

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 31, 2023

Ronald Bohannon, P.E
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

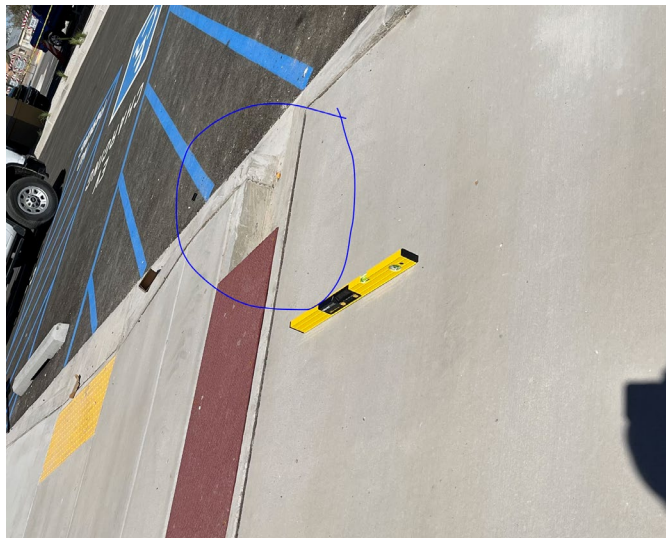
**Re: Sandia Federal Credit Union
1100 Rio Grande Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's Stamp dated 11-23-21 (H13-D109A)
Certification dated 10-23-23

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-24-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Because the sidewalk on the southeast side of the site has not been constructed, please red-mark the site plan with revision to reflect the as-built condition.
2. Per approved plan (details sheet), please provide hops bike racks. See attached details sheet.
3. Please complete the installation of the sidewalk culvert to ensure the safety of the pathway.



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Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



TIERRA WEST, LLC

October 23, 2023

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED TRAFFIC CIRCULATION LAYOUT PLAN CERTIFICATION
REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY
1100 RIO GRANDE BLVD NW, ALBUQUERQUE NM 87121**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Layout Plan for issuance of a Temporary Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on October 23, 2023, and is in general accordance with the design intent of the Approved Traffic Circulation Layout dated 11/23/21.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Traffic Circulation Layout Plan. Therefore, we request approval of the as-built Approved Traffic Circulation Layout Plan and issuance of the Temporary Certificate of Occupancy to allow vendors to proceed while the contractor completes the noted punchlist items.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2012100
RRB/LN/bf

