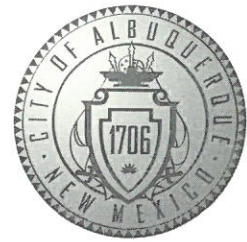


CITY OF ALBUQUERQUE



April 27, 2018

Del Leroy Dixon
Mark Goodwin and Associates
P.O. Box 90606
Albuquerque, NM 87119

Re: AIS Retail, 2401 12th Street Building C
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-20-18 (H13D106)
Certification dated 11-21-17

Dear Mr. Dixon

Based upon the information provided in your submittal received 04-23-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Ernest Armijo
Senior Engineer, Transportation
Development Review services

Ernie Gomez
Plan Checker, Transportation
Development Review services

EG\EA via: email
C: CO Clerk, File

FUTURE

PROJECT NUMBER: 1000649
APPLICATION NUMBER: 15DRB-70193
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:
Traffic Engineer, Transportation Division Date 10-18-17
Water Utility Development Date 11-21-17
Parks & Recreation Department Date 10/18/17
City Engineer Date 10-18-17
* Environmental Health Department (conditional) Date
Solid Waste Management Date
DRB Chairperson, Planning Department Date 11/21/17
* Environmental Health, if necessary

GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION INCLUDING BUILDING AND PARKING CALCULATIONS
- 2) SEE SHEETS AS-105 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SEE SHEETS E-101 AND E-102.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- 7) FOR BUILDING SIGNAGE AND SITE SIGNAGE SEE SHEETS A-201 & AS-105.
- 8) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAIL A3/AS-104.
- 9) ANY CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

LEGEND

- LIMITS OF PROPOSED IMPROVEMENTS
- FIRE DEPARTMENT ACCESS
- PROPERTY LINE
- OUTLINE OF BUILDING

BUILDING DATA

CODE DATA:
ADDRESS: 2400 12TH STREET
BUILDING C
ALBUQUERQUE NM 87104
TYPE VB
CONSTRUCTION TYPE:
OCCUPANT LOAD: N/A - BUILDING SHELL ONLY
SPRINKLER: FULLY SPRINKLERED
SQUARE FOOTAGE: 2000 SF - SHELL
• INTERNATIONAL BUILDING CODE (IBC) 2015
• NEW MEXICO COMMERCIAL BUILDING CODE (NMCBC) 2015
• INTERNATIONAL FIRE CODE 2009: APPENDIX B,C & D

