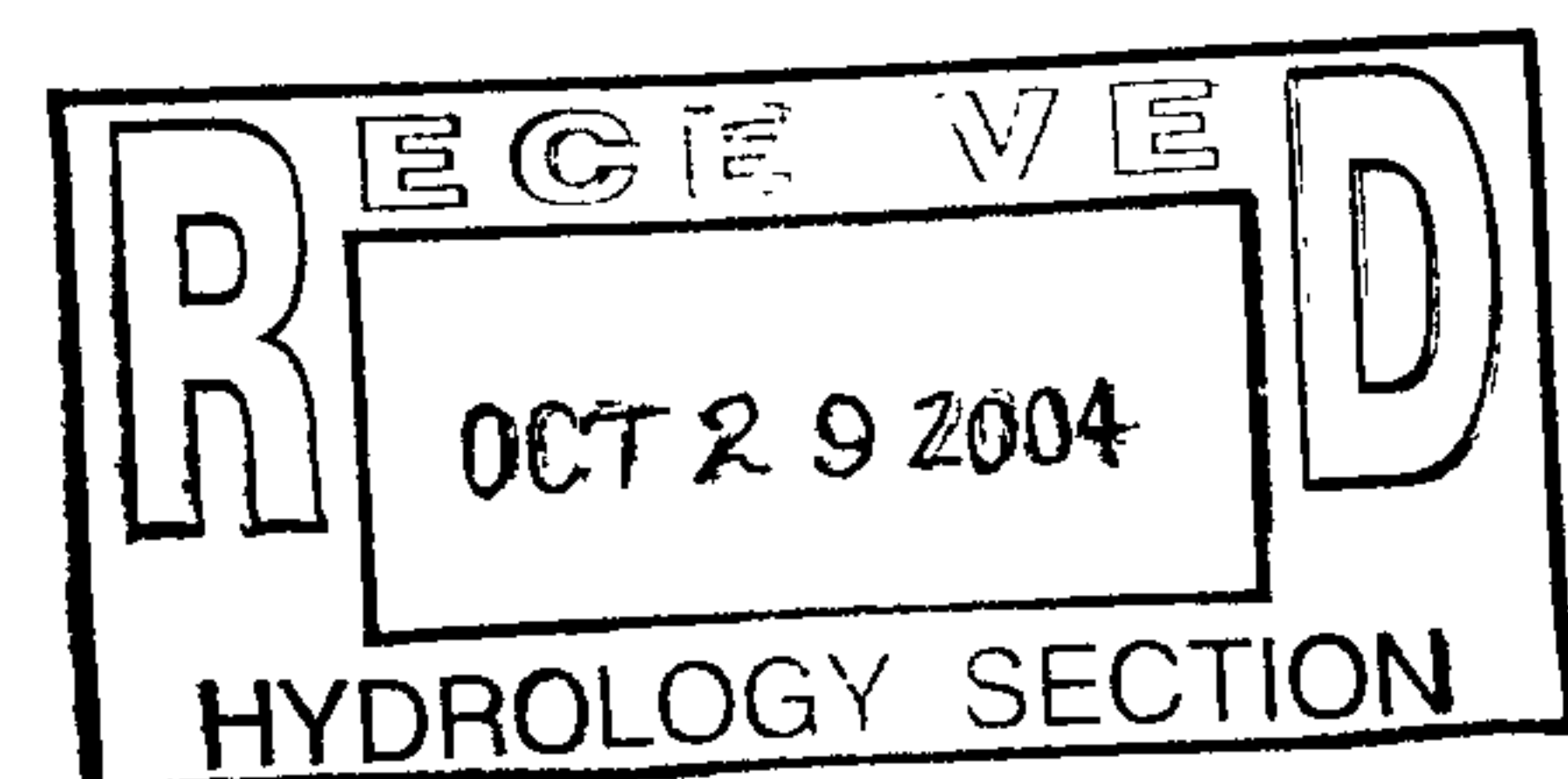
If you have any questions please call me.

