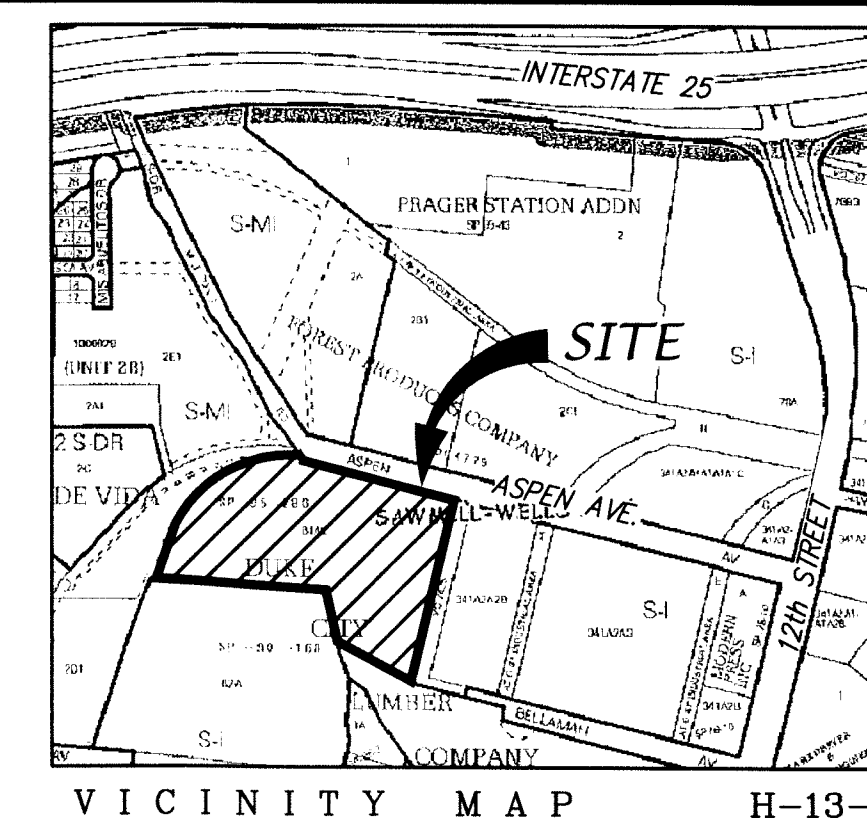




(TYPICAL PLAN VIEW)  
(ALL ELEVATIONS ARE RELATIVE AS SHOWN) SCALE: 1"=20'



## LEGAL DESCRIPTION

LOT B-1-A-2, DUKE CITY LUNBER COMPANY ADDITION

### LEGEND

- EXIST. TOP CURB/FLOWLINE  
EXIST. CONCRETE/SIDEWALK  
EXIST. SPOT ELEVATION  
EXIST. FIRE HYDRANT  
EXIST. GUY WIRE  
EXIST. OVERHEAD ELECTRIC  
EXIST. POWER POLE  
EXIST. SANITARY SEWER MANHOLE

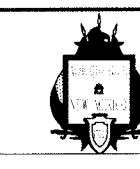
- EXIST. WATER VALVE  
EXIST. SIGN  
EXIST. DROP INLET  
EXIST. TELEPHONE PEDESTAL  
EXIST. WATER METER  
EXIST. STORM DRAIN MANHOLE  
EXISTING STORM DRAIN LINE  
NEW LOT LINES  
NEW PROPERTY LINE  
NEW RIGHT-OF-WAY

- NEW CENTER LINE  
NEW MOUNTABLE CURB & GUTTER  
NEW STANDARD CURB & GUTTER  
NEW SPOT ELEVATION  
NEW SWALE  
NEW FINISHED PAD ELEVATION  
NEW TOP WALL ELEVATION  
NEW TOP OF CHANNEL/TOP OF  
RETAINING WALL  
NEW BOTTOM WALL ELEVATION  
NEW INVERT ELEVATION

- NEW RUNOFF DIRECTION  
NEW WATER BLOCK  
NEW RETAINING WALL  
NEW GARDEN WALL  
NEW SIDEWALK CULVERT  
NEW STORM DRAIN INLET  
NEW TOWNHOMES ROOF  
RUNOFF TO FRONT YARD  
NEW 1' WIDE DRAINAGE CHANNEL  
NEW EXIST. RAILROAD TRACK  
NO CONSTRUCTION ZONE  
NEW SIDEWALK (THIS PROJECT)  
NEW SIDEWALK (DEFERRED)  
NEW DRIVEWAYS  
NEW PHASE LINE  
FUTURE LANDSCAPE OR  
RIP RAP PROTECTION AREA

dmc

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539



TITLE: *SAWMILL CROSSING - UNIT 2  
REVISED GRADING & DRAINAGE PLAN*

|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR. |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
| CITY PROJECT NO.        | ZONE MAP NO.           | SHEET              | OF          |             |
| 617586                  | H-13-Z                 | 1                  | 1           |             |



# CITY OF ALBUQUERQUE



September 29, 2014

Diane Hoelzer, P.E.  
Mark Goodwin & Associates  
PO Box 90606  
Albuquerque, NM 87199

**Re: Sawmill Crossing Unit 2, Revised Grading and Drainage Plan  
Engineer's Stamp dated 9-25-14 (H13/D057)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 5-22-14, the above referenced plan is approved for Preliminary Plat action by the DRB for Unit 2. Once the board approves the plan, the site will be approved for Grading Permit once the Erosion and Sediment Control plan is approved.

Hydrology understands that the developer/builder wishes to construct the rear and side yard channels with the Building Permit. Therefore, Building Permits will be approved as a cluster or the downstream lot will be approved prior to upstream lots in one cluster.

This is the plan to certify for Building Permit approval, Release of Financial Guarantee and Certificate of Occupancy for the lots that drain to a rear and side yard channel.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Department