CITY OF ALBUQUERQUE

December 22, 2020

Luis Noriega, PE
Tierra West, LLC
5571 Midway Park NE
Albuquerque, NM 87109

Re: Sandia Lab FCU
1100 Rio Grande Blvd NW
Traffic Circulation Layout
Engineer's Stamp Date 12-15-2020 (H13-D109)

Dear Mr. Noriega,

Based upon the information provided in your submittal received 12-15-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Shared Site access: driveways that straddle property lines, or are entirely on one propertybut are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner. If there is an approved plat, then it needs to be provide to redefine the new lot lines. Please address this issue and/or an approved plat submitted.**Condition of TCL Approval.**
2. Private access easement on plat need to be shown as well as , all beneficiaries, maintenance responsibilities must be shown/listed on an approved plat. An approved is required prior to **TCL/building permit approval**.
3. The curb ramps that are south of the proposed building are not lined up across the parking aisle.
4. A Traffic Study evaluating the alternative of a roundabout versus a traffic signal is needed at the Florence intersection The type of traffic control at the intersection should be decided and agreed upon by all stakeholders prior to platting action. All improvements within the right-of-way should be built per work order and placed onto an infrastructure list.

If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E., Planning Dept.
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Sandia Lab FCU Building Permit #: _____ Hydrology File #: H13D109

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts 230A, 230B, 230C, 231A1, 231A2, 231B1, 231B2, 231B3 &234A and TR A PLAT OF LANDS OF HARRY J GARCIA

City Address: 1100 Rio Grande Blvd NW Albuquerque NM 87104

Applicant: Tierra West, LLC Contact: Luis Noriega

Address: 5571 Midway Park NE Albuquerque NM 87109

Phone#: 505-858-3100 Fax#: 505-858-118 E-mail: lnoriega@tierrawestllc.com

Owner: Garcia Real Estate Investments LLC Contact: Ed Garcia

Address: P.O Box 26207

Phone#: 505-260-5188 Fax#: _____ E-mail: egarcia@garciacars.com

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) ____ RESIDENCE __X__ DRB SITE ____ ADMIN SITE

IS THIS A RESUBMITTAL?: __X__ Yes _____ No

DEPARTMENT: __X__ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
__X__ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

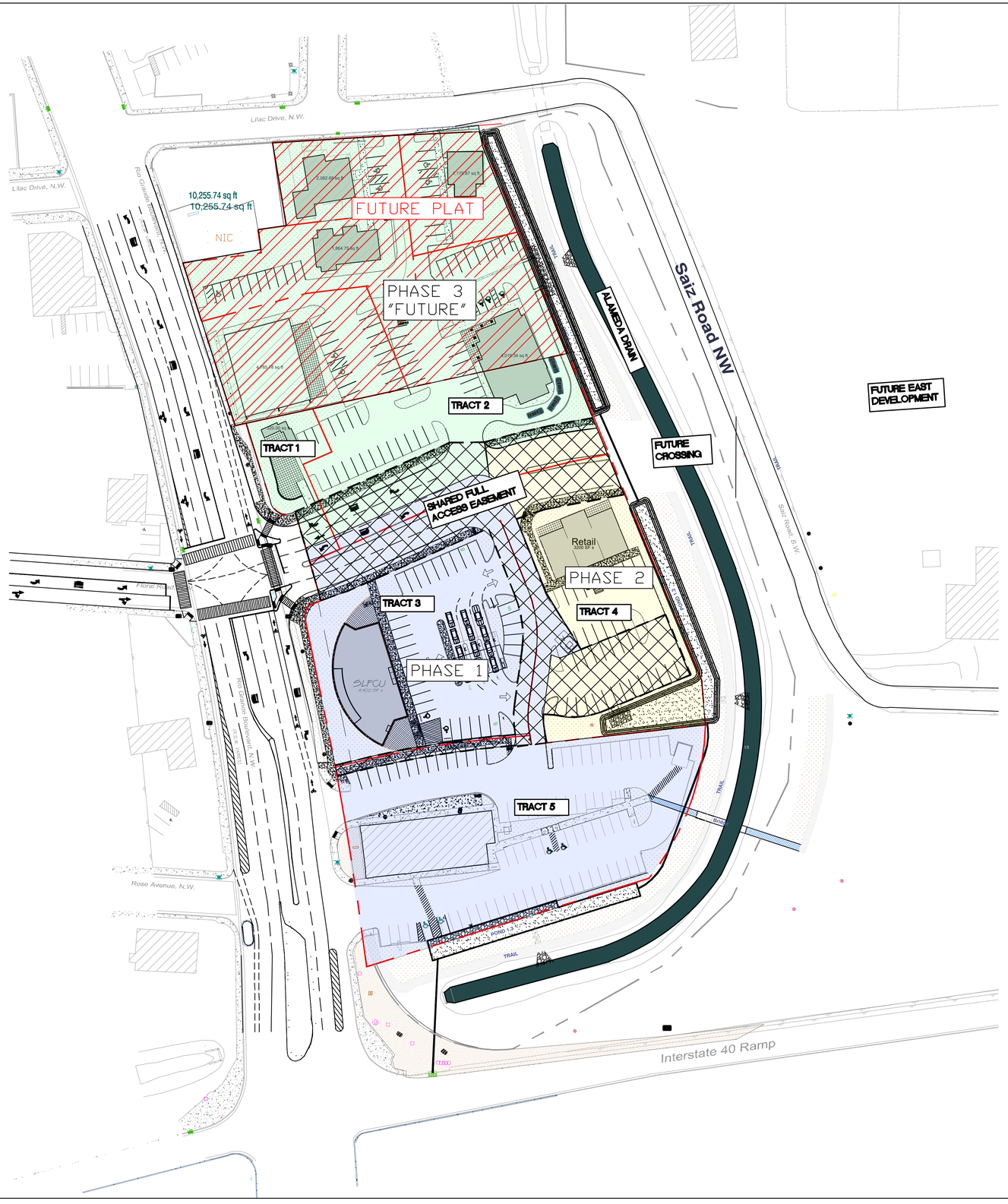
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
__X__ SITE PLAN FOR SUB'D APPROVAL
__X__ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 12-15-2020 By: Luis Noriega

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- CURB & GUTTER
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- PAVEMENT
- SIDEWALK
- LANDSCAPING
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK