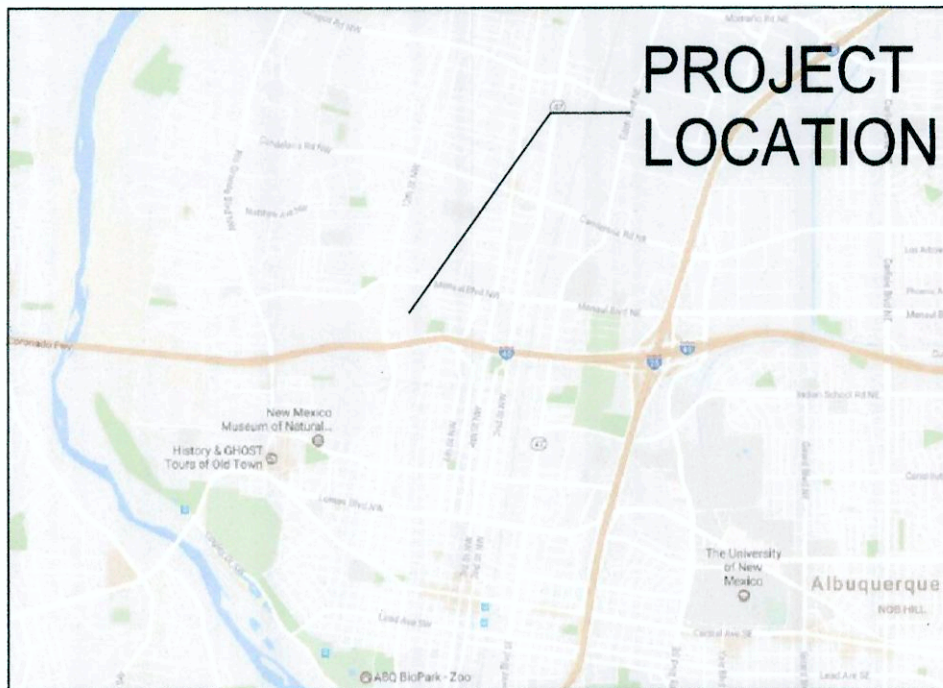
FIRE KEYNOTES

1. EXISTING STRUCTURE
2. PROPOSED STRUCTURE
3. PROPOSED ENTRY
4. FIRE HYDRANT LOCATION
5. FIRE DEPARTMENT ACCESS
6. FIRE LANES
7. KNOX BOX LOCATION
8. STANDPIPE LOCATION
9. FIRE DEPARTMENT CONNECTION (FDC) LOCATION
10. POST INDICATOR VALVE (PIV) LOCATION
11. REMOTE FDC CONNECTION

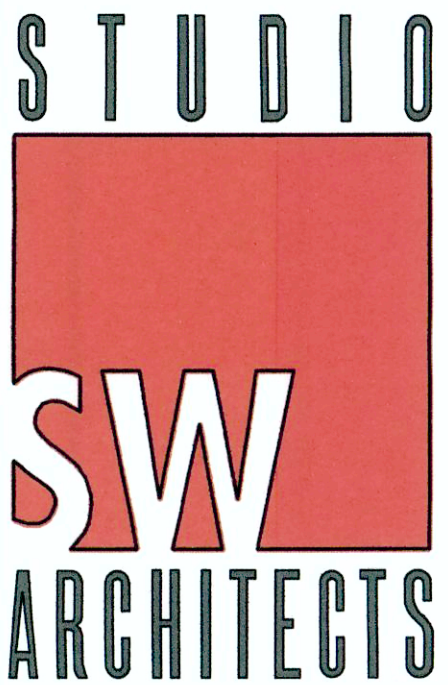
SHEET KEYNOTES

- 1) (E) CURB RAMP
- 2) (E) TRANSFORMER
- 3) (E) CONCRETE WALKWAY TO REMAIN
- 4) (E) OFF STREET PARKING
- 5) (E) LANDSCAPE PAD, SITE WATER METER AND TIMBER BOX
- 6) (E) STOP SIGN
- 7) (E) YARD/PATIO WALL
- 8) (E) DRIVEWAY
- 9) (E) UTILITY LOCATION
- 10) (E) LANDSCAPING
- 11) (E) DEPRESSED PONDING & LANDSCAPE AT MEDIAN
- 12) (E) ASPHALT PAVING
- 13) (E) BIKE RACK LOCATION
- 14) (E) ADA SPACES.
- 15) (N) BIKE RACK LOCATION. REFER TO C4/AS-105
- 16) (E) TRASH ENCLOSURE SEE DETAIL A4/AS-106
- 17) (E) MOUNTABLE MEDIAN CURB
- 18) (E) CONCRETE CURB TO REMAIN
- 19) (E) PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD - 2000 SF EXTENTS
- 20) (E) FIRE HYDRANT
- 21) (E) CARRIAGE STRIP - SEE LANDSCAPING
- 22) (E) PATIO AND CAFE SPACE
- 23) (N) LANDSCAPING SCREEN
- 24) (N) CONCRETE WALKWAY
- 25) (N) ADA SPACES. REFER TO A1/AS-106
- 26) (N) DEPRESSED PONDING & LANDSCAPE
- 27) (E) ENTRY ARCH AT EXISTING CONCRETE WALKWAY
- 28) (N) LANDSCAPING
- 29) (N) CURB RAMP. REFER TO A2, B2 & C2 / AS-105
- 30) (N) 6' WIDE COLORED PATTERNED CONCRETE
- 31) (N) EDGE OF CURB
- 32) (N) PATIO CONCRETE PAD. 6 X 6 SCORING AT 45 DEGREES
- 33) (E) C.O.A. SHALL REBUILD THE WEST END OF THE EAST/WEST SIDEWALK, RAMP AND CURB PER C.O.A. PROJECT # 7186.92
- 34) (E) RAISED TABLETOP CROSSWALK. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- 35) (N) MEDIAN. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- 36) (N) ASPHALT PAVED DRIVE THRU
- 37) (N) BUILDING ENTRY
- 38) (E) DESIGNATED LOADING ZONE WITH CONCRETE CURB RAMP
- 39) (E) TRAFFIC CIRCLE (NOT A PART OF PROJECT)
- 40) (N) BIKE RACK LOCATION
- 41) (N) GREASE TRAP LOCATION. SEE MECHANICAL/PLUMBING PLANS
- 42) (N) DRIVE THRU WINDOW AT WALL
- 43) (N) STOP SIGN. REFER TO D4/AS-105
- 44) (N) 3'-0" TALL MIN. LANDSCAPING SCREEN AT DRIVE THROUGH. SEE LANDSCAPING PLANS FOR ADDL. INFORMATION.
- 45) (N) CONCRETE STAIR WITH HANDRAILS

