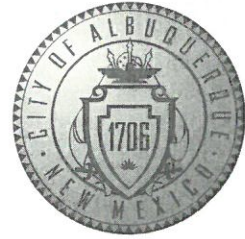


# CITY OF ALBUQUERQUE



March 13, 2017

Richard J. Berry, Mayor

David Soule, P.E.  
Rio Grande Engineering.  
Po box 93924  
Albuquerque, NM, 87199

**RE:** Mesa Cold Storage Repave Project  
Grading and Drainage Plan  
Engineer's Stamp Date 2-7-2017 (Fil: H13D108)

Dear Mr. David:

Based upon the information provided in your submittal received 2-8-2017, the above referenced Grading and Drainage Plan cannot be approved for paving permit until the following comments are addressed:

1. Provide onsite and offsite flow narrative.
2. It's not clear if the proposed grade tie to the existing grade.
3. Existing driveway must meet ADA requirement. The area between sidewalk and property line is consider part of the drive way.
4. Show flow line elevation by the driveway. Do we adequate water block?
5. Fix the text overlaps.
6. Parking restriping and handicap parking signage must be coordinated with transportation.

PO Box 1293


Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3999.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,



Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

**EROSION CONTROL NOTES:**

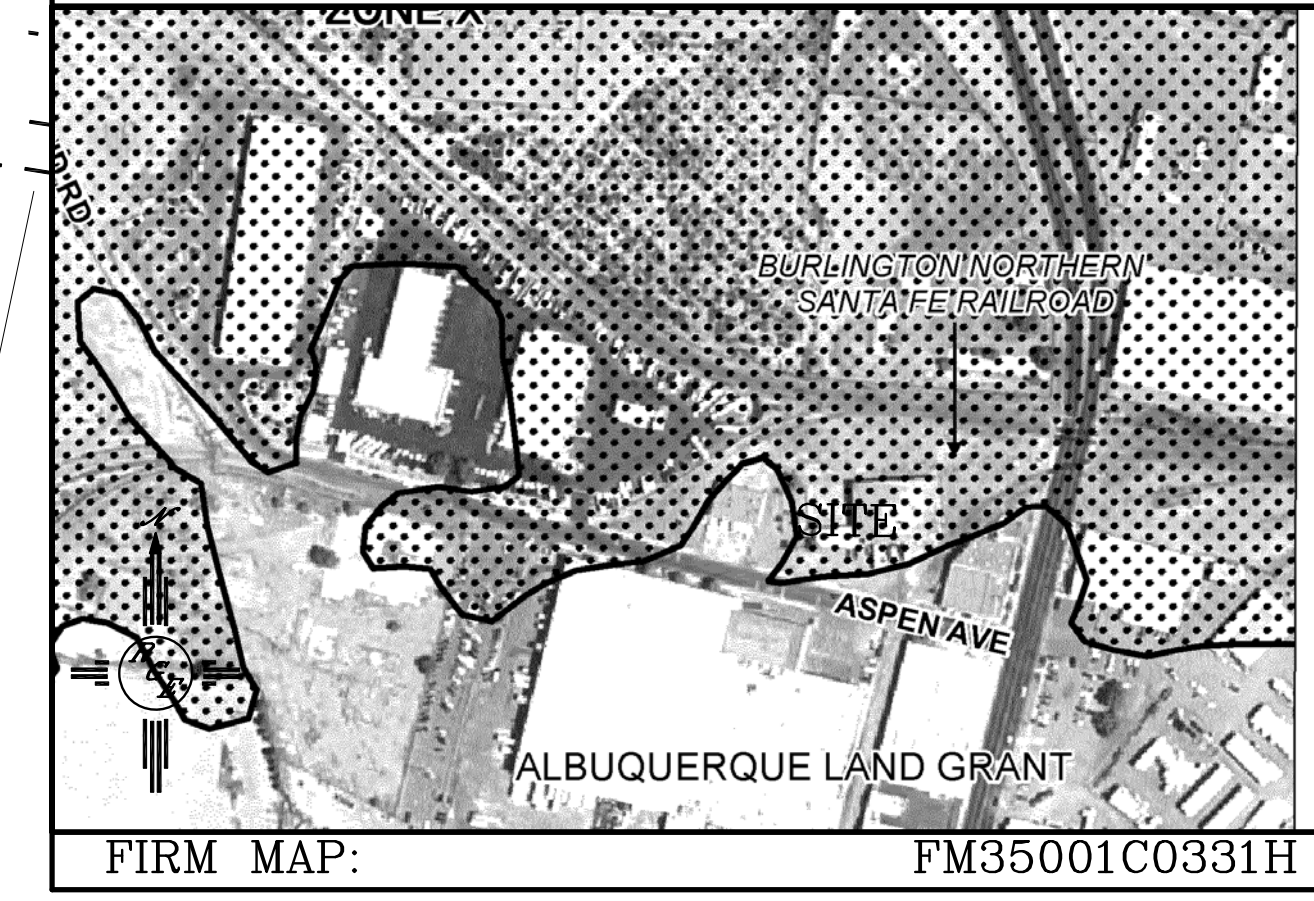
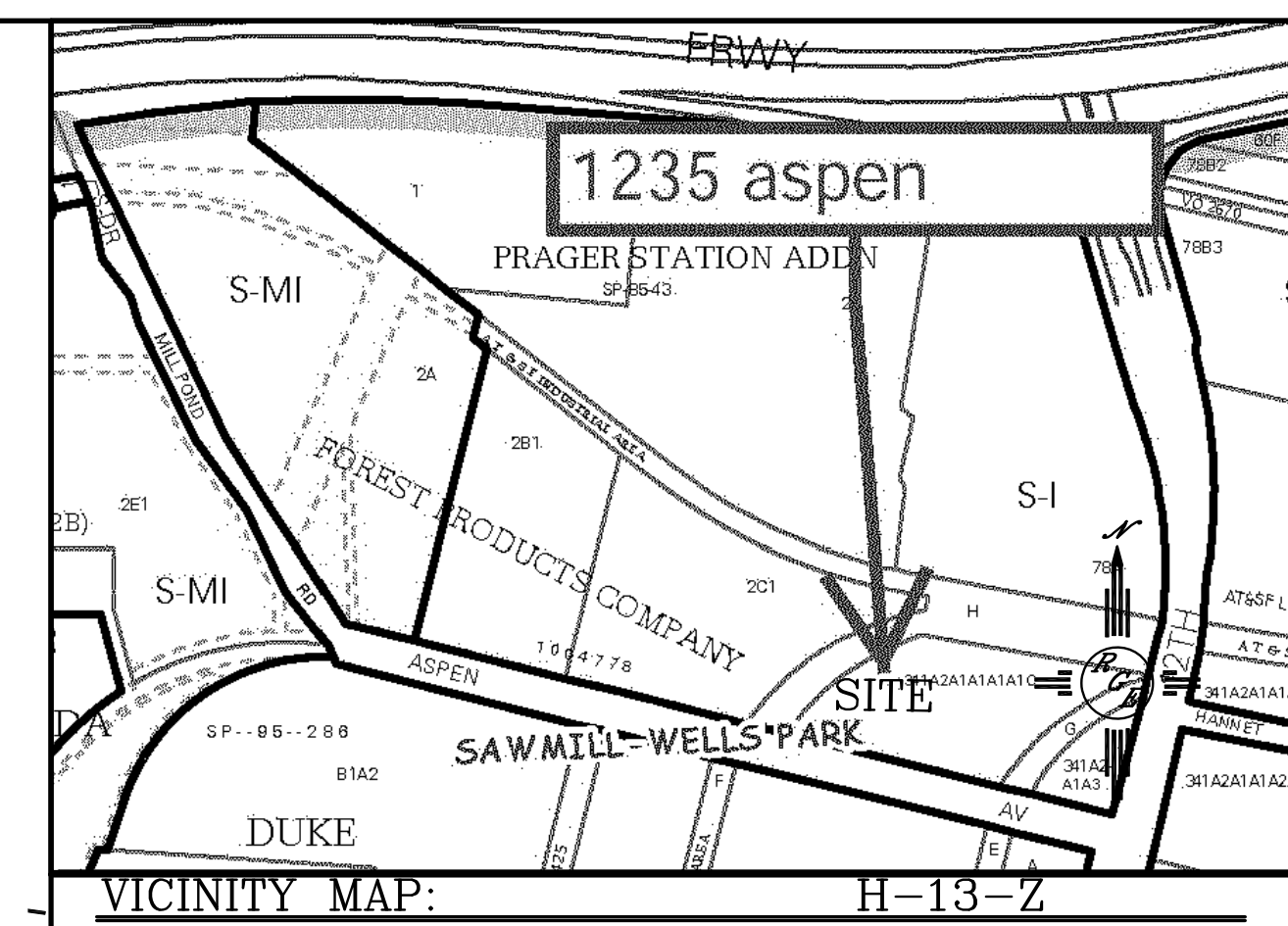
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