N

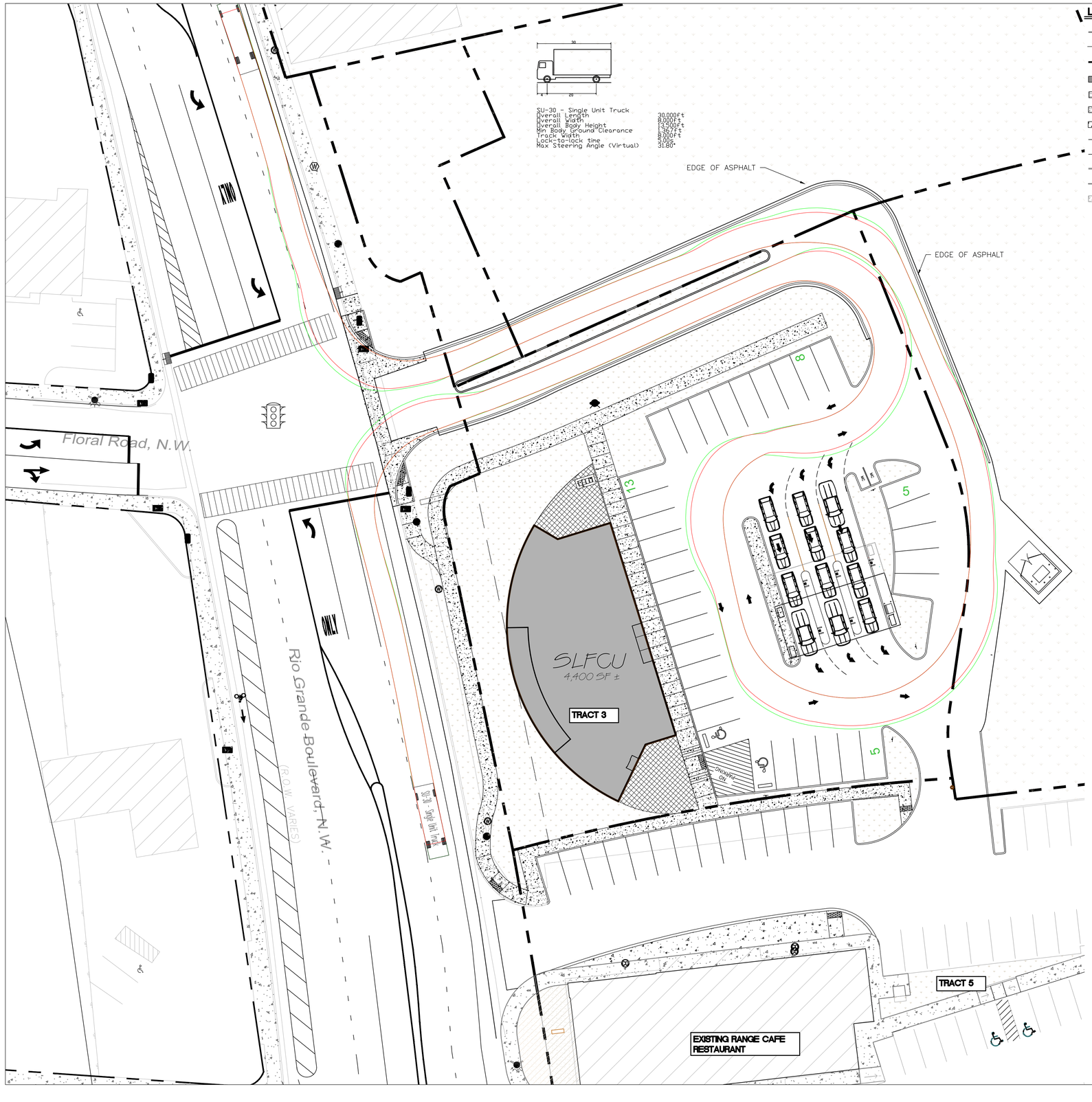
GRAPHIC SCALE

40 20 0 20 40

SCALE: 1"=40'

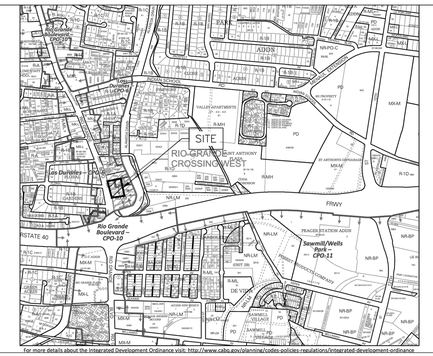
PRELIMINARY
NOT FOR CONSTRUCTION

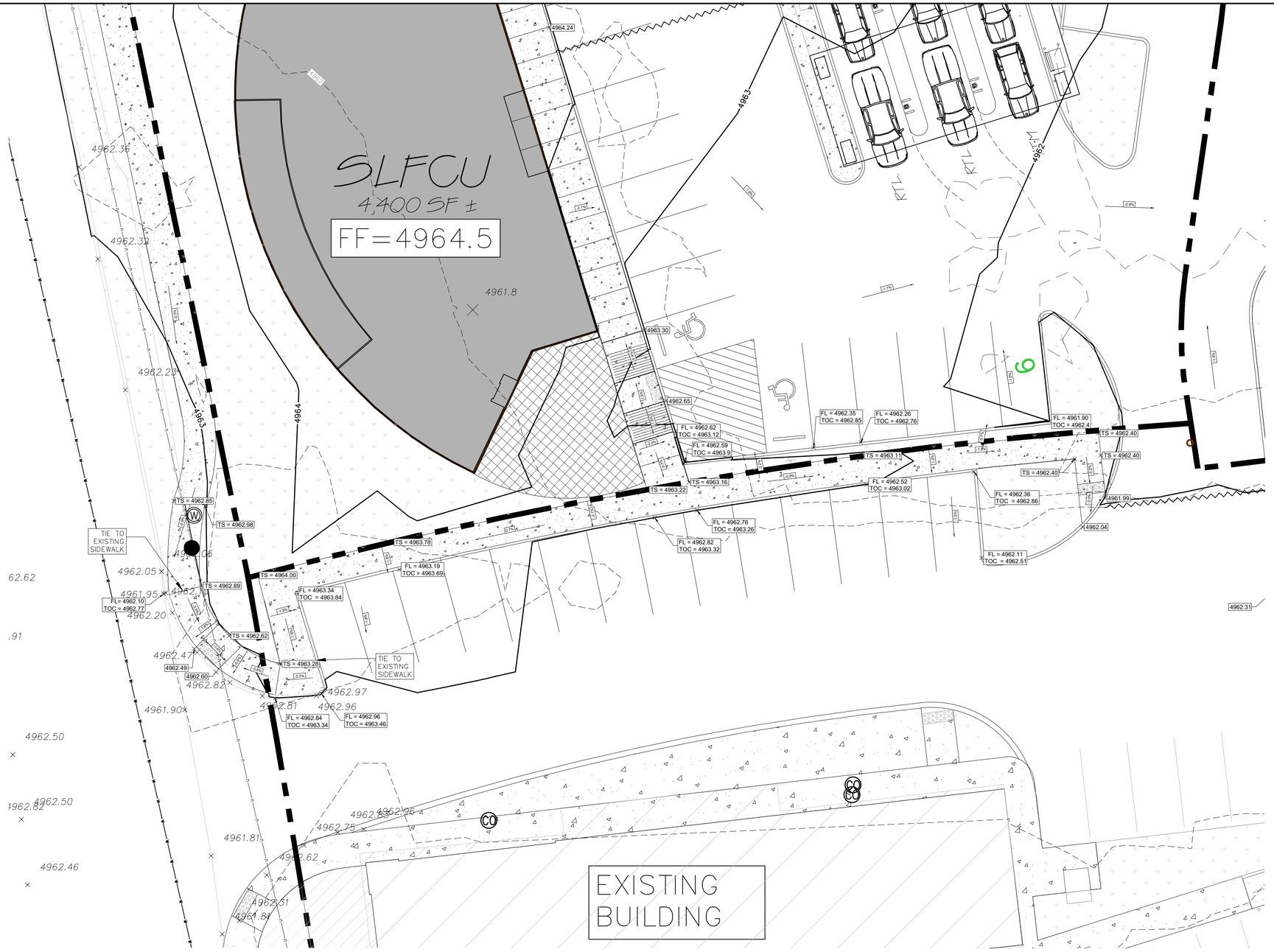
ENGINEER'S SEAL	SANDIA LAB FCU RIO GRANDE + I-40	DRAWN BY RG
		DATE 10-8-2020
	CONSTRUCTION PHASING EXHIBIT	DRAWING 2012100-SP
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # E1
RONALD R. BOHANNAN P.E. #7868		JOB # 2012100



LEGEND

- CURB & GUTTER
- EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- PAVEMENT
- SIDEWALK
- LANDSCAPING
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING SD INLET





LEGEND

- PROPOSED BOUNDARY LINE
- EXISTING BOUNDARY LINE
- CONCRETE SIDEWALK
- LANDSCAPING
- TEXTURED PAVEMENT
- RIP-RAP
- GRADE BREAK
- 5010 — PROPOSED CONTOUR MAJOR
- 5011 — PROPOSED CONTOUR MINOR
- PROPOSED FLOW ARROW
- × 5045.90 — PROPOSED SPOT ELEVATION
- CURB & GUTTER
- EX. STORM DRAIN MANHOLE
- EX. STORM DRAIN INLET
- SD — EX. STORM DRAIN UTILITY LINE
- 5010 — EXISTING CONTOUR MAJOR
- 5011 — EXISTING CONTOUR MINOR
- × 5048.25 — EXISTING SPOT ELEVATION