Sincerely,



Marvin R Kortum

Cc: Wayne Lujan
1321 Tobacco Road, SW
Albuquerque, New Mexico 87105
(505) 307-1266





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 2003

Marvin R. Kortum, PE
1605 Speakman Dr., SE
Albuquerque, NM 87123

**Re: Rice's Duranes Add'n Lot 24 Subdivision Grading and Drainage Plan
Engineer's Stamp dated 8-25-03 (H13/D46)**

Dear Mr. Kortum,

Based upon the information provided in your submittal dated 8-26-03, the above referenced plan is approved for Preliminary Plat action by the DRB. Once that board has approved the plan, please submit a mylar copy for my signature in order to obtain a Grading Permit. The sump pumps and property curbs must appear on the Infrastructure list with private facility covenants.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

GRADING AND DRAINAGE PLAN

PROJECT TITLE: LOT 24-A, 24-B, 24-C & 24-D ZONE MAP/DRG. FILE #: H-13
DRB #: 1002636 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: RICE'S DRAINAGE ADDITION #1
CITY ADDRESS: 2422 RICE AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
ADDRESS: 1605 Speakman Drive, SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
PHONE: (505) 299-0774
ZIP CODE: 87123

OWNER: ROBERT SIEGLITZ
ADDRESS: P.O. Box 25511
CITY, STATE: ALBUQUERQUE NM

CONTACT: ROBERT SIEGLITZ
PHONE: 505-242-1169
ZIP CODE: 87125

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: SURUGY S SOUTHWEST
ADDRESS: 333 LOMAS BLVD NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: DAN GRANCY
PHONE: 998 0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER

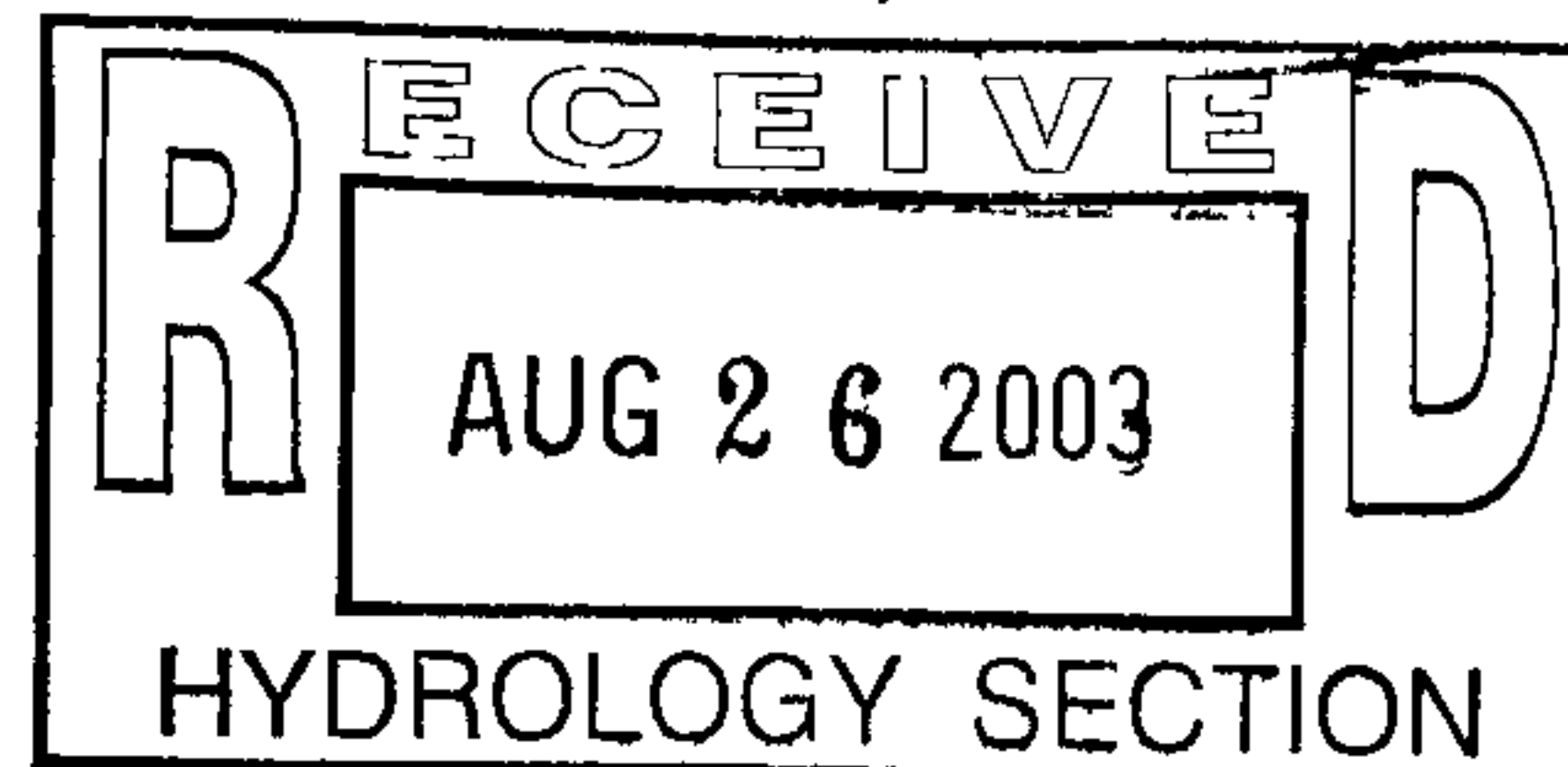
Review by UTILITIES - SEE WATER ENGINEER
AVAILABLE LATER AUG 14, 2003

