

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 23, 2015

Danny Solares
Studio Southwest Architects, Inc.
2101 Mountain Rd. NW
Albuquerque, NM

**Re: AIS Retail
12th St., Indian School Rd. and Menaul
15-Day Temporary Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 8-24-15 (H13-D106)
Certification dated 12-18-15**

Dear Mr. Solares,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 12-23-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: AIS Retail Building Permit #: _____ City Drainage #: H13D106
DRB#: 1000649 EPC#: _____ Work Order#: _____
Legal Description: Tract A of the Plat US BLM Survey of Town of Albuquerque Sec 7&8 T10N R3E
City Address: 12th Street and Indian School and Manual

Engineering Firm: Mark Goodwin and Associates Contact: Kelly Klein
Address: PO Box 90606 Albuquerque NM 87119
Phone#: 505-828-2200 Fax#: _____ E-mail: kelly@goodwinengineers.com

Owner: IPMI 6, L.L.C Contact: _____
Address: 2401 12 th NW
Phone#: 505-724-3518 Fax#: _____ E-mail: _____

Architect: Studio Southwest Architects, Inc Contact: Danny Solares
Address: 2101 Mountain Road NW
Phone#: 505-843-9639 Fax#: _____ E-mail: dsolares@studiowarch.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: Dec 17, 2015 By: Danny Solares

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

*Raid 12/23/15
by [signature]
Transmittal*

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



December 3, 2015

Re: DRB PROJECT # 1000649

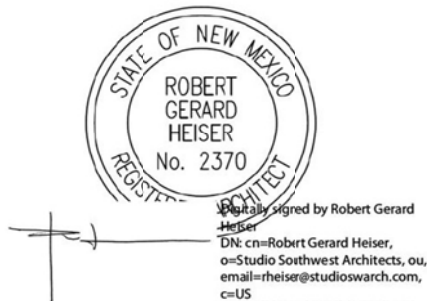
To whom it may concern,

**Studio Southwest
Architects Inc.**

I, Robert Gerald Heiser, NMRA #2370, of the firm Studio Southwest Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 8/24/15 by Jack W. Cloud. The record information edited onto the original design document has been obtained by Kelly Klein, EI of the firm D. Mark Goodwin & Associates, P.A.. I further certify that I have personally visited the project site on December 1, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

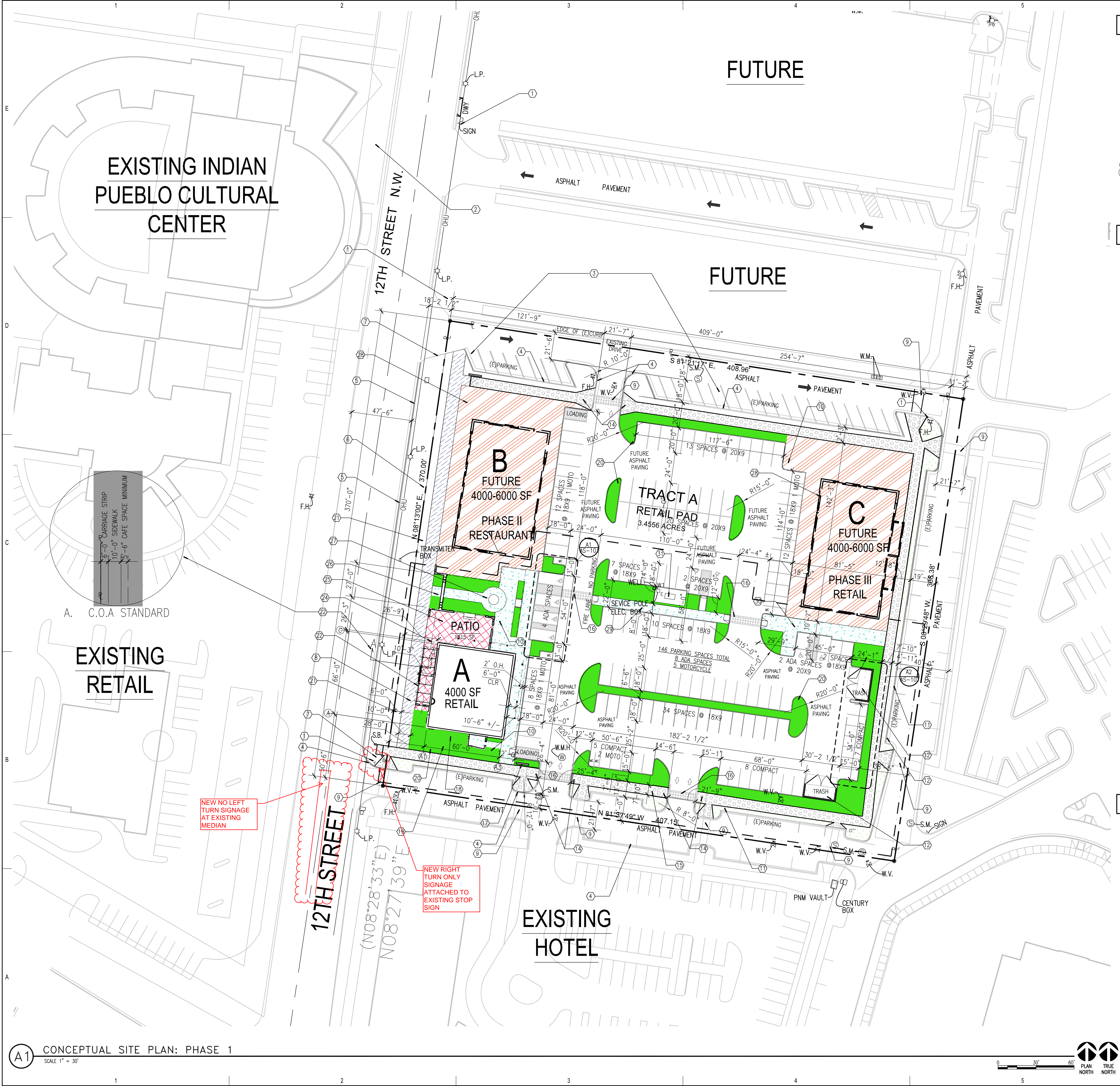
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GENERAL NOTES