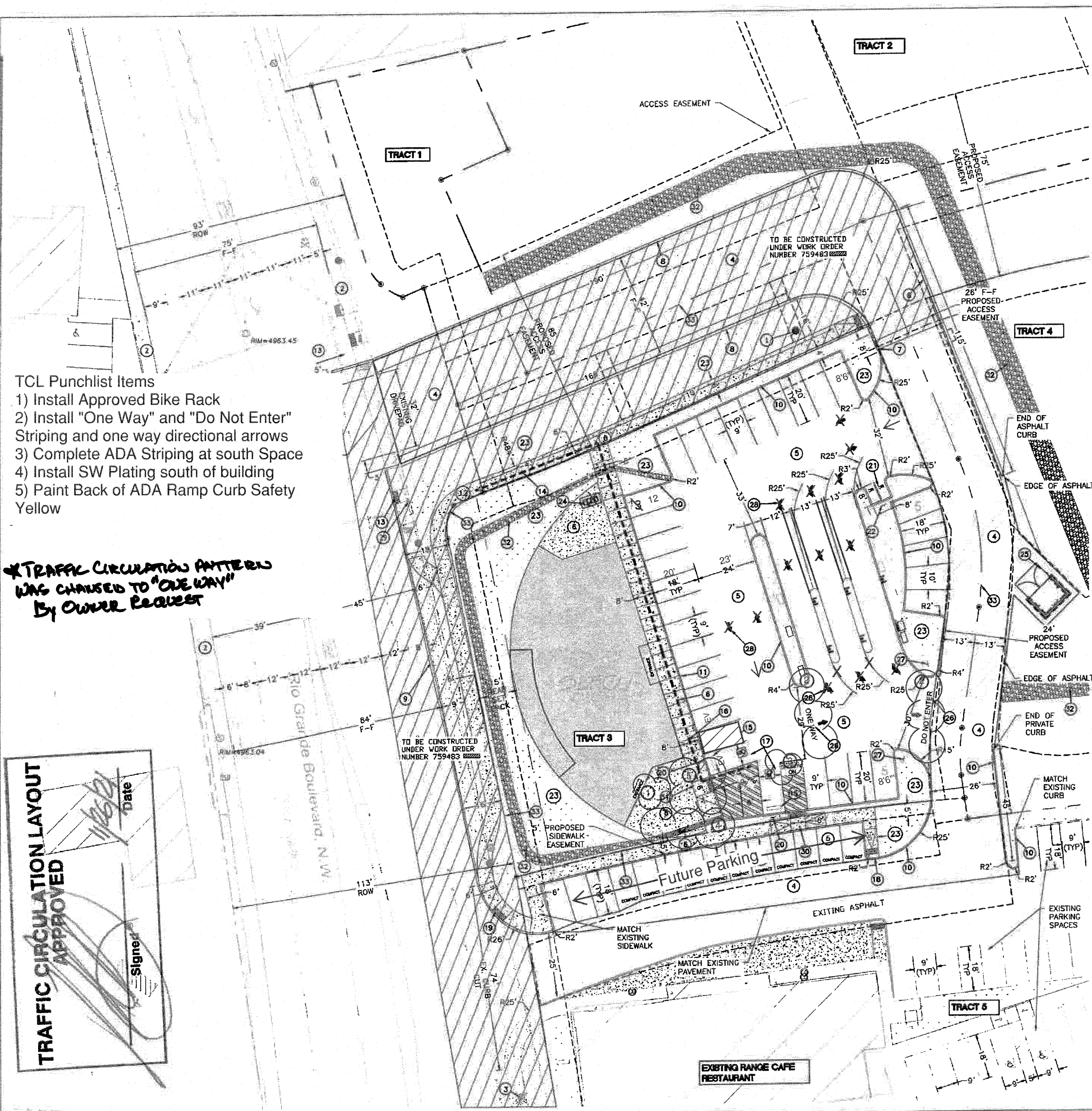
5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