Weighted E Method  
PAVED AREA ONLY

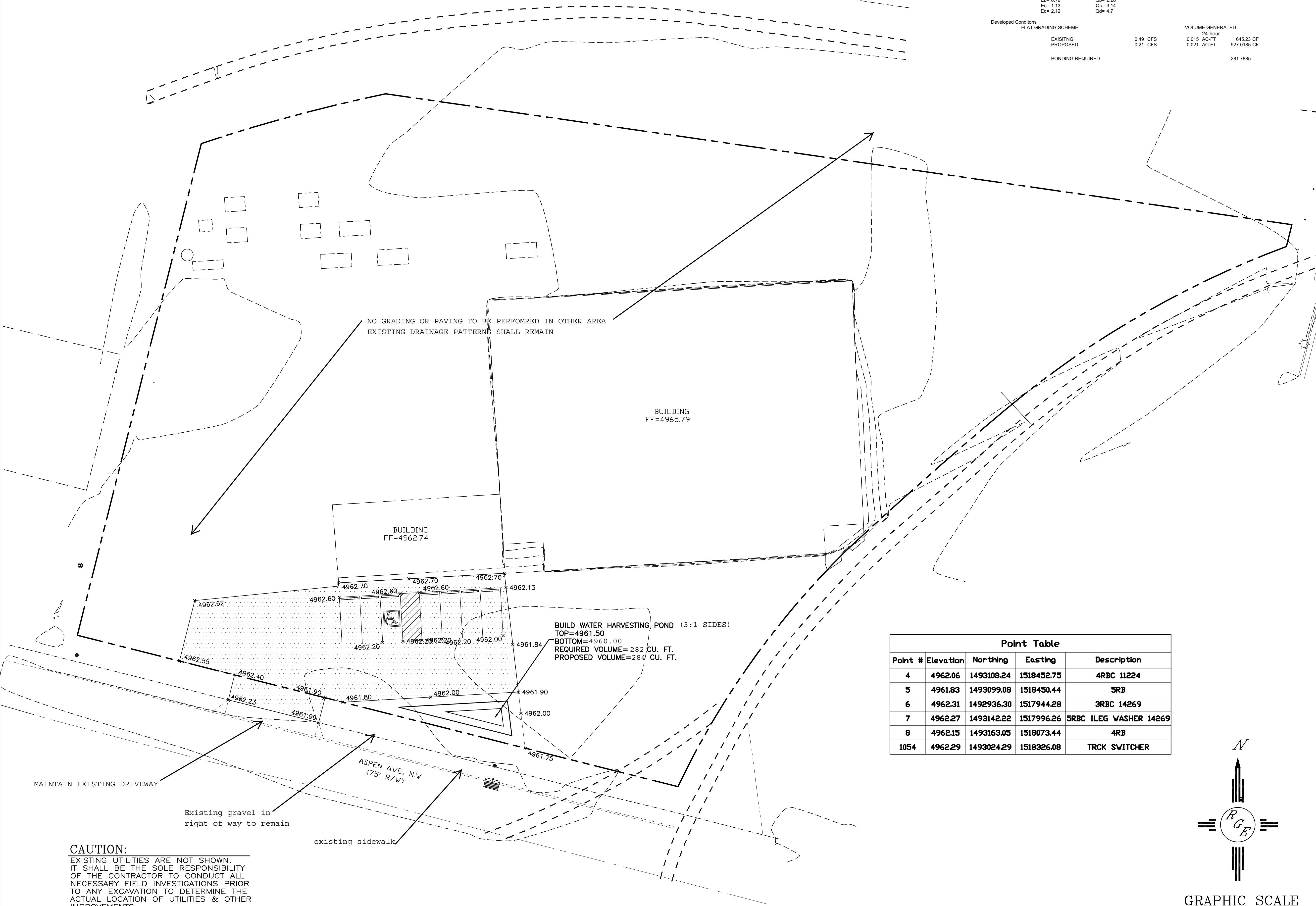
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	100-Year 24-hr Volume (ac-ft)	Flow cfs	24-hour Volume (ac-ft)
Existing	6852.00	0.157	0%	0%	0.00%	100%	0.157	0.00	0.49	0.015
proposed	6852.00	0.157	0%	0%	0.00%	15%	0.024	0.134	1.972	0.028
comparison	0.00	0.000	0%	0%	0.00%	-85%	-0.134	85%	0.134	0.842