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: AUGUST 26 2003 BY: MARVIN R KORTUM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 14, 2003

Surveys Southwest
333 Lomas NE
Albuquerque, New Mexico 87102
Attn: Dan Graney

Re: Water and Sanitary Sewer Availability / Lot 24, Rice Duranes Addition #1H-12

Mr. Graney:

Existing Conditions: The property is a half acre lot on the south side of Rice west of Rio Grande. Zoning is R2. Land use is governed by the Los Duranes Sector Plan. Existing public utilities include 6-inch water and 8-inch sanitary sewer lines. The sewer is shallow. As-builts show approximately 4-feet of cover at manhole #498. The existing residence at the north end of the property: 2422 Rice NW, has water and sanitary sewer service. See account #03071340.

Proposed: The sketch plat provided July 29 shows a four lot subdivision with a 20-foot access easement along the east property line. An earlier submittal included a 2-lot subdivision of adjacent Lot 23B with the road ended in a hammerhead on that property. See DRB submittal of May 14: project #10002636. Records show lots: 24, and 23B are under common ownership.

Noncompliance: There are structures on Lot 23B, but I can find no record of service to that property. On-site systems (or shared service) would violate adopted codes and ordinances would have to be corrected, and service to 23B will impact requirements for the proposed subdivision.

Fire Protection: System maps show an existing public hydrant on the north side of Rice about 130-feet east of the proposed access easement. This would meet distance requirements for all lots. Location must be field verified and shown on the final plat, but no new hydrants should be required.

Service: In principle the subdivision as currently proposed could proceed without public infrastructure. The three proposed lots could make separate service connections to existing public lines in Rice. Meter boxes would be placed in a standard location in the Rice right-of-way. They must be outside the access easement or other traffic areas. As such, additional easement area will be required. See attached. Separate sanitary sewer connections must be coordinated through a licensed plumber. [Given grades and setbacks some lots may not have gravity service. Conditions should be field verified before establishing finish floor elevations. (Note: 'Side tapping' will not be allowed.) Private utility easements must be established for all service lines. These should be exclusive of any public easements required by PNM or other.]

Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges 'UEC' payable at the time service is requested.

Limitations: Given the required separation between lines, there's obviously a practical limit to the number of lots that can be serviced this way. While the three new lots in the current proposal are acceptable the corridor would not be available for similar connections to existing or future development on Lot 23B. Given circumstances and history an alternate corridor for that property must be documented prior to plat approval and / or sale of service. If structures on 23B are plumbed they must be connected to public services.

This statement of availability will remain in effect for a period of one year and applies only to the development identified herein. Its validity is in part contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to our attention as soon as possible. Any outstanding pro rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based upon applicable ordinances and policies in effect at the time service is actually requested and authorized. Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,

John P. McDonough
Engineering Associate
Development and Building Services

Attachment: System / Location Map(s)

c: f/ 1002636
f/ readers #30723
f/ availability H-12

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

H-13/D46

GRADING AND DRAINAGE PLAN

PROJECT TITLE: LOT 24-A, 24-B, 24-C & 24-D ZONE MAP/DRG. FILE #: H-13/D46
DRB #: 1002636 EPC#: _____ WORK ORDER#: 721081

LEGAL DESCRIPTION: RILEY'S DURANES ADDITION #1
CITY ADDRESS: 2422 RILEY AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
ADDRESS: 1605 Speakman Drive, SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
PHONE: (505) 299-0774
ZIP CODE: 87123