CONDITION OF FINAL C.O. APPROVAL:
N.O. CPN 759483 BE COMPLETED, &
APPROVED/ACCEPTED

TRAFFIC CIRCULATION LAYOUT
APPROVED

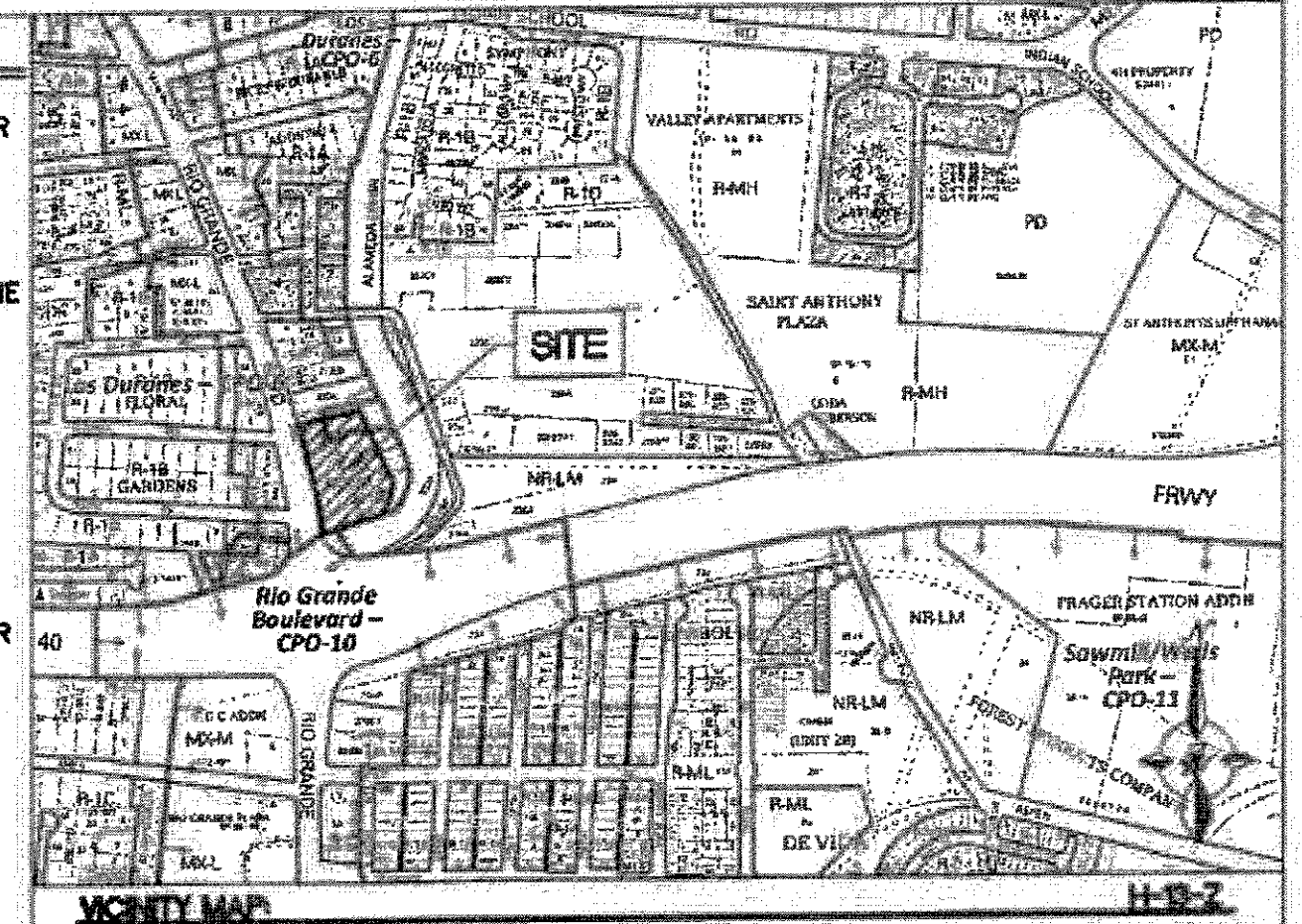
- TCL Punchlist Items
- 1) Install Approved Bike Rack
 - 2) Install "One Way" and "Do Not Enter" Striping and one way directional arrows
 - 3) Complete ADA Striping at south Space
 - 4) Install SW Plating south of building
 - 5) Paint Back of ADA Ramp Curb Safety Yellow

TRAFFIC CIRCULATION PATTERN
WAS CHANGED TO "ONE WAY"
BY OWNER REQUEST



- LEGEND**
- ASPHALT CURB & GUTTER
 - CONC. CURB & GUTTER
 - EASEMENT
 - PROPOSED PROPERTY LINE
 - PROPOSED BUILDING
 - SIDEWALK
 - LANDSCAPING
 - EXISTING LANE
 - EXISTING STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING OVERHEAD LINE
 - EXISTING HYDRANT
 - EXISTING SD INLET
 - EXISTING POWER POLE
 - EXISTING TRAFFIC SIGNAL BOX
 - EXISTING TRAFFIC SIGNAL
 - PROPOSED HYDRANT