- 1) SEE SHEET G-002 FOR ADDITIONAL INFORMATION.
- 2) SEE SHEETS AS-105 & AS-106 FOR SITE PERMIT # 7201591950.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS, SEE SHEET E-101 AND E-102. REFER TO DETAIL B7/AS-105 FOR TYPICAL SITE LIGHTING.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE. LOCATIONS NOTED FUTURE ASPHALT PARKING WILL BE PAVED AT PHASE 2 FOR BUILDINGS B & C.
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT.
- 7) IDENTIFY ALL MOTORCYCLE SPACES WITH "MOTORCYCLE" PAINTED ON THE PAVEMENT. SEE DETAIL A7/AS-105 FOR MOTORCYCLE SIGNAGE.
- 8) FOR BUILDING SIGNAGE AND SITE SIGNAGE SEPARATE PERMIT REQUIRED. FOR REFERENCE ONLY - SEE SHEETS A-201 & AS-106.
- 9) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. ANY CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

- 1) EXISTING STOP SIGN
- 2) EXISTING BUS STOP LOCATION
- 3) NO WORK AT THIS TIME. ENTRY DRIVE TO BE REVISED. COORDINATE WITH C.O.A. ON 12TH STREET IMPROVEMENTS.
- 4) EXISTING EDGE OF CURB
- 5) EXISTING EDGE OF CURB TO REMAIN. C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS. PER C.O.A. PROJECT # 7186.92
- 6) FUTURE LOCATION OF EDGE OF CURB. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- 7) C.O.A. SHALL REBUILD THE WEST END OF THE EAST/WEST SIDEWALK, RAMP AND CURB PER C.O.A. PROJECT # 7186.92
- 8) TEMPORARY CRUSHER FINE BY OWNER. C.O.A. WILL DO FULL SIDEWALK IMPROVEMENTS PER PROJECT # 7186.92
- 9) EXISTING 6' WIDE COLORED PATTERNED CONCRETE
- 10) FUTURE BIKE RACK LOCATION SEE B5/AS-105
- 11) EXISTING CARRIAGE STRIP WITH CRUSHER FINE. REFER TO LANDSCAPE DRAWINGS FOR ADDL. INFO.
- 12) TRASH ENCLOSURE SEE DETAIL A3/AS-105
- 13) EDGE OF EXISTING CURB AND PARKING STALL. NO CONSTRUCTION
- 14) EXISTING CURB, RAMP AND DRIVE
- 15) EXISTING WALKWAY TO REMAIN
- 16) 6' WIDE COLORED PATTERNED CONCRETE
- 17) PROPOSED SITE SIGNAGE. SEE DETAILS C3 AND C4 ON SHEET AS-105.
- 18) PROPOSED UTILITY LOCATION
- 19) PROPOSED LANDSCAPE PAD WATER METER AND TIMBER BOX
- 20) NEW LANDSCAPING
- 21) FUTURE 6' CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- 22) WOOD TRELLIS SHADE STRUCTURE - 530 SF. SEE DASHED OUTLINE FOR EXTENTS
- 23) REFER TO ENLARGED FUTURE SECTION AT CURB. SEE A. C.O.A. STANDARD
- 24) 5'-6" MINIMUM CAFE SPACE
- 25) NEW PATIO CONCRETE PAD. 6 X 6 SCORING AT 45 DEGREES
- 26) NEW CONCRETE WALKWAY AT MONUMENT ENTRY
- 27) PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD - 2000 SF EXTENTS SHOWN DASHED FOR CLARITY
- 28) PREPARE AND LEVEL PAD FOR FUTURE BUILDING.
- 29) NEW 8' WIDE CONCRETE WALKWAY AT PARKING ISLAND
- 30) NEW CONCRETE WALKWAY
- 31) NEW INLET - REF CIVIL