SPOT ELEVATION LEGEND

FL=FLOW LINE
TOC=TOP OF CURB
TS= TOP OF SIDEWALK

NOTE: ALL OTHER TO BE FLOW LINE ELEVATIONS

N

GRAPHIC SCALE

10 5 0 5 10

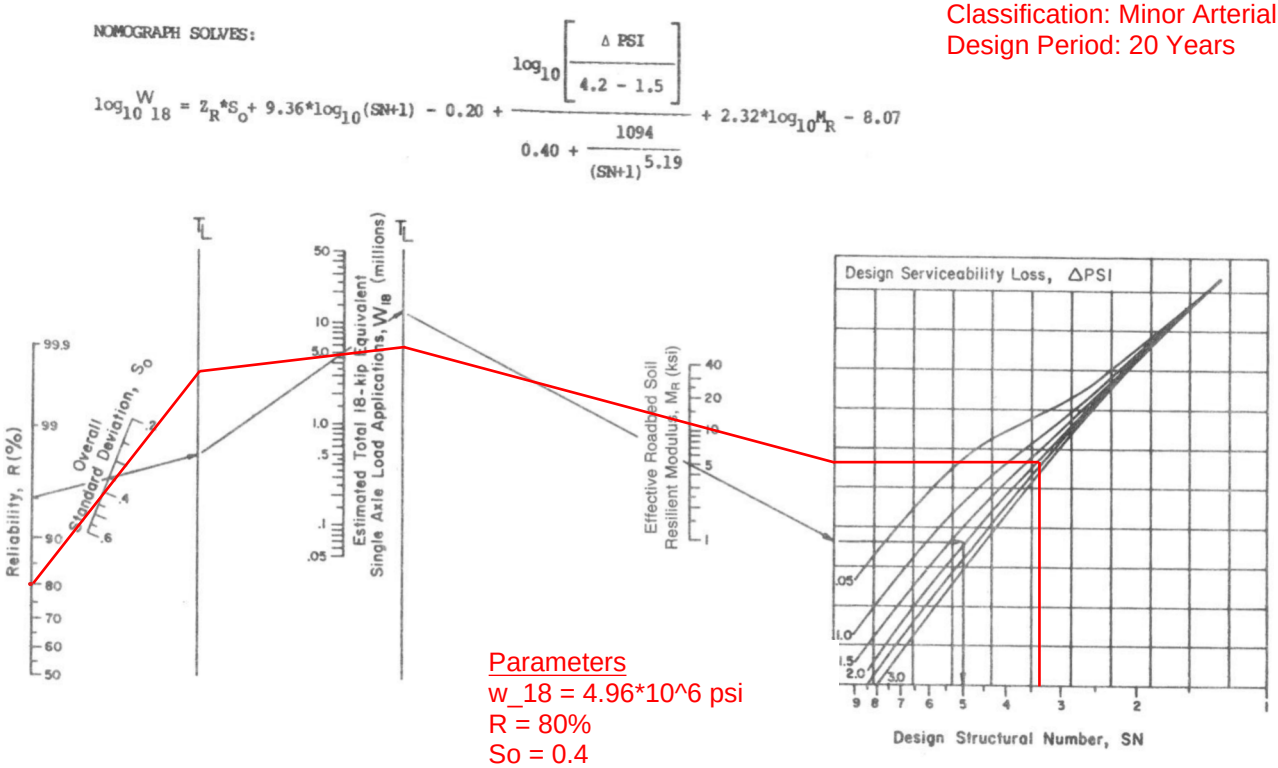
SCALE: 1"=10'

"FOR REFERENCE ONLY"

ENGINEER'S SEAL	**SANDIA LAB FCU** **RIO GRANDE BLVD + I-40**	DRAWN BY RG
	ADA SIDEWALK RAMP CONNECTION DETAIL	DATE 10-8-2020
		DRAWING 2012100-BASE-GRD-CROSSING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # **E-5**
RONALD R. BOHANNAN P.E. #7868		JOB # 2012100

FIGURE 7.4.62 **Design Chart Flexible Pavements**

Rio Grande and Floral
R value = 50
Classification: Minor Arterial
Design Period: 20 Years



Parameters
w_18 = 4.96*10^6 psi
R = 80%
So = 0.4
M_R = 12,300 psi
Change in PSI = 2.2
Solution: SN = 3.4

Design Chart for Flexible Pavements Based on Using Mean Values for Each Input

Structural Coefficients of Pavement Components
d1 = Asphaltic Concrete (AC): a1 = 0.42
d2 = Aggregate Base Course (ABC): a2 = 0.1 (Modification Factor: m2 = 1.15)
d3 = Sub-base Material: a3 = 0.06
d = layer thickness in inches

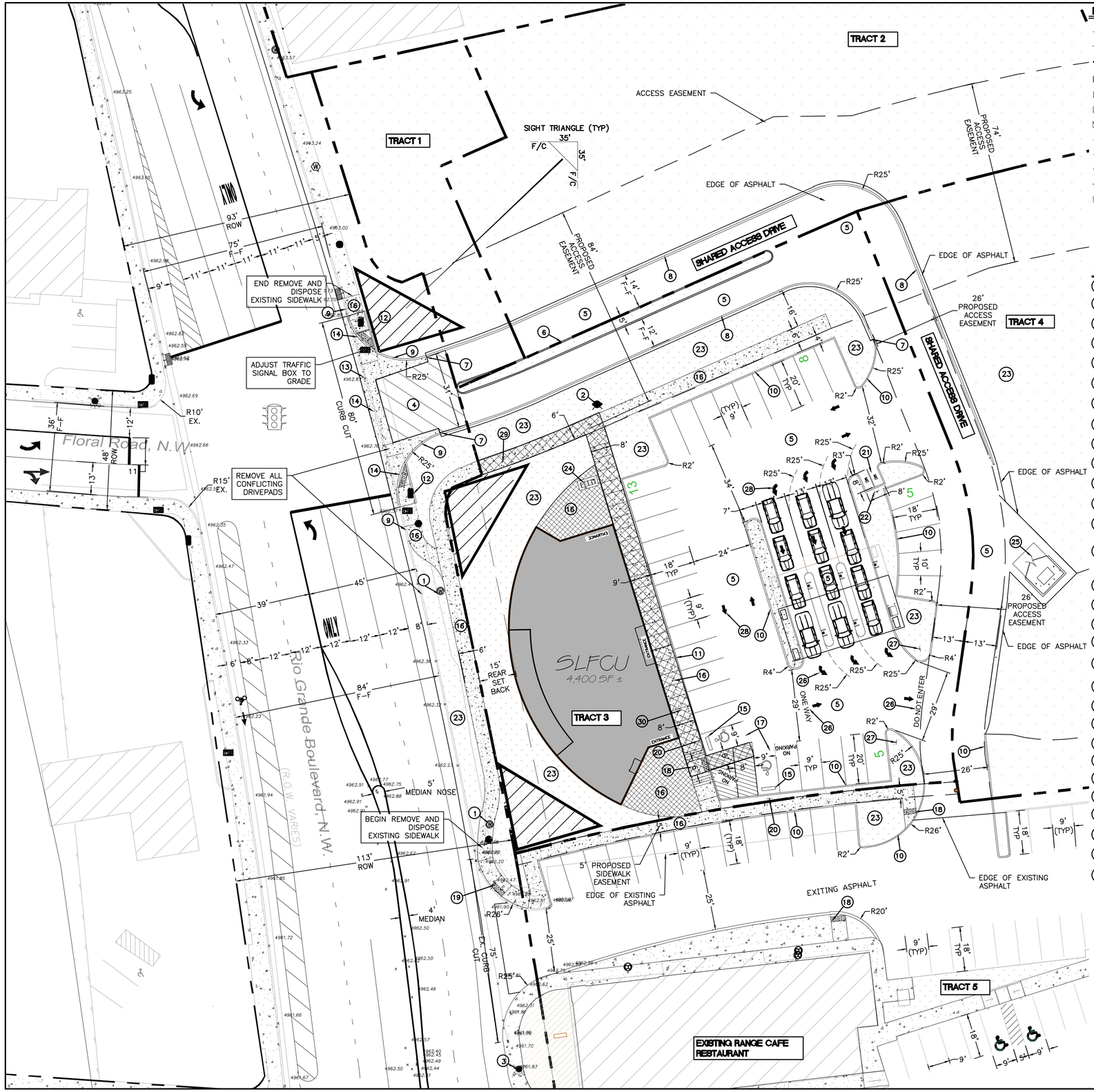
SN = a1*d1 + a2*d2*m2 + a3*d3

3.4 = 0.42*d1 + 0.1*6*1.15 + 0.06*12

d1 = 4.74 inches (Use 5 inch thick asphalt)

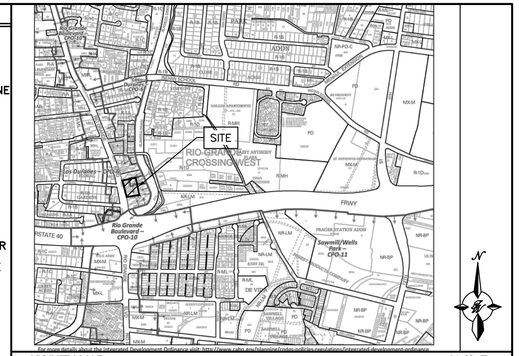
Final Design (Within Rio Grande Blvd ROW)

Asphalt Concrete = 5"
Base Course = 6"
Subgrade = 12"



LEGEND

- CURB & GUTTER
- EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- PAVEMENT
- SIDEWALK
- LANDSCAPING
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING SD INLET