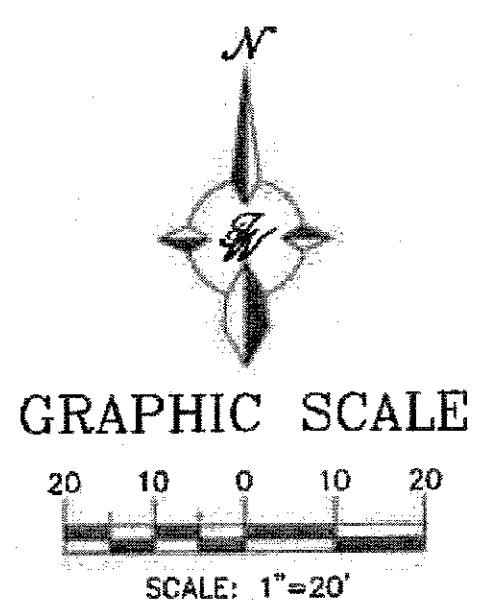
- KEYED NOTES**
- 1) PROPOSED FIRE HYDRANT
 - 2) EXISTING SIDEWALK
 - 3) EXISTING FIRE HYDRANT
 - 4) HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL, SHEET C5.1)
 - 5) SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C5.1)
 - 6) SIDEWALK PER COA STD DWG #2430 (SEE DETAIL, SHEET C5.1)
 - 7) 6" C & G TO 6" ASPHALT CURB TRANSITION
 - 8) TEMPORARY ASPHALT 6" C & G PER COA STD DWG #2415C (SEE DETAIL, SHEET C5.1)
 - 9) STD 8" CURB AND GUTTER PER COA STD DWG #2415A (SEE DETAIL, SHEET C5.1)
 - 10) 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C5.1)
 - 11) 6" CONCRETE TURN DOWN CURB (SEE DETAIL, SHEET C5.1)
 - 12) PUBLIC SIDEWALK PER COA STD DWG #2430
 - 13) ADA DETECTABLE WARNING SURFACE PER COA STD DWG #2446
 - 14) ADA PUBLIC ACCESSIBLE PATHWAY
 - 15) WHEEL STOP (SEE DETAIL, SHEET C5.2)
 - 16) ADA PARKING ACCESSIBLE PATHWAY
 - 17) ADA PARKING PER ADA REQUIREMENTS (SEE DETAIL, SHEET C5.2)
 - 18) DETAIL C-ADA CURB RAMP COA DWG 2443 (SEE DETAIL, SHEET C5.2)
 - 19) ADA CORNER CURB RAMP PER COA CURRENT STD DWG #2441 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C5.2)
 - 20) ADA NO PARKING SIGN (SEE DETAIL, SHEET C5.2)
 - 21) MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
 - 22) MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C5.3)
 - 23) LANDSCAPE AREA
 - 24) BIKE RACK (SEE DETAIL, SHEET C5.3)
 - 25) REFUSE DUMPSTER (SEE DETAIL, SHEET C5.3)
 - 26) "ONE WAY" & "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C5.3)
 - 27) "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C5.3)
 - 28) TRAFFIC ARROWS (SEE DETAIL, SHEET C5.3)
 - 29) EXISTING TRAFFIC SIGNAL
 - 30) DETAIL A PARALLEL CURB RAMP PER COA STD DWG #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C5.2)
 - 31) FLARED CURB HC RAMP SEE DETAIL SHEET C5.1 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C5.1)
 - 32) ROCK SWALE (REFER GRADING PLAN SHEETS)
 - 33) PROPERTY LINE



SITE DATA

SANDIA LABORATORY FEDERAL CREDIT UNION (SLFCU)	
IDO ZONING:	MX-M
PROPOSED USAGE:	BUSINESS
LOT AREA:	40,530 SF (0.93 ACRE)
BUILDING AREA:	4,400 SF
PARKING: SPACES REQUIRED:	13 (3 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED:	32 (INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED:	2
HC PARKING: SPACES PROVIDED:	2
(1 VAN ACCESSIBLE)	
MC PARKING: SPACES REQUIRED:	1
(1 PER 1-25 REQUIRED PARKING SPACES)	
MC PARKING: SPACES PROVIDED:	2
BICYCLE PARKING: SPACES REQUIRED:	3
(3 SPACES OR 10% OF REQUIRED PARKING)	
BICYCLE PARKING: SPACES PROVIDED:	4
LANDSCAPE AREA PROVIDED:	7400 SF (18%)

- NOTES**
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 2. ALL CONFLICTING STRIPING SHALL BE ERADICATED BY WATER BLASTING PER SECTION 443 OF THE COA STANDARD SPECIFICATIONS (LATEST EDITION).
 3. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
 4. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
 5. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
 6. ALL LANE OR LANES STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
 7. PAINT ALL MEDIAN CURB AND MEDIAN NOSE YELLOW (TYP) PER COA STANDARD SPECIFICATIONS.
 8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 9. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS.