LEGEND

- PROPERTY LINE
- APPROXIMATE EXTENTS OF PHASE 1A
- FUTURE BUILDING PAD
- TEMPORARY CRUSHER FINE BY OWNER. C.O.A. WILL DO FULL SIDEWALK IMPROVEMENTS
- NEW CONCRETE WALKWAY
- NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
- NEW LANDSCAPING
- EXISTING CONCRETE WALKWAY
- EXISTING CARRIAGE LANDSCAPE STRIP. VERIFY TREE REQUIREMENTS.
- CONCRETE SIDEWALK. FUTURE C.O.A. PROJECT (TEMPORARY CRUSHER FINE BY OWNER. C.O.A. WILL DO FULL SIDEWALK IMPROVEMENTS PER PROJECT # 7186.92.)

STUDIO

SW

ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
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CONSULTANTS

Architect

Engineer

STAMP OF NEW MEXICO

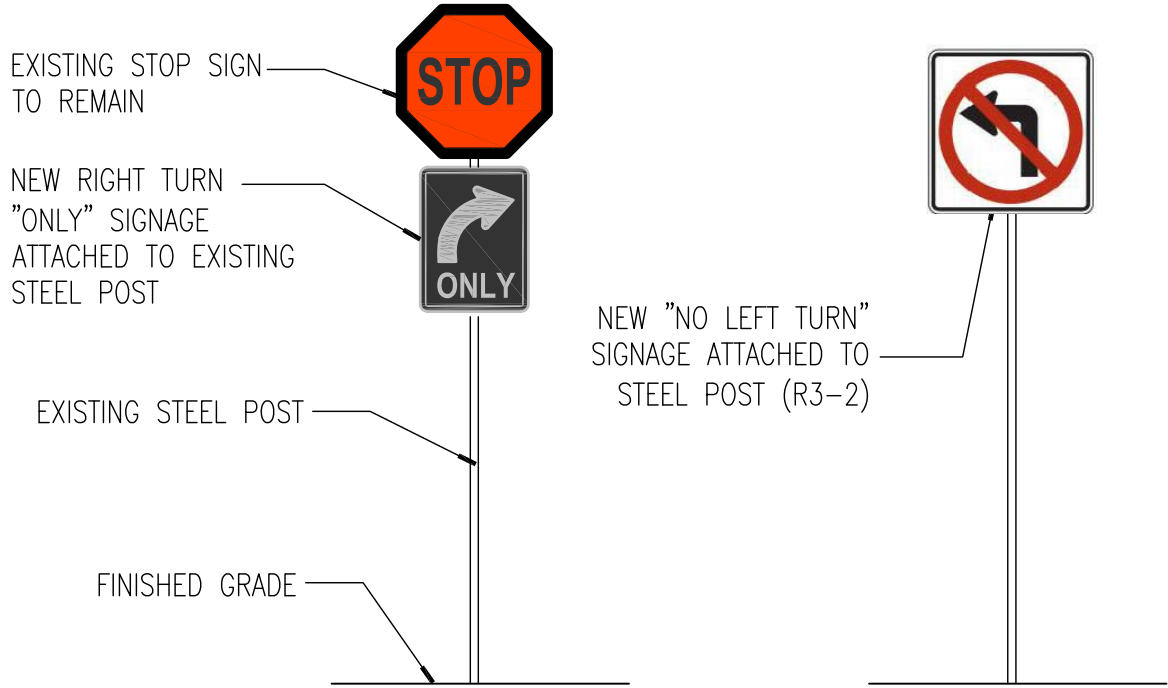