VICINITY MAP: H-13-Z

KEYED NOTES

1. EXISTING WATER METER BOX
2. NEW FIRE HYDRANT PER COA STD DWG #2340
3. EXISTING FIRE HYDRANT
4. ASPHALT PAVEMENT WITHIN COA ROW (SEE DETAIL, SHEET C2)
5. SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C2)
6. 6" MEDIAN C & G PER COA STD DWG #2415A
7. STD C & G TO 6" ASPHALT CURB TRANSITION (SEE DETAIL, SHEET C3)
8. TEMPORARY ASPHALT 6" C & G PER COA STD DWG #2415C
9. STD 8" CURB AND GUTTER PER COA STD DWG #2415A
10. 6" PRIVATE CURB AND GUTTER (SEE DETAIL, CHEET C2)
11. 6" CONCRETE TURN DOWN (SEE DETAIL, SHEET C2)
12. HEADER CURB PER COA STD DWG #2415C
13. CONCRETE VALLEY GUTTER PER COA STD DWG #2420
    NOTE THE 1-1/2" INVERT SHALL BE REDUCED TO 1"
14. PRIVATE ENTRANCE WITH PARALLEL ADA RAMPS PER COA STD DWG #2426
    ADA CURB RAMPS TO BE UPDATED TO CURRENT COA STD'S
    AND SHALL HAVE TRUNCATED DOMES INSTALLED PER COA STD DWG #2446
15. WHEEL STOP (SEE DETAIL, SHEET C2)
16. SIDEWALK PER COA STD DWG #2430 (SEE DETAIL, SHEET C2)
17. ADA PARKING PER ADA REQUIREMENTS (SEE DETAIL, SHEET C2)
18. ADA PARALLEL CURB RAMP PER COA CURRENT STANDARDS #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C4)
19. ADA CORNER CURB RAMP PER COA CURRENT STANDARDS #2441 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C4)
20. ADA NO PARKING SIGN (SEE DETAIL, SHEET C2)
21. MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
22. MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C2)
23. LANDSCAPE AREA
24. BIKE RACK (SEE DETAIL, SHEET C4)
25. SHARED DUMPSTER (SEE DETAIL, SHEET C4)
26. "ONE WAY" & "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C5)
27. "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C5)
28. TRAFFIC ARROWS (SEE DETAIL, SHEET C5)
29. PUBLIC ADA ACCESSIBLE PATHWAY
30. PRIVATE ADA ACCESSIBLE PATHWAY

SITE DATA

SANDIA LABORATORY FEDERAL CREDIT UNION (SLFCU)	
IDO ZONING:	MX-M
PROPOSED USAGE:	BUSINESS
LOT AREA:	40,530 SF (0.93 ACRE)
BUILDING AREA:	4,400 SF
PARKING: SPACES REQUIRED: 13 (3 SPACES/ 1,000 SF)	
PARKING: SPACES PROVIDED: 32 (INCLUDES HC PARKING)	
HC PARKING: SPACES REQUIRED: 2	
HC PARKING: SPACES PROVIDED: 2	
(1 VAN ACCESSIBLE)	
MC PARKING: SPACES REQUIRED: 1	
(1 PER 1-25 REQUIRED PARKING SPACES)	
MC PARKING: SPACES PROVIDED: 2	
BICYCLE PARKING: SPACES REQUIRED: 3	
(3 SPACES OR 10% OF REQUIRED PARKING)	
BICYCLE PARKING: SPACES PROVIDED: 4	
LANDSCAPE AREA PROVIDED: 7400 SF (18%)	

NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2. ALL CONFLICTING STRIPING SHALL BE ERADICATED BY WATER BLASTING PER SECTION 443 OF THE COA STANDARD SPECIFICATIONS (LATEST EDITION).
3. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
4. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
5. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
6. ALL LANE OR LANES STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
7. PAINT ALL MEDIAN CURB AND MEDIAN NOSE YELLOW (TYP) PER COA STANDARD SPECIFICATIONS.
8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
9. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

"PRELIMINARY NOT FOR CONSTRUCTION"

ENGINEER'S SEAL

RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER
12/15/2020

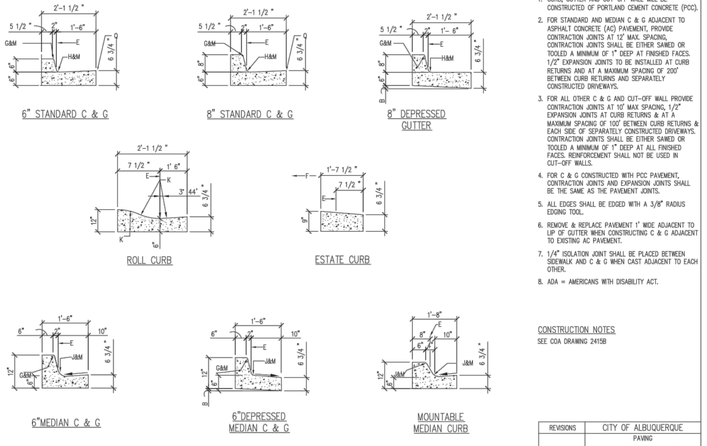
RONALD R. BOHANNAN P.E. #7868

RIO GRANDE + I-40 PHASE 1

TRAFFIC CIRCULATION LAYOUT PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: RG
DATE: 10-8-2020
DRAWING: 2012100-SP -SLFCU
SHEET #: C1
JOB #: 2012100



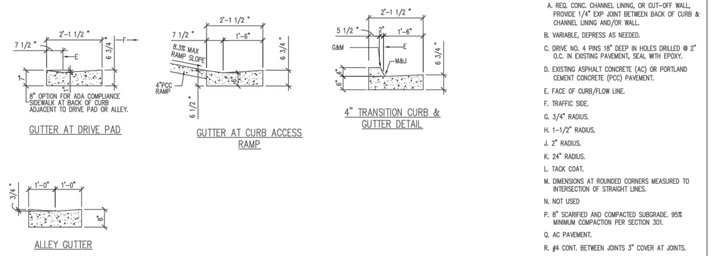
GENERAL NOTES

1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

SEE COA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER DETAILS
	DWG. 2415A JUNE 2019



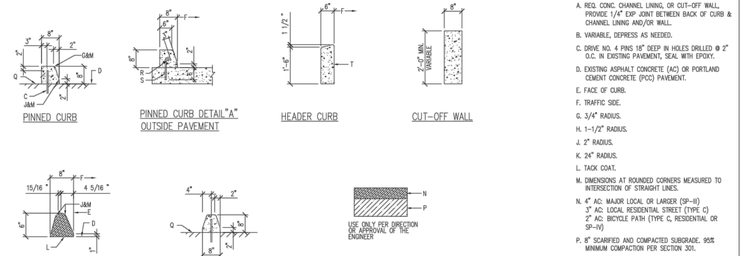
GENERAL NOTES

SEE COA DRAWING 2415A

CONSTRUCTION NOTES

A. REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP. JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
B. VARIABLE, DEPRESS AS NEEDED.
C. DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
D. EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
E. FACE OF CURB/FLOW LINE.
F. TRAFFIC SIDE.
G. 3/4" RADIUS.
H. 1-1/2" RADIUS.
J. 2" RADIUS.
K. 24" RADIUS.
L. TACK COAT.
M. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
N. NOT USED
P. 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301.
Q. AC PAVEMENT.
R. #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
S. #3 PINS @ 3'-0" O.C. W/STD. HOOK.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER DETAILS
	DWG. 2415B JANUARY 2019



GENERAL NOTES

SEE COA DRAWING 2415A

CONSTRUCTION NOTES

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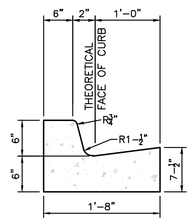
E. FACE OF CURB.
F. TRAFFIC SIDE.
G. 3/4" RADIUS.
H. 1-1/2" RADIUS.
J. 2" RADIUS.
K. 24" RADIUS.
L. TACK COAT.
M. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
N. 4" AC: MAJOR LOCAL OR LARGER (SP-III)
3" AC: LOCAL RESIDENTIAL STREET (TYPE C)
2" AC: BICYCLE PATH (TYPE C, RESIDENTIAL OR SP-IV)
P. 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301.
Q. AC PAVEMENT.
R. #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
S. #3 PINS @ 3'-0" O.C. W/STD. HOOK.
T. MAY BE POURED MONOLITHICALLY WITH THE CURB.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND TEMPORARY PAVING SECTIONS
	DWG. 2415C JUNE 2019