VICINITY MAP



0 30' 60'



STUDIO
SW
ARCHITECTS
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505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com
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Architect Engineer

AS MASTER PLAN
BUILDING C

2400 12TH STREET
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
ISSUE:	DRB	
PROJECT NO:	1513	
CAD DWG FILE:	1513 FIRE 001.DWG	
DRAWN BY:	DSJ	
CHECKED BY:	DE	
DATE:	09/21/17	

SHEET TITLE

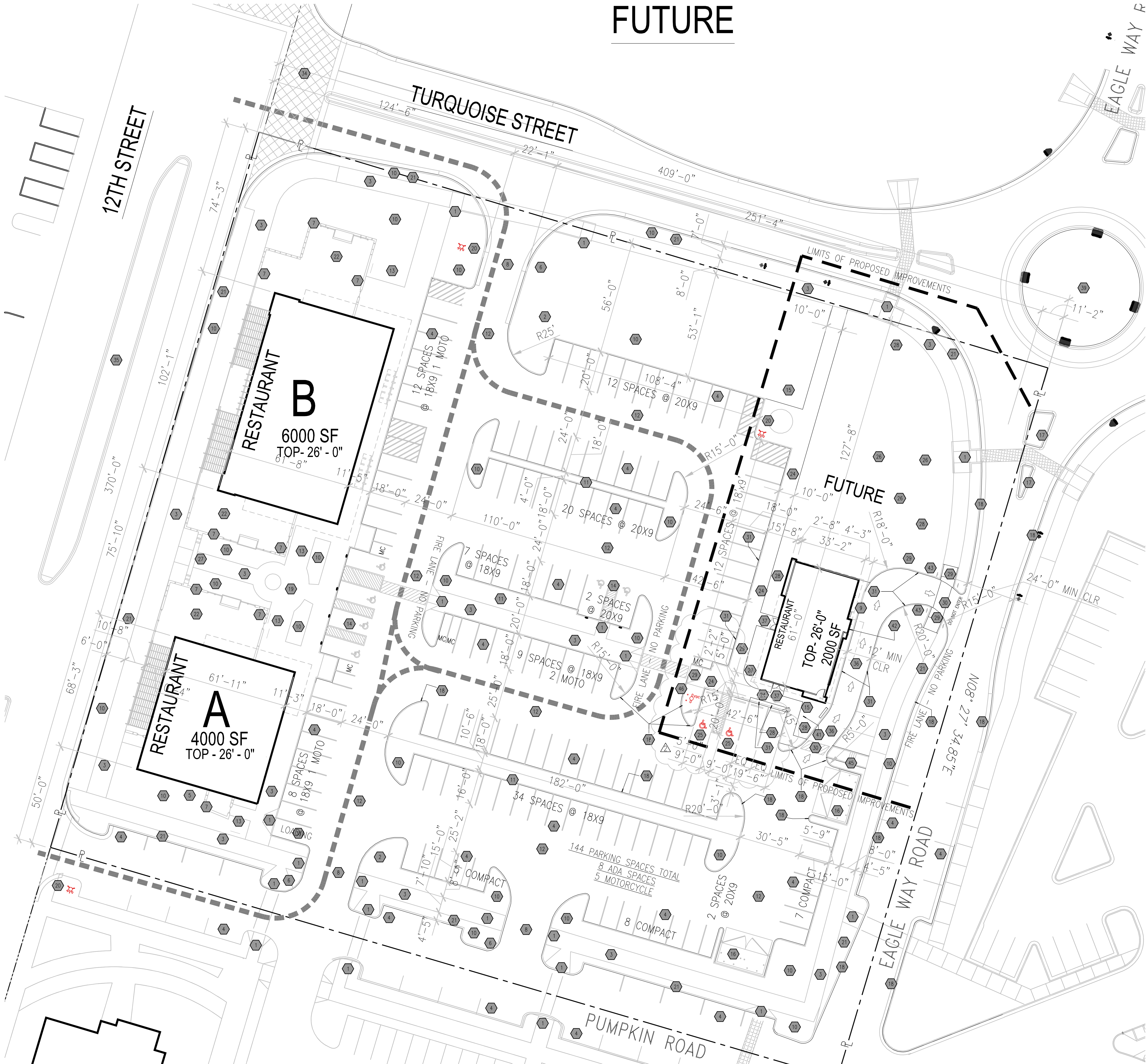
PAD1
SITE PLAN FOR
BUILDING PERMIT

AS-101

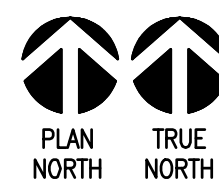
EXISTING
HOTEL

A1 SITE PLAN
SCALE 1/32" = 1'