CL Temporary Certification 10-23-23

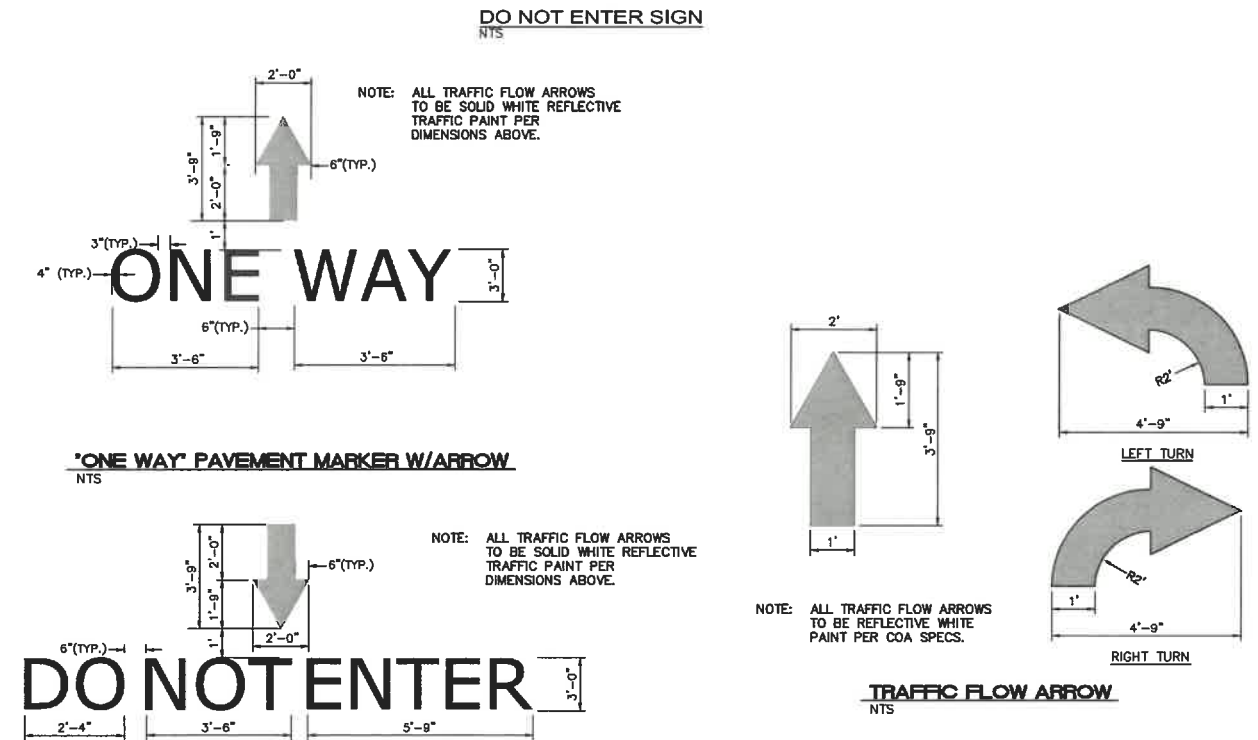
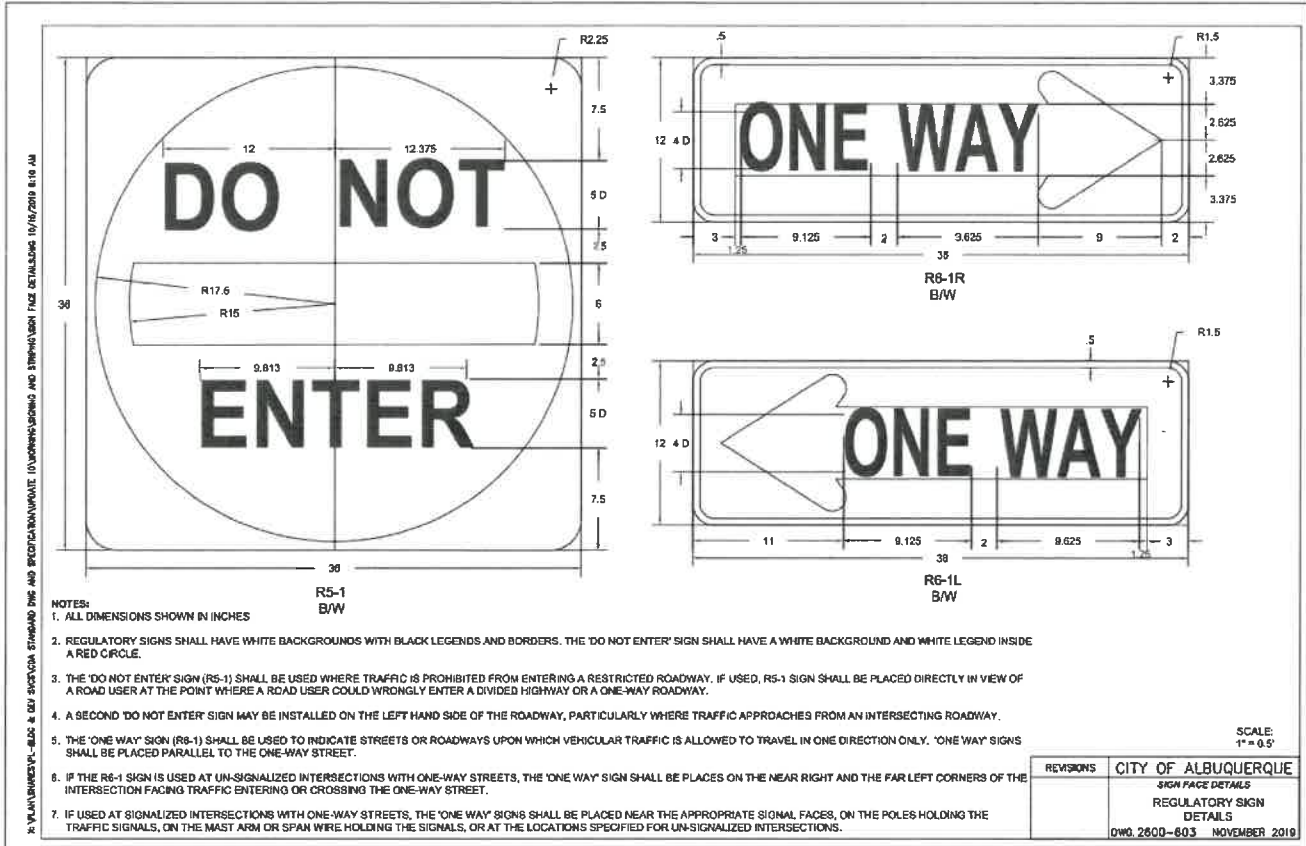
ENGINEER'S SEAL 11/23/2021	SANDIA LAB FCU RIO GRANDE + I-40 TRAFFIC CIRCULATION LAYOUT	DRAWN BY LN DATE 11-19-2021 DRAWING 2012100-SP SHEET # C1 JOB # 2012100
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