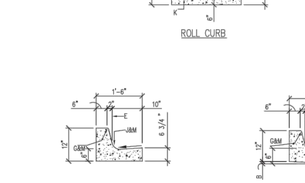


CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

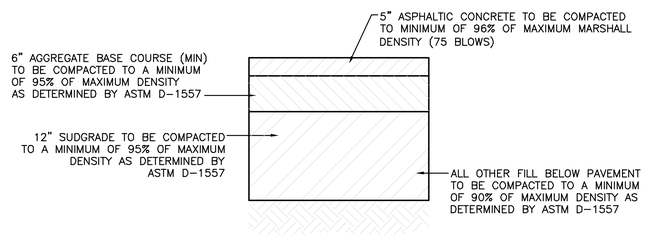
6" PRIVATE CURB & GUTTER

NTS



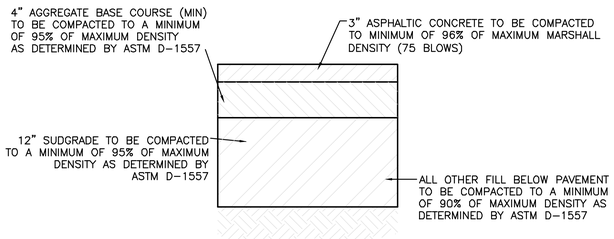
DETAIL-TURNDOWN CURB

NTS



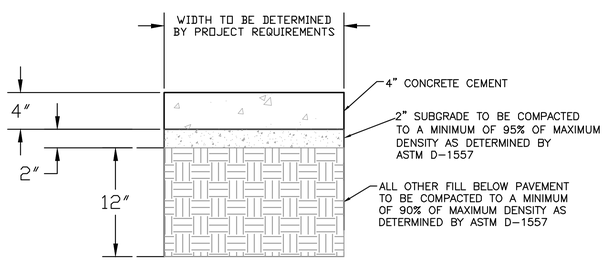
ASPHALT PAVEMENT SECTION WITHIN COA ROW

NTS



TYPICAL SITE ASPHALT PAVEMENT

NTS



CONCRETE PAVEMENT SECTION

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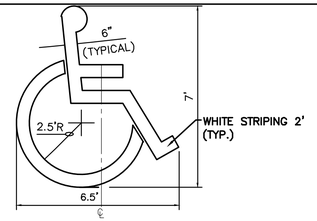
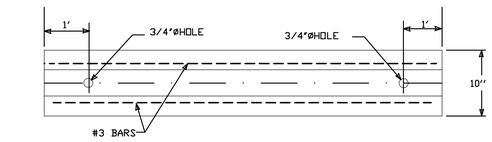
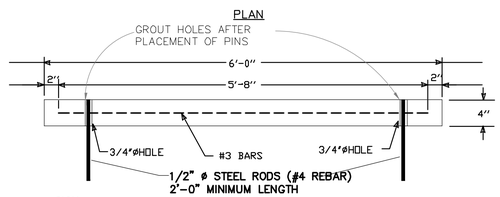


LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

ACCESSIBLE PARKING SYMBOL

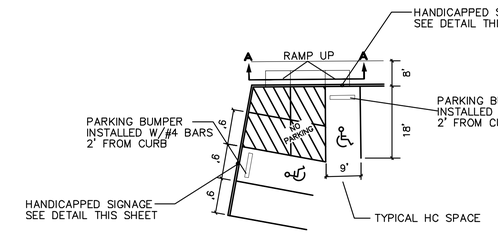
NTS





WHEEL STOP

NTS

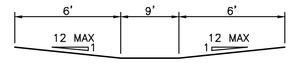


HC PARKING DETAIL

NTS

NOTES:

1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) Parking space lines and diagonal striping to be painted blue and shall be 4" wide. Diagonal lines shall be spaced 2' center to center.
3) Access aisle shall have the words "NO PARKING" in blue, capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



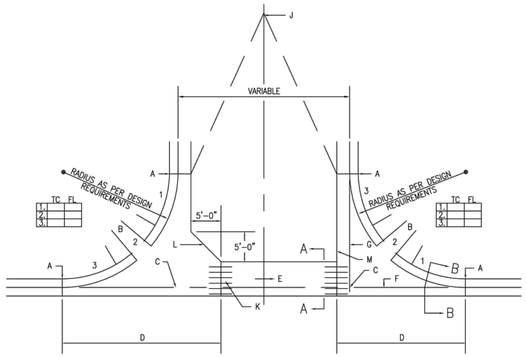
HC PARKING DETAIL SECTION A-A

NTS

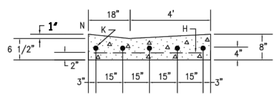
PRELIMINARY NOT FOR CONSTRUCTION

ENGINEER'S SEAL	RIO GRANDE + 1-40 PHASE 1	DRAWN BY RG
	DETAILS	DATE 10-8-2020
		DRAWING 2012100-SP -SLFCU
	TIERRA WEST, LLC	SHEET # C2
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2012100

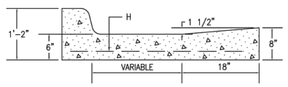
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 10/15/2020



PLAN



SECTION A–A



SECTION B–B

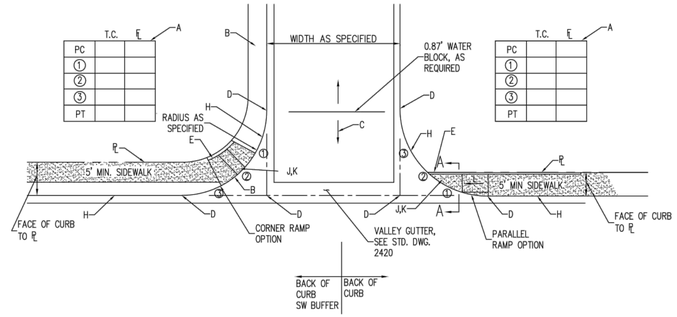
GENERAL NOTES

1. DESIGN ELEVATIONS TO BE GIVEN AT EACH END OF THE CURB RETURN (TOP OF CURBELEV.) AND AT INTERSECTIONS OF PROJECTED FLOWLINES (FLOWLINE ELEV.).
2. ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURNS.
3. THE VALLEY GUTTER TO BE REINFORCED WITH 6" X 6" X NO. 6 GA. WIRE MESH.
4. INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
5. CURB FLOWLINE AND TOP OF CURB ELEV.SHOWN IN THE BOX CORRESPOND TO QUARTERPOINTS INDICATED ON THE CURB RETURN IN THE CLOCKWISE DIRECTION.
6. DENOTES 1/2" EXPANSION JOINT.
7. FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT. ASPHALT CONC. SHALL BE INSTALLED MONOLITHICALLY TO MEET NEW VALLEY GUTTER.
8. PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
9. ENSURE MINIMUM 4' WIDE ADA PATHWAY ACROSS INTERSECTION.

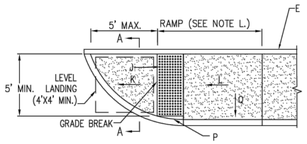
CONSTRUCTION NOTES

A. END OF CURB RETURN, SEE NOTE 1.
B. FOR RAMP DETAILS, SEE DWGS. 2418, 2440, 2441
C. INTERSECTION OF FLOWLINES, SEE NOTE 1.
D. SURFACE AND CURB TO BE MONOLITHIC.
E. DIRECTION OF FLOW.
F. FLOWLINE.
G. PROJECTED FLOWLINE OF 1 1/2" INVERT, SEE NOTE 2.
H. BEGIN CROWN WARP TO STRAIGHT SECTION WHERE
J. BEGIN CROWN WARP TO STRAIGHT SECTION WHERE SPECIFIED ON PLANS, OR INDICATED BY THE ENGR.
K. NO. 4 BARS 3'-0" LONG AT 16" O.C.
L. ALTERNATE A, WITH FILLET AS PER PLANS.
M. ALTERNATE B, NO FILLET AS PER PLANS.
N. THE 1 1/2" INVERT DEPTH MAY BE REDUCED TO IMPROVE RIDEABILITY WITH APPROVAL OF ENGINEER.

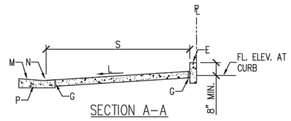
REVISIONS	CITY OF ALBUQUERQUE
	PAVING DRIVEPAD AND VALLEY GUTTER DWG. 2420 JUNE 2019



PRIVATE ENTRANCE



MINIMAL R.O.W. FOR SIDEWALK AT BACK OF CURB PARALLEL RAMP



SECTION A–A

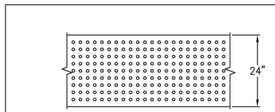
GENERAL NOTES

1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES SUCH AS ENTRANCES TO COMMERCIAL SITES, IN LIEU OF STANDARD DRIVE PAD PER CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
2. SEE STD. DWGS. 2441 TO 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

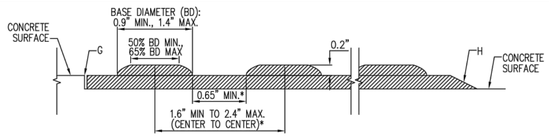
CONSTRUCTION NOTES

A. INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420. SEE LOCATION FOR QUARTER POINTS ON PLAN VIEW BELOW.
B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED – CONSTRUCT CURB ACCESS RAMPS PER STD. DETAIL DWGS. 2440 – 2445.
C. INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 6% OR LESS WHEN CONNECTING TO LOCAL STREETS. INCLUDE A 4–FOOT WIDE ADA ACCESSIBLE PATHWAY ACROSS ENTIRE WIDTH OF PRIVATE ENTRANCE.
D. INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.
E. AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG. 2415B AND SECTION A–A, THIS SHEET.
F. IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSITIONED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.
G. 1/2" EXPANSION JOINT.
H. THEORETICAL FACE OF CURB OR FLOWLINE.
J. DETECTABLE WARNING DEVICES FOR DRIVE ENTRANCES ≥30 FEET BETWEEN FACES OF CURB (SEE STD. DWG. 2446 FOR PLACEMENT DETAILS).
K. LEVEL LANDING (2% MAXIMUM SLOPE).
L. 8.3% MAXIMUM SLOPE, 7% PREFERRED SLOPE.
M. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP.
N. FLUSH WITH RAMP AND GUTTER.
P. CURB AND GUTTER (SEE STD. DWG. 2415 – GUTTER AT CURB ACCESS RAMP).
Q. 2% MAXIMUM CROSS–SLOPE. 1.5% PREFERRED CROSS–SLOPE.
R. NOT USED
S. VARIES WITH AVAILABLE RIGHT–OF–WAY.