FUTURE

A1 SITE PLAN
SCALE 1" = 20'-0"

0 30' 60'



GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION INCLUDING BUILDING AND PARKING CALCULATIONS.
- 2) SEE SHEETS AS-105 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SEE SHEETS E-101 AND E-102.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT.
- 7) FOR BUILDING SIGNAGE AND SITE SIGNAGE SEE SHEETS A-201 & AS-105.
- 8) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAIL A3/AS-104.
- 9) ANY CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

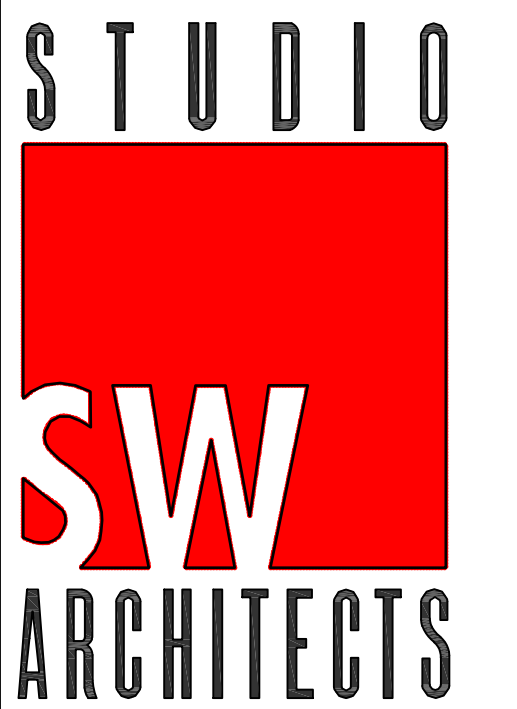
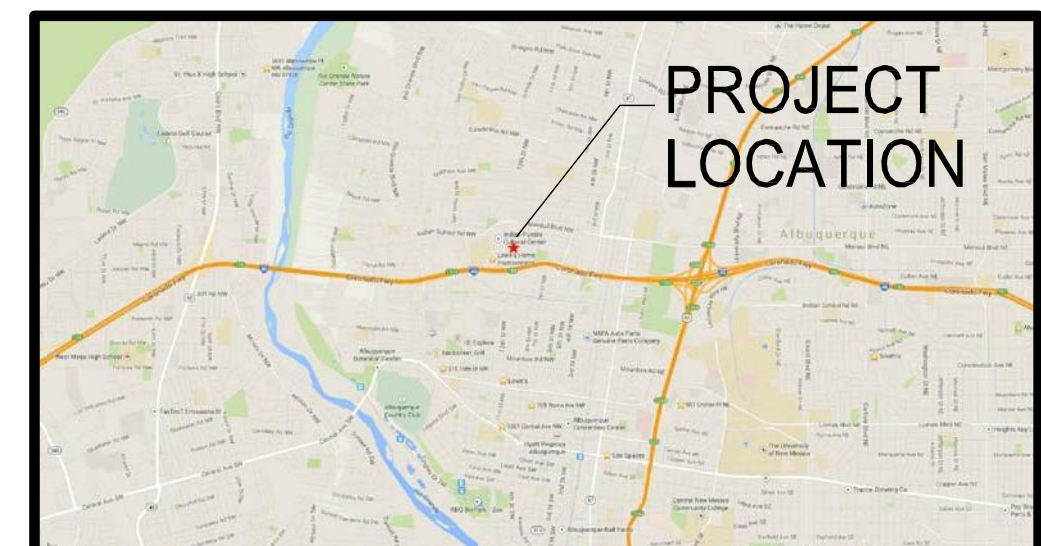
PROJECT DATA