H13-D109

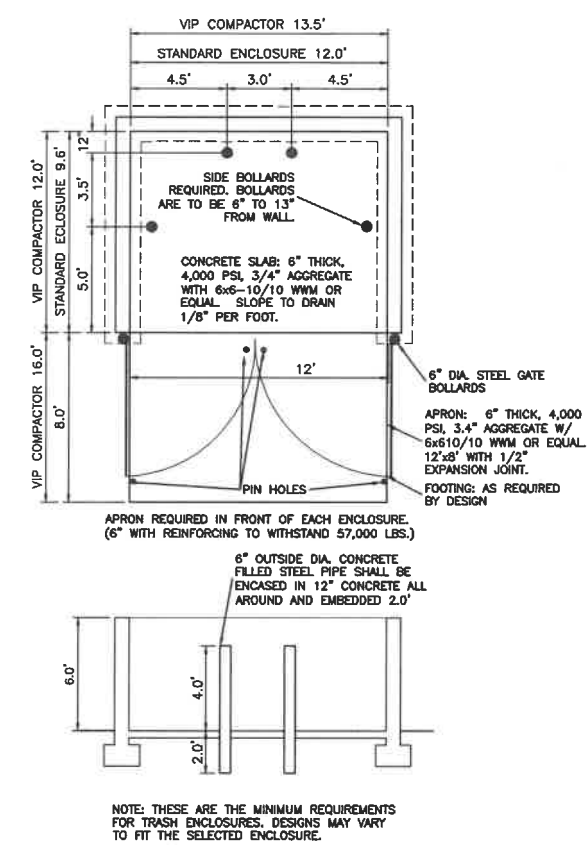
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H13-D109