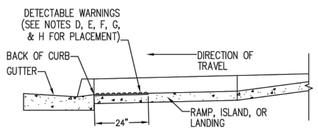
REVISIONS	CITY OF ALBUQUERQUE
	PAVING PRIVATE ENTRANCE DETAILS–ILLUSTRATING TWO R/W CONDITIONS DWG. 2426 JUNE 2019



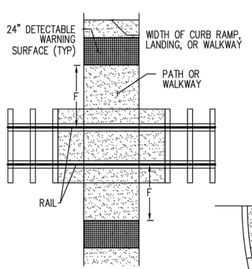
PLAN VIEW



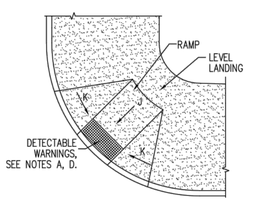
DOME SIZE AND SPACING



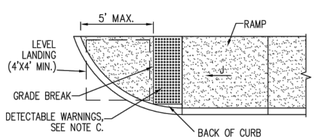
PLACEMENT– PROFILE

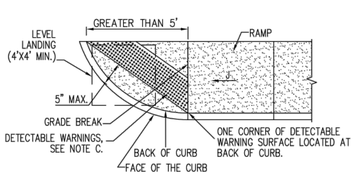


PEDESTRIAN AT–GRADE RAIL CROSSINGS

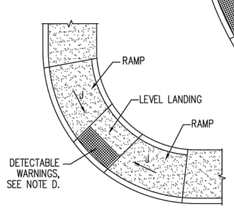


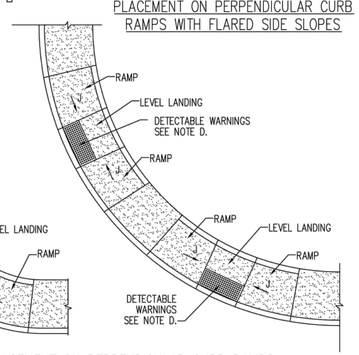
PLACEMENT ON PERPENDICULAR CURB RAMPS WITH FLARED SIDE SLOPES





PLACEMENT ON PARALLEL CURB RAMPS





PLACEMENT ON PERPENDICULAR CURB RAMPS

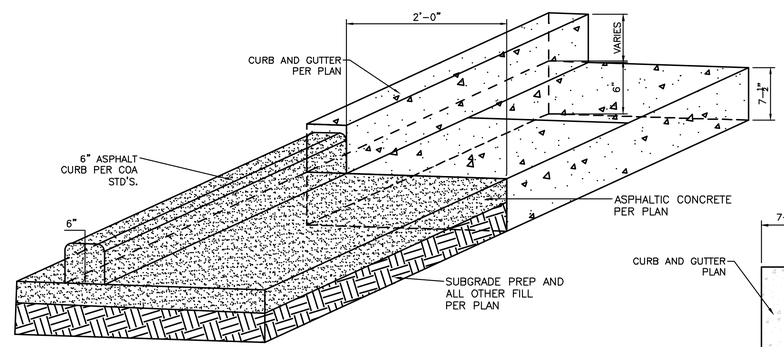
GENERAL NOTES

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT–ON–DARK OR DARK–ON–LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INSTALL CAST–IN–PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE–APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED.

CONSTRUCTION NOTES

A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY.
C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.
E. ON CUT–THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD. DWG. 2448.
F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
G. RECESS OR CAST–IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.
H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.
J. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
K. SIDE FLARED SLOPES.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING DETECTABLE WARNINGS DWG. 2446 JUNE 2019



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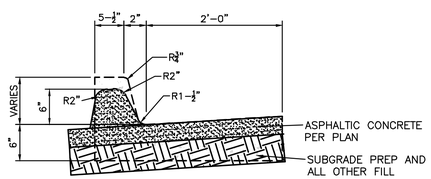
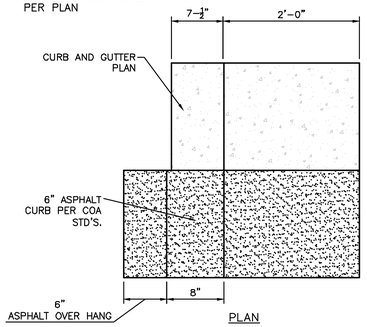


SECTION

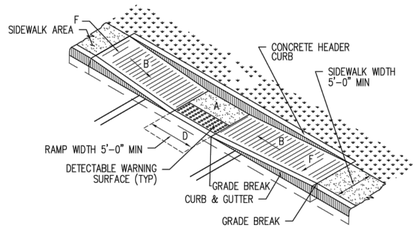


PLAN

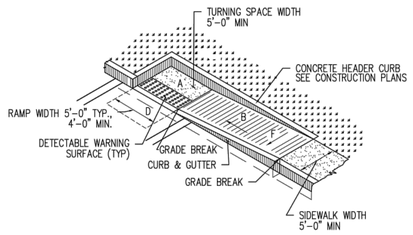
8" STD C AND G TO 6" TEMPORARY ASPHALT CURB TRANSITION
NTS

PRELIMINARY NOT FOR CONSTRUCTION

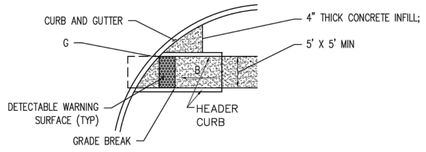
ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 12/15/2020 RONALD R. BOHANNAN P.E. #7868	RIO GRANDE + 1-40 PHASE 1 DETAILS TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858–3100 www.tierrawestllc.com	DRAWN BY RG DATE 10–8–2020 DRAWING 2012100–SP –SLFCU SHEET # C3 JOB # 2012100



DETAIL A–PARALLEL CURB RAMP



DETAIL B–PARALLEL CURB RAMP



DETAIL C– PARALLEL CURB RAMP

GENERAL NOTES

1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15–FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.

B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.

C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.

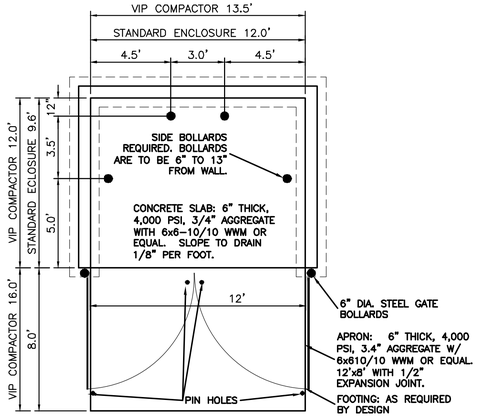
D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.

E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX, MEASURED PARALLEL TO THE BACK OF THE CURB.

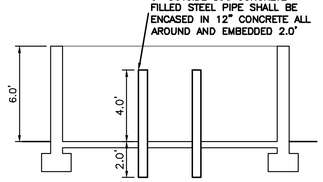
F. 2% MAXIMUM CROSS–SLOPE. 1.5% PREFERRED CROSS–SLOPE.

G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443 JUNE 2019



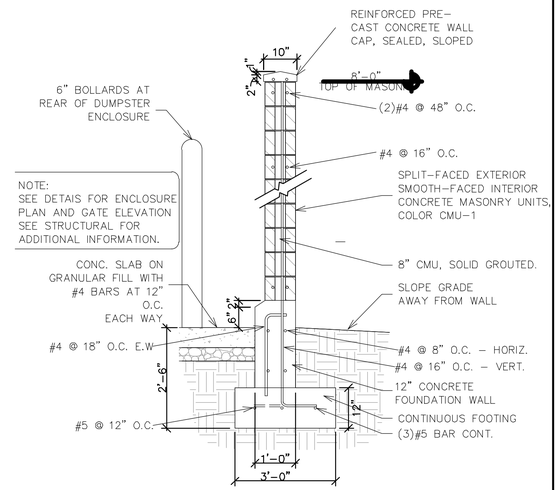
APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