CODE DATA:
ADDRESS: 2400 12TH STREET
BUILDING C
ALBUQUERQUE NM 87104
TYPE VB
OCCUPANT LOAD: N/A - BUILDING SHELL ONLY
SPRINKLER: FULLY SPRINKLERED
SQUARE FOOTAGE: 2000 SF - SHELL

SHEET KEYNOTES

(E) EXISTING
(N) NEW

- 1) (E) CURB RAMP
- 2) (E) TRANSFORMER
- 3) (E) CONCRETE WALKWAY TO REMAIN
- 4) (E) OFF STREET PARKING
- 5) (E) LANDSCAPE PAD, SITE WATER METER AND TIMBER BOX
- 6) (E) STOP SIGN
- 7) (E) YARD/PATIO WALL
- 8) (E) DRIVEWAY
- 9) (E) UTILITY LOCATION
- 10) (E) LANDSCAPING
- 11) (E) DEPRESSED PONDING & LANDSCAPE AT MEDIAN
- 12) (E) ASPHALT PAVING
- 13) (E) BIKE RACK LOCATION
- 14) (E) ADA SPACES.
- 15) (N) BIKE RACK LOCATION. REFER TO C4/AS-105
- 16) (E) TRASH ENCLOSURE SEE DETAIL A6/AS-105
- 17) (E) MOUNTABLE MEDIAN CURB
- 18) (E) CONCRETE CURB TO REMAIN
- 19) (E) PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD - 2000 SF EXTENTS
- 20) (E) FIRE HYDRANT
- 21) (E) CARRIAGE STRIP - SEE LANDSCAPING
- 22) (E) PATIO AND CAFE SPACE
- 23) (N) LANDSCAPING SCREEN
- 24) (N) CONCRETE WALKWAY
- 25) (N) ADA SPACES. REFER TO A1/AS-106
- 26) (N) DEPRESSED PONDING & LANDSCAPE
- 27) (E) ENTRY ARCH AT EXISTING CONCRETE WALKWAY
- 28) (N) LANDSCAPING
- 29) (N) CURB RAMP. REFER TO A2, B2 & C2 / AS-105
- 30) (N) 6" WIDE COLORED PATTERNED CONCRETE
- 31) (N) EDGE OF CURB
- 32) (N) PATIO CONCRETE PAD. 6 X 6 SCORING AT 45 DEGREES
- 33) (E) C.O.A. SHALL REBUILD THE WEST END OF THE EAST/WEST SIDEWALK, RAMP AND CURB PER C.O.A. PROJECT # 7186.92
- 34) (E) RAISED TABLETOP CROSSWALK. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
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- 36) (N) ASPHALT PAVED DRIVE THRU
- 37) (N) BUILDING ENTRY
- 38) (E) DESIGNATED LOADING ZONE WITH CONCRETE CURB RAMP
- 39) (E) TRAFFIC CIRCLE (NOT A PART OF PROJECT)
- 40) (N) BIKE RACK LOCATION
- 41) (N) GREASE TRAP LOCATION. SEE MECHANICAL/PLUMBING PLANS
- 42) (N) DRIVE THRU WINDOW AT WALL
- 43) (N) STOP SIGN. REFER TO D4/AS-105
- 44) (N) 3'-0" TALL MIN. LANDSCAPING SCREEN AT DRIVE THROUGH. SEE LANDSCAPING PLANS FOR ADDL. INFORMATION.
- 45) (N) CONCRETE STAIR WITH HANDRAILS. SEE DETAIL C1/AS-105
- 46) (N) TWO 6" DIAMETER PAINTED STEEL BOLLARDS ADJACENT TO REMOTE FDC CONNECTION