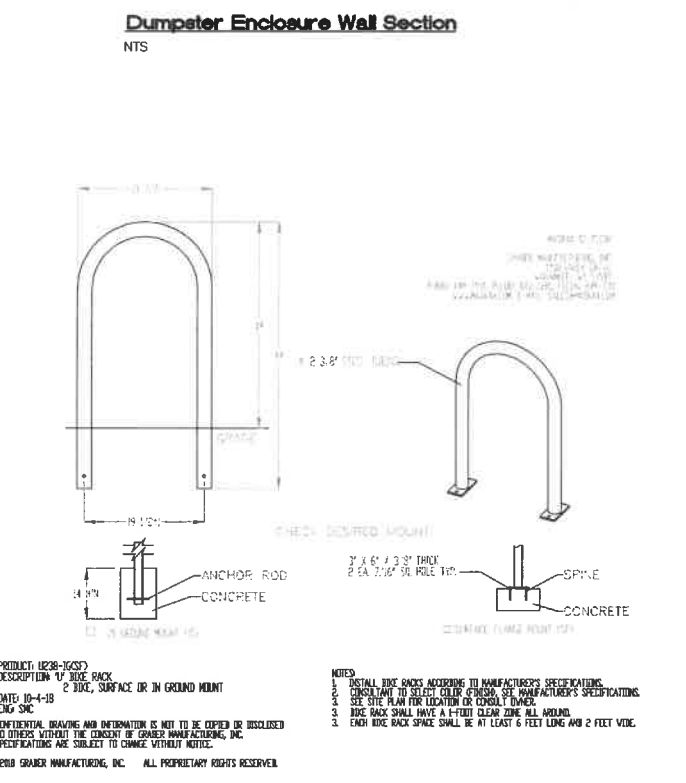
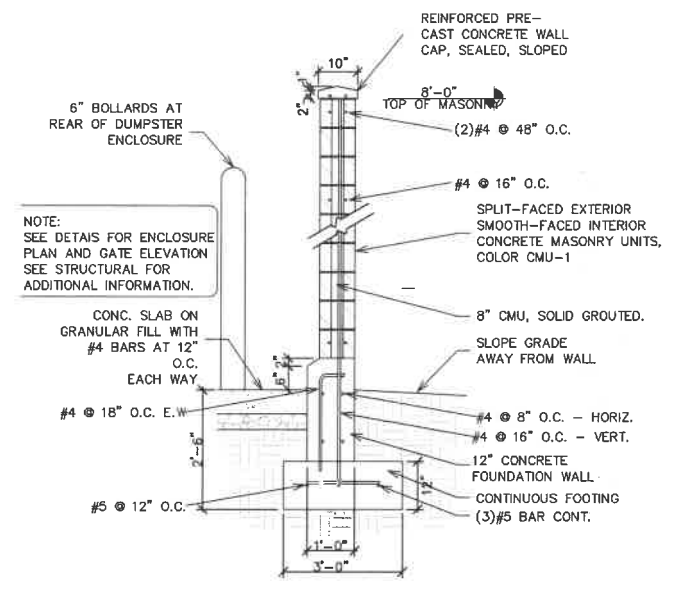
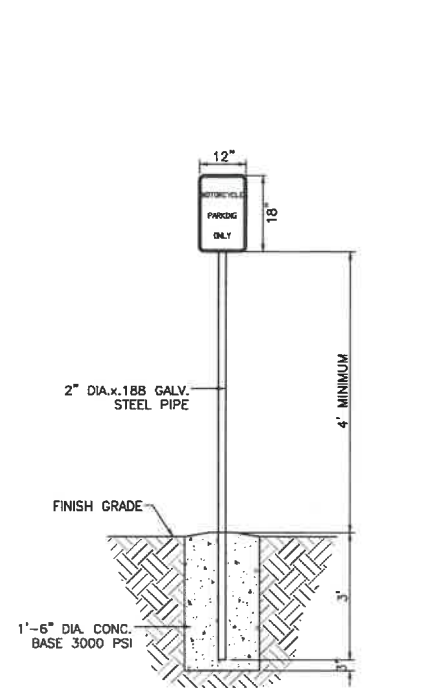


TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date 11/26/21



DUMPSTER ENCLOSURE DETAIL
NTS



ENGINEER'S SEAL 11/23/2021	SANDIA LAB FCU RIO GRANDE + I-40 SITE DETAILS	DRAWN BY LN
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DATE 11-19-2021
		DRAWING 2012100-SP
		SHEET # C5.3
RONALD R. BOHANNAN P.E. #7868		JOB # 2012100