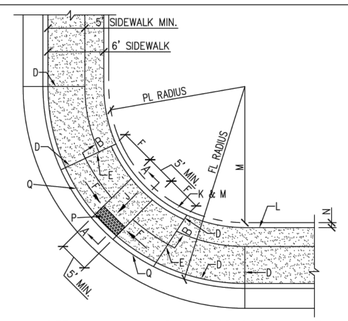
DUMPSTER ENCLOSURE DETAIL

NTS

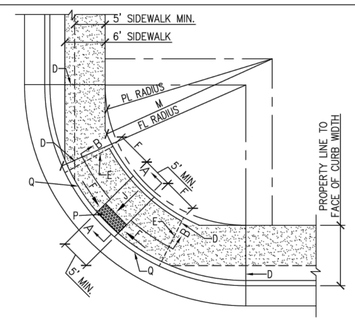


Dumpster Enclosure Wall Section

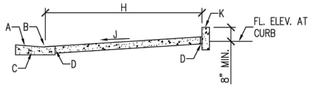
NTS



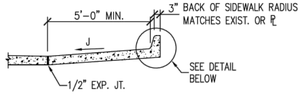
DETAIL A MINIMAL R.O.W. FOR SIDEWALK AT BACK OF CURB PERPENDICULAR RAMP



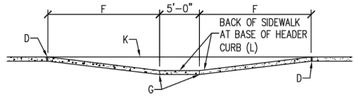
DETAIL B ADEQUATE R.O.W. FOR SETBACK SIDEWALK ADJACENT TO P PERPENDICULAR RAMP



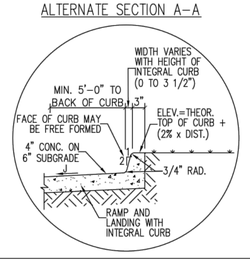
SECTION A–A



ALTERNATE SECTION A–A



SECTION B–B



GENERAL NOTES

1. CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
2. WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
3. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
4. GUTTER FLOW–LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
5. WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'–0" THROUGH ENTIRE RAMP LENGTH.

CONSTRUCTION NOTES

A. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5 % PREFERRED.

B. FLUSH WITH RAMP AND GUTTER.

C. CURB AND GUTTER (SEE STD. DWG. 2415 – GUTTER AT CURB ACCESS RAMP).

D. 1/2" EXPANSION JOINT.

E. RADIAL LINES – TOP AND BOTTOM OF RAMP.

F. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.

G. CONTRACTION JOINT.

H. VARIES WITH AVAILABLE R.O.W.

J. 2% MAXIMUM CROSS–SLOPE. 1.5% PREFERRED CROSS–SLOPE.

K. HEADER CURB, SEE DWG. 2415C.

L. BACK OF SIDEWALK.

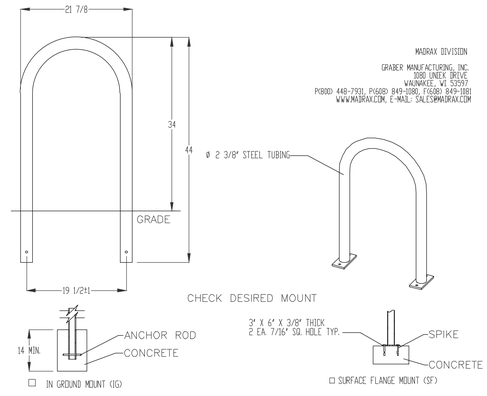
M. BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'–0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'–0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.

N. 4–1/2" MAX.

P. DETECTABLE WARNINGS (SEE STD. DWG. 2446).

Q. CURB TO MATCH SLOPE OF SIDEWALK.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CORNER ACCESS RAMP
	DWG. 2441 JUNE 2019



PRODUCT: U238–IG(SF)
DESCRIPTION: "U" BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10–4–18
ENG: SMC

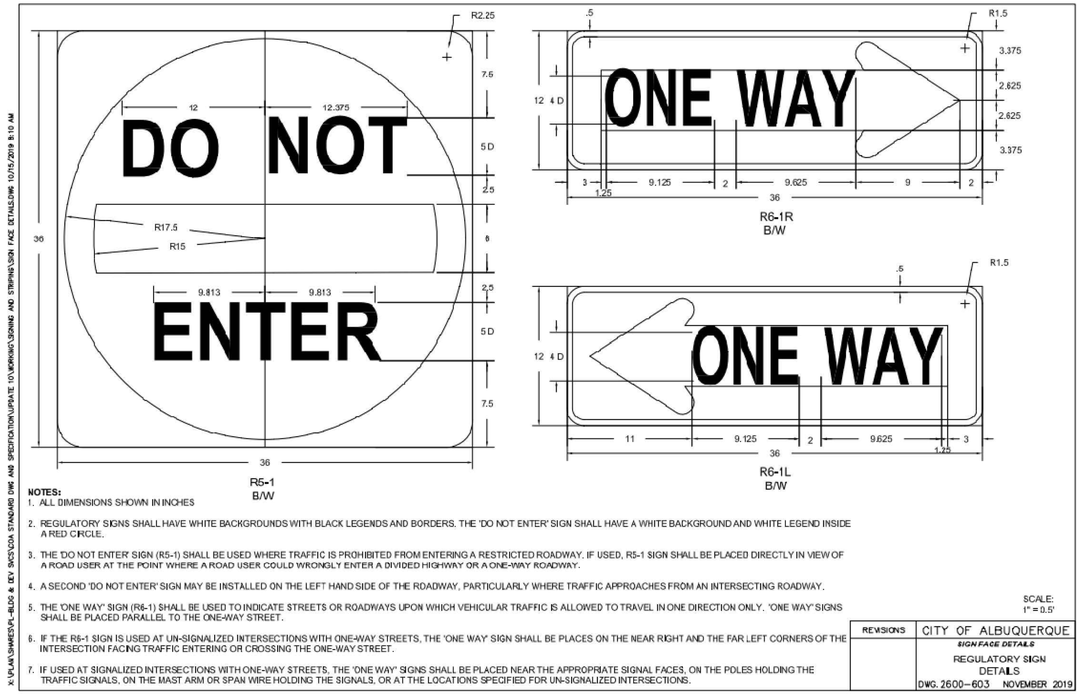
NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
3. BIKE RACK SHALL HAVE A 1–FOOT CLEAR ZONE ALL AROUND.
3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK

NTS

PRELIMINARY NOT FOR CONSTRUCTION

ENGINEER'S SEAL	RIO GRANDE + 1–40 PHASE 1	DRAWN BY RG
	DETAILS	DATE 10–8–2020
		DRAWING 2012100–SP –SLFCU
12/15/2020	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858–3100 www.tierrawestllc.com	SHEET # C4
RONALD R. BOHANNAN P.E. #7868		JOB # 2012100

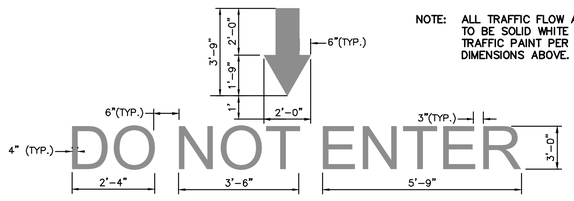


NOTES:
1. ALL DIMENSIONS SHOWN IN INCHES
2. REGULATORY SIGNS SHALL HAVE WHITE BACKGRDUNDS WITH BLACK LEGENDS AND BORDERS. THE 'DO NOT ENTER' SIGN SHALL HAVE A WHITE BACKGROUND AND WHITE LEGEND INSIDE A RED CIRCLE.
3. THE 'DO NOT ENTER' SIGN (R5-1) SHALL BE USED WHERE TRAFFIC IS PROHIBITED FROM ENTERING A RESTRICTED ROADWAY. IF USED, R5-1 SIGN SHALL BE PLACED DIRECTLY IN VIEW OF A ROAD USER AT THE POINT WHERE A ROAD USER COULD WRONGLY ENTER A DIVIDED HIGHWAY OR A ONE-WAY ROADWAY.
4. A SECOND 'DO NOT ENTER' SIGN MAY BE INSTALLED ON THE LEFT HAND SIDE OF THE ROADWAY, PARTICULARLY WHERE TRAFFIC APPROACHES FROM AN INTERSECTING ROADWAY.
5. THE 'ONE WAY' SIGN (R6-1) SHALL BE USED TO INDICATE STREETS OR ROADWAYS UPON WHICH VEHICULAR TRAFFIC IS ALLOWED TO TRAVEL IN ONE DIRECTION ONLY. 'ONE WAY' SIGNS SHALL BE PLACED PARALLEL TO THE ONE-WAY STREET.
6. IF THE R6-1 SIGN IS USED AT UN-SIGNALIZED INTERSECTIONS WITH ONE-WAY STREETS, THE 'ONE WAY' SIGN SHALL BE PLACES ON THE NEAR RIGHT AND THE FAR LEFT CORNERS OF THE INTERSECTION FACING TRAFFIC ENTERING OR CROSSING THE ONE-WAY STREET.
7. IF USED AT SIGNALIZED INTERSECTIONS WITH ONE-WAY STREETS, THE 'ONE WAY' SIGNS SHALL BE PLACED NEAR THE APPROPRIATE SIGNAL FACES, ON THE POLES HOLDING THE TRAFFIC SIGNALS, ON THE MAST ARM OR SPAN WIRE HOLDING THE SIGNALS, OR AT THE LOCATIONS SPECIFIED FOR UN-SIGNALIZED INTERSECTIONS.