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
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CONSULTANTS

Architect Engineer

AIS PAD 1 -
BUILDING C SHELL
CONSTRUCTION

2400 12TH STREET
BUILDING C
ALBUQUERQUE NM 87104

Key Plan

NTS		
MARK	DATE	DESCRIPTION
ISSUE:	CON	DOCS
PROJECT NO:	1513	
CAD DWG FILE:	1513 AS-101.RVT	
DRAWN BY:	DSJ	
CHECKED BY:	RH	
DATE:	MARCH 08, 2017	

SHEET TITLE
PAD1
SITE PLAN - FD

AS-101

FUTURE

PROJECT NUMBER: 1000649
APPLICATION NUMBER: 15DRB-70193
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:
Traffic Engineer, Transportation Division Date 10-18-17
Water Utility Development Date 11-21-17
Parks & Recreation Department Date 10/18/17
City Engineer Date 10-18-17
Solid Waste Management Date 11/21/17
DRB Chairperson, Planning Department Date
* Environmental Health Department (conditional) Date
* Environmental Health, if necessary

GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION INCLUDING BUILDING AND PARKING CALCULATIONS
- 2) SEE SHEETS AS-105 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SEE SHEETS E-101 AND E-102.
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- 9) ANY CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

LEGEND

- LIMITS OF PROPOSED IMPROVEMENTS
- FIRE DEPARTMENT ACCESS
- PROPERTY LINE
- OUTLINE OF BUILDING

BUILDING DATA

CODE DATA:
ADDRESS: 2400 12TH STREET
BUILDING C
ALBUQUERQUE NM 87104
TYPE VB
CONSTRUCTION TYPE:
OCCUPANT LOAD: N/A - BUILDING SHELL ONLY
SPRINKLER: FULLY SPRINKLERED
SQUARE FOOTAGE: 2000 SF - SHELL
• INTERNATIONAL BUILDING CODE (IBC) 2015
• NEW MEXICO COMMERCIAL BUILDING CODE (NMCBC) 2015
• INTERNATIONAL FIRE CODE 2009: APPENDIX B,C & D