OWNER: WAYNE LUJAN
ADDRESS: 1321 TOBACCO RD SW
CITY, STATE: ALBUQUERQUE

CONTACT: WAYNE LUJAN
PHONE: (505) 307-1266
ZIP CODE: 87105

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: SURUGY S. SOUTHWEST
ADDRESS: 333 LOMAS BLVD NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: DAN GRANCY
PHONE: 998 0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER REVISION TO APPROVED
GRADING & DRAINAGE PLAN

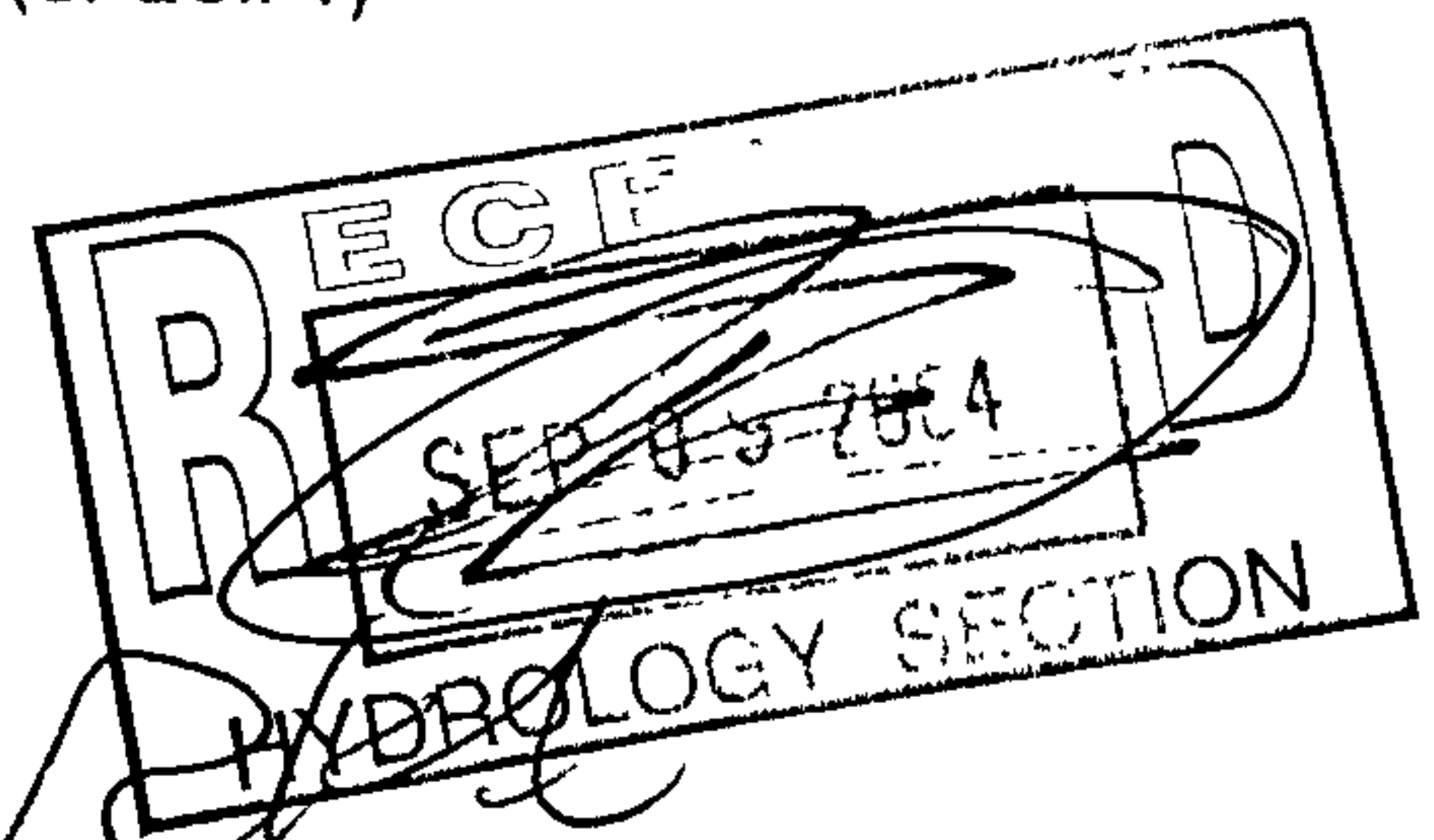
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: SEP 7 2004 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Marvin R Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774, M: 934-5786

September 7, 2004

City of Albuquerque
Planning Department
ATTN: Brad Bingham, Hydrology Development Section
Albuquerque, New Mexico 87102
(505) 924-3986

REFERENCE: Grading and Drainage Plan for lots 24A, 24B, 24C, and 24D, Rice's Duranes Add No. 1, zone atlas map H-13, Project No. 721081, DRB 1002636, Hydrology H13/D46. .