Equations:  
 Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)  
 Volume = Weighted D \* Total Area  
 Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad  
 Where for 100-year, 6-hour storm (zone 2)  
 Ea= 0.53      Qa= 1.56  
 Eb= 0.78      Qb= 2.28  
 Ec= 1.13      Qc= 3.14  
 Ed= 2.12      Qd= 4.7

Developed Conditions  
 FLAT GRADING SCHEME  
 EXISTING      0.49 CFS      24-hour      0.015 AC-FT      645.23 CF  
 PROPOSED      0.21 CFS      100-year      0.021 AC-FT      927.0185 CF  
 PONDING REQUIRED      281.7885



**LEGAL DESCRIPTION:**  
 TRACT 341, SAWMILL WELLS PARK



**NOTES:**  
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

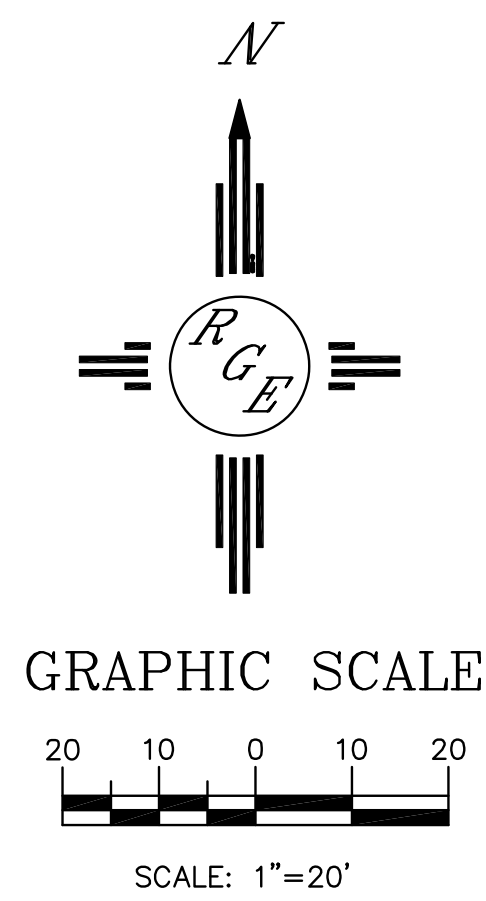
---5414---	EXISTING CONTOUR
---5415---	EXISTING INDEX CONTOUR
---5414---	PROPOSED CONTOUR
---5415---	PROPOSED INDEX CONTOUR
---SLOPE TIE---	SLOPE TIE
* 4048.25	EXISTING SPOT ELEVATION
* 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	EXISTING CURB AND GUTTER
---	EXISTING SIDEWALK
---	NEW 3" AC PAVING

**Point Table**

Point #	Elevation	Northing	Easting	Description
4	4962.06	1493108.24	1518452.75	4RBC 11224
5	4961.83	1493099.08	1518450.44	5RB
6	4962.31	1492936.30	1517944.28	3RBC 14269
7	4962.27	1493142.22	1517996.26	5RBC ILEG WASHER 14269
8	4962.15	1493163.05	1518073.44	4RB
1054	4962.29	1493024.29	1518326.08	TRCK SWITCHER

**BUILD WATER HARVESTING POND (3:1 SIDES)**  
 TOP=4961.50  
 BOTTOM=4960.00  
 REQUIRED VOLUME=282 CU. FT.  
 PROPOSED VOLUME=284 CU. FT.

**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	MESA COLD STORAGE	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 2-07-17
		21707-LAYOUT-2-07-17
DAVID SOULE P.E. #14522		1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999
		JOB # 21707