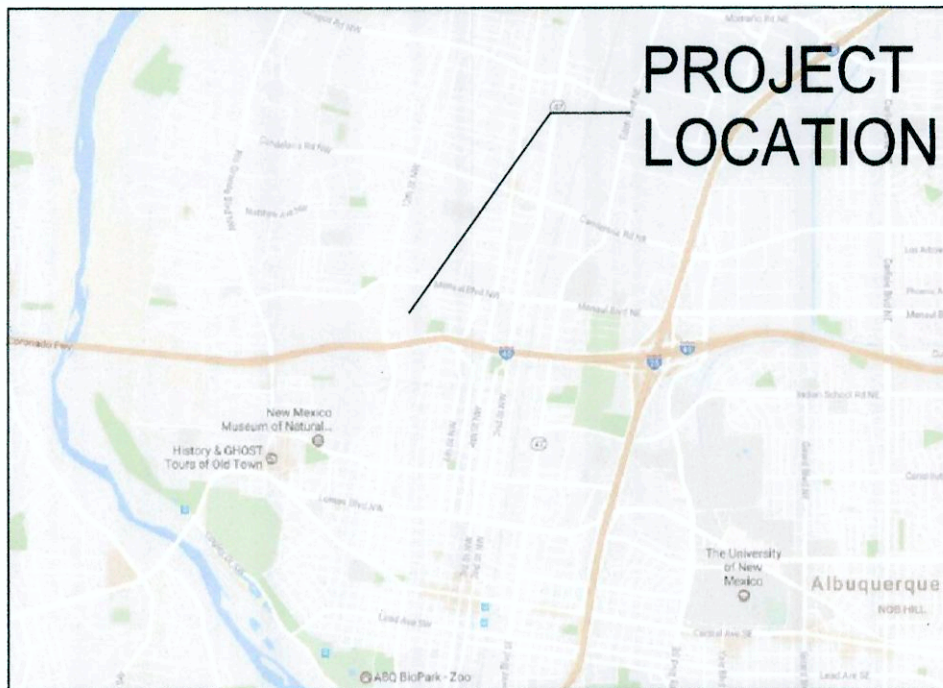
FIRE KEYNOTES

1. EXISTING STRUCTURE
2. PROPOSED STRUCTURE
3. PROPOSED ENTRY
4. FIRE HYDRANT LOCATION
5. FIRE DEPARTMENT ACCESS
6. FIRE LANES
7. KNOX BOX LOCATION
8. STANDPIPE LOCATION
9. FIRE DEPARTMENT CONNECTION (FDC) LOCATION
10. POST INDICATOR VALVE (PIV) LOCATION
11. REMOTE FDC CONNECTION

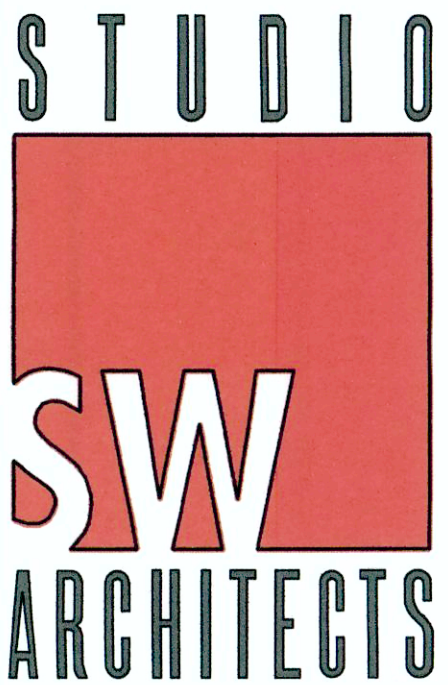
SHEET KEYNOTES

- 1) (E) CURB RAMP
- 2) (E) TRANSFORMER
- 3) (E) CONCRETE WALKWAY TO REMAIN
- 4) (E) OFF STREET PARKING
- 5) (E) LANDSCAPE PAD, SITE WATER METER AND TIMBER BOX
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- 14) (E) ADA SPACES.
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- 25) (N) ADA SPACES. REFER TO A1/AS-106
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- 29) (N) CURB RAMP. REFER TO A2, B2 & C2 / AS-105
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- 45) (N) CONCRETE STAIR WITH HANDRAILS

VICINITY MAP



0 30' 60'



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Architect Engineer

AS MASTER PLAN
BUILDING C

2400 12TH STREET
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
ISSUE:	DRB	
PROJECT NO:	1513	
CAD DWG FILE:	1513 FIRE 001.DWG	
DRAWN BY:	DSJ	
CHECKED BY:	DE	
DATE:	09/21/17	

SHEET TITLE

PAD1
SITE PLAN FOR
BUILDING PERMIT

AS-101



April 20, 2018

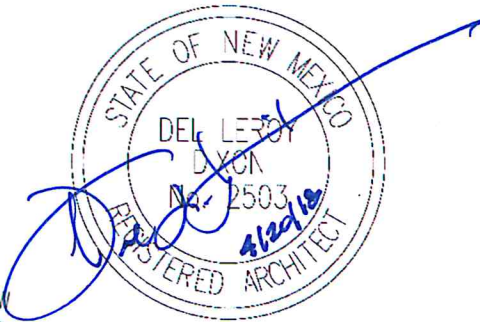
Re: DRB PROJECT # 1000649

To Whom It May Concern:

**Studio Southwest
Architects Inc.**

I, Del Leroy Dixon, NMRA #2503, of the firm Studio Southwest Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB signed and approved plan dated 11/21/17 by Shahab Biazar. The record information edited onto the original design document has been obtained by Diane Hoelzer, PE of the firm D. Mark Goodwin & Associates, P.A. I further certify that I have personally visited the project site on April 12, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



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F 505.843.9683
mail@studioswarch.com

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P.O. Box 9308
Santa Fe, NM 87504
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____