ROBERT GERARD HEISER

No. 23730

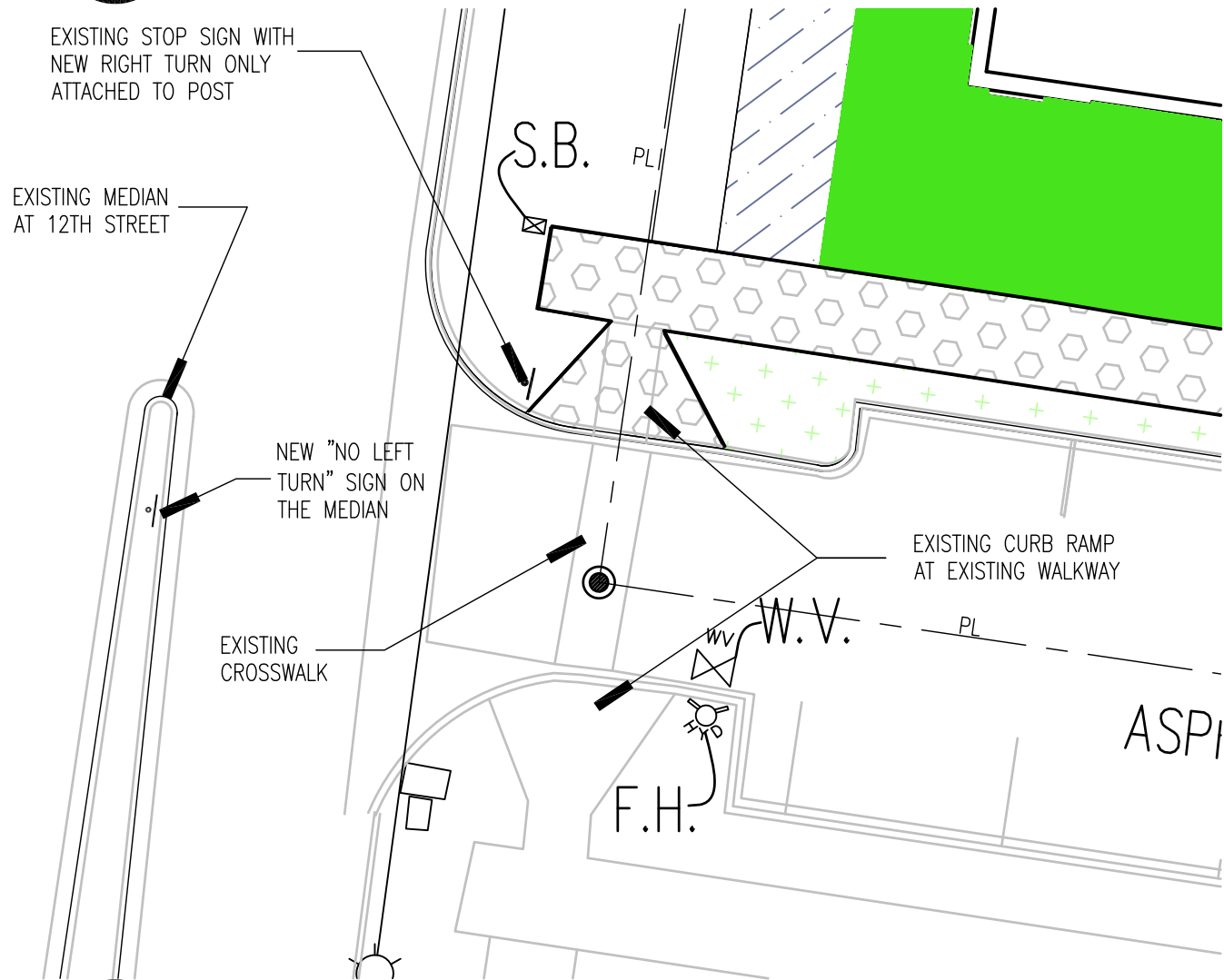
REGISTERED ARCHITECT

Digitally signed by Robert Gerard Heiser
DN: cn=Robert Gerard Heiser, o=Studio Southwest Architects, ou=Email=heiser@studioswarch.com, c=US
Date: 2015.08.18 15:33:11 -0600

1	08-17-2015	BD CORRECTIONS, WINDOW GLAZING MODIFICATIONS, STEM WALL DIM CLARIFICATION
No	Date	Description
Revision Schedule		
ISSUE:		
PROJECT NUMBER:		1519
FILE:		1513 AS-101.RVT
DRAWN BY:		DSJ
CHECKED BY:		RH
DATE:		07/27/2015
SHEET TITLE		
PAD1		
SITE PLAN FOR		
BUILDING PERMIT		
AS-101		



C1 NEW SIGNAGE AT CORNER
 SCALE: 1/2" = 1' - 0"



A1 ENLARGED SITE PLAN - SW CORNER
 SCALE: 1/2" = 1' - 0"