Dear Brad:

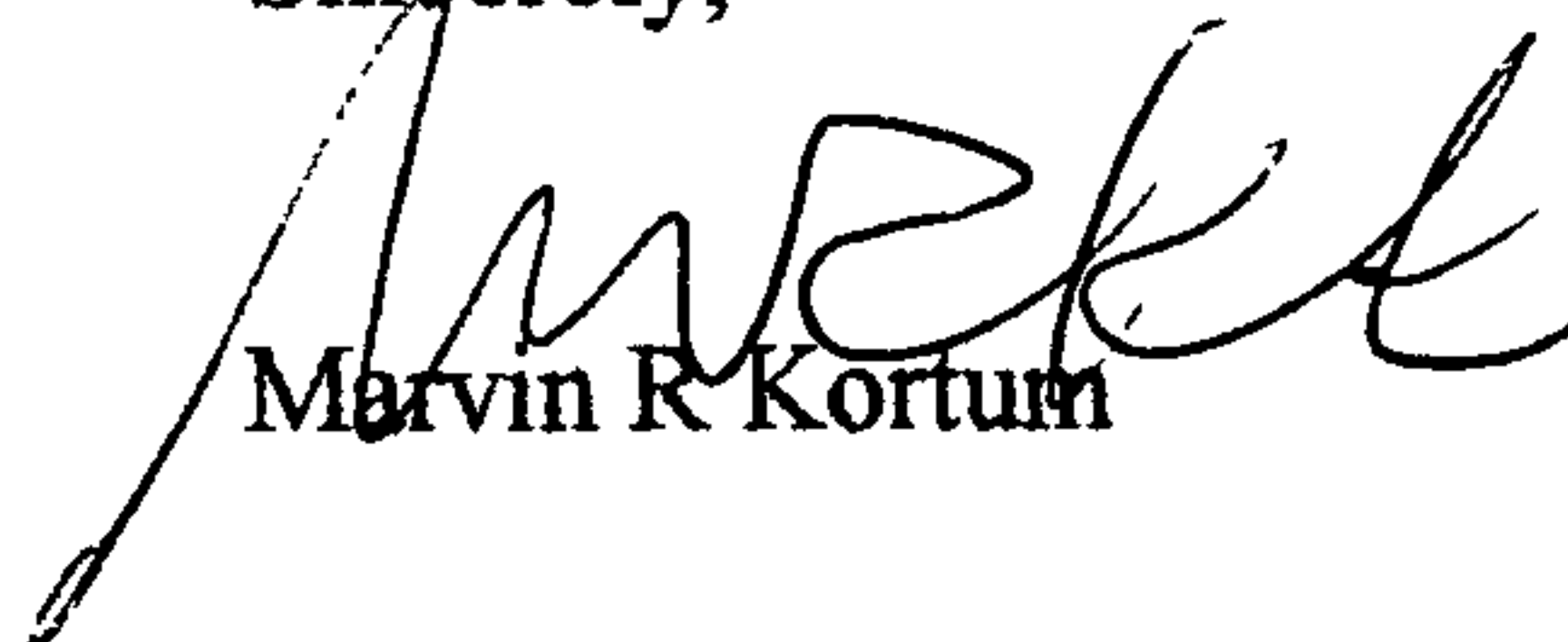
Attached is a revision to the Grading and Drainage Plan for the referenced project. A Grading and Drainage plan was approved for the site on October 3, 2003.

The revision is based on a flat grading concept. The flat grading concept was selected in order to reduce the amount of fill required for lots 24B, 24C and 24D. On the plan approved on October 3, 2003, there was considerable fill required in order to permit gravity flow of the SAS services directly to the SAS main in Rice Avenue. On the October 3, 2003 plan the runoff was directed away from the lots by way of sump pumps and a drain pipe. The current revision is based on a public SAS main, and eliminates the need for sump pumps by having on-site retention of the 100 year-10 day design storm

The work order plan set (Project 721091) has been submitted to the DRC for staff review and comments. The revised Grading and Drainage Plan is part of the DRC submittal.

If you have any questions please call me.

Sincerely,



Marvin R Kortum

Cc: Wayne Lujan
1321 Tobacco Road, SW
Albuquerque, New Mexico 87105
(505) 307-1266