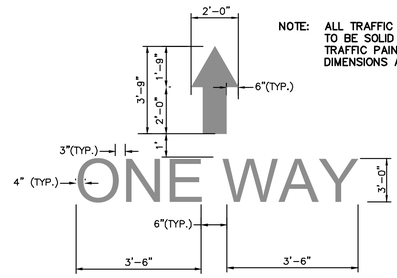
SCALE: 1" = 0.5'

REVISIONS	CITY OF ALBUQUERQUE
	SIGN FACE DETAILS
	REGULATORY SIGN DETAILS
	DWG. 2600-603 NOVEMBER 2019

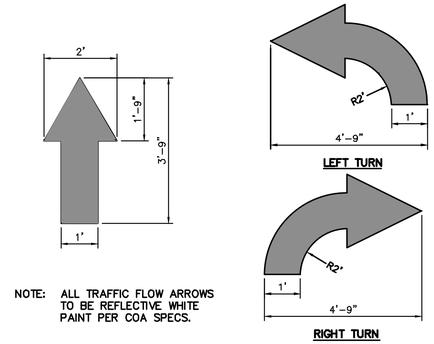
DO NOT ENTER SIGN
NTS



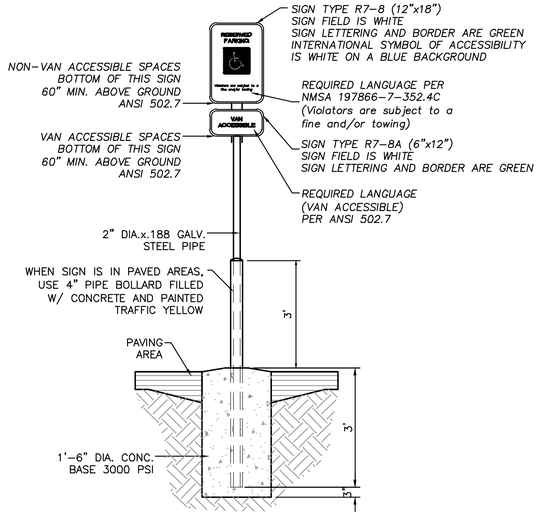
DO NOT ENTER PAVEMENT MARKER W/ARROW
NTS



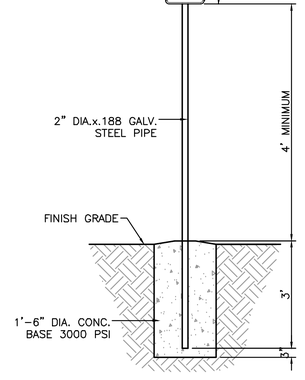
"ONE WAY" PAVEMENT MARKER W/ARROW
NTS



TRAFFIC FLOW ARROW
NTS



ACCESSIBLE PARKING SIGN
NTS



MOTORCYCLE PARKING SIGN
NTS

"PRELIMINARY NOT FOR CONSTRUCTION"

ENGINEER'S SEAL	RIO GRANDE + I-40 PHASE 1	DRAWN BY RG
	DETAILS	DATE 10-8-2020
		DRAWING 2012100-SP -SLFCU
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5
		JOB # 2012100

RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 12/15/2020

TIERRA WEST, LLC
5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

December 15, 2020

Mr. Nilo Salgado-Fernandez, P.E.
Development Review Services
PO BOX 1293
Albuquerque, NM 87103

RE: SANDIA LAB FCU
1100 RIO GRANDE BLVD NW
TRAFFIC CIRCULATION LAYOUT
COMMENTS DATED: NOVEMBER 17, 2020

Dear Salgado-Fernandez

Per the correspondence dated November 17, 2020, please find the following responses addressing the comments listed below:

1. ADA curb ramps must be updated to current standards and have truncated domes (add to keyed note 7) installed.
   Response: Keyed note 7 updated, Language added to keyed note #14, 18 and 19.

2. Motorcycle parking spaces: Label pavements MC.
   Response: Pavement Labeled "MC"

3. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Provide details of posted signed and striping.
   Response: See Keyed Note #26 and #27, Signage face and striping details added to sheet C5.

4. Provide a way arrows for the proposed drive thru lanes on orientation.
   Response: Traffic flow arrows added to site plan, details provided on sheet C5.

5. Please specify the City Standards Drawings Number when applicable.
   Response: 2020 city standard numbers added as applicable.

6. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner. If there is an approved plat, then it needs to be provided to redefine the new lot lines. Please address this issue and/or an approved plat submitted. **Condition of TCL Approval.**
   Response: A copy of the approved plat and shared access agreement will be supplied as condition of approval.

7. Private access easement on plat need to be shown as well as, all beneficiaries, maintenance responsibilities must be shown/listed on an approved plat. An approved is required prior to **TCL / Building Permit approval.**
   Response: A copy of the approved plat is fore coming and will be supplied as a condition of approval.

8. Keyed note 20 (both sides) and DO NO ENTER (pavement markings) will need to be provided at exit onto shared access road.
   Response: See updated TCL plan

9. You will need to coordinate with Traffic Operations on the existing signal to assure that the correct phasing and cycle length are appropriate for the proposed development.
Response: Acknowledged

10. You are proposing temporary asphalt curbing onto the proposed site development why? And need to provide detail on how you will connect a STD C&G asphalt curbing. You will need to provide concrete (STD C&G) at the proposed curb return to your site development lot.
Response: Temporary asphalt curbing is proposed due to the fact that the access drive will need to be modified in the near future to accommodate future developments in the area. See keyed note #7, and a STD C&G to asphalt curb transition detail is provided on sheet C3. Standard C&G will be provided at the curb return, see updated TCL.

11. Entrance access: is 12ft adequate enough to handle any delivery / Refuge vehicles entering and existing for its temporary condition? Verify.
Response: See sheet E4 Truck turning exhibit, lane widths were updated accordingly. Design vehicle used was SU-30 per DPM.

12. Construction removal / build notes are in conflict with keyed note 16 at Rio Grande frontage.
Response: Keyed note removed

13. Keyed Note 6: Call out sidewalk per COS STD DWG 2430 instead of concrete pavement.
Response: keyed note #6 updated, See keyed note #16.

14. Keyed Note 8: COA STD DWG 2443 is reference, but there is no such number. Please provide separate detail.
Response: See keyed note #18, detail provided on sheet C4

15. Keyed Note 12: References 2415C, there is no such number. Clarify.
Response: Keynote #12 changed to #8, reference number was taken from COA section 2400 Standard Details for Paving Update No. 10 (Revised March 2020), detail provided on sheet C2.

16. You are referencing COA STD DWG 2600 (NM DOT) please provide all these details.
Response: Standard details taken from COA Standard detail drawings – Section 2600 at cabq.gov. Separate details have been provided as replacements.

17. Proposed keyed note 7 needs to connect to propose keyed note 6 and add truncated dome verbiage to the note 7.
Response: Site plan updated and keyed note # 7 changed, see keyed note # 14, verbiage added to keyed note #14.

18. Since you are building to the southern property, then the corner ramp will need to be replaced and a detail provide on how you will connect / tie-in new concrete onto existing ramp without interfering with ADA slopes.
Response: See exhibit 5, ramp will be replaced and new sidewalk connection will not interfere with ADA slopes.

19. Proposed median entrance: Why have you set the median nose back and proposed striping at entrances?
Response: Striping was removed, median nose set back to property line to improve accessibility to proposed site.

20. Make sure keyed note 11 matches up with existing striping at intersection and contact Traffic Operations to make sure this is what the intention of crosswalk striping.
Response: Keynote #11 deleted

21. ADA parking aisle striping and pavement markings (No Parking): details of striping thickness, letter size and color will need to be provided.
Response: See updated detail, sheet C2.

22. Limits of proposed asphalt pavement within COA ROW will need to follow COA DPM and standards with R value (min) 50. Show these limits
Response: See attached pavement design calculations. Design SN = 3.4.
Paving within proposed Rio Grande ROW will include 5" Asphalt on 6" Aggregate base on 12" subgrade. See keyed note #4 and detail on sheet C2.

23. ADA ramp opening will be blocked by parking stall on the south portion of parking stall. Clear up this concern.
Response: ADA ramp opening was removed.

24. Main entrance: Are you proposing a 6 ft. valley gutter? If so, please annotated that the invert should be 1 inch instead of 1.5 inches.
Response: See keyed note #13 and entrance detail, sheet C3.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

RONALD R. BOHANNAN NEW MEXICO 7863 REGISTERED PROFESSIONAL ENGINEER 12/2020

Ronald R. Bohannan, P.E

JN: 2012100
RRB/ln/ye