

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 7, 2024

Luis Noriega
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Rio Grande & I-40
1212 Rio Grande Blvd NW,
Traffic Circulation Layout**
Engineer's/Architect's Stamp 10-02-24 (H13D110)

Dear Mr. Noriega,

The TCL submittal received 10-02-2024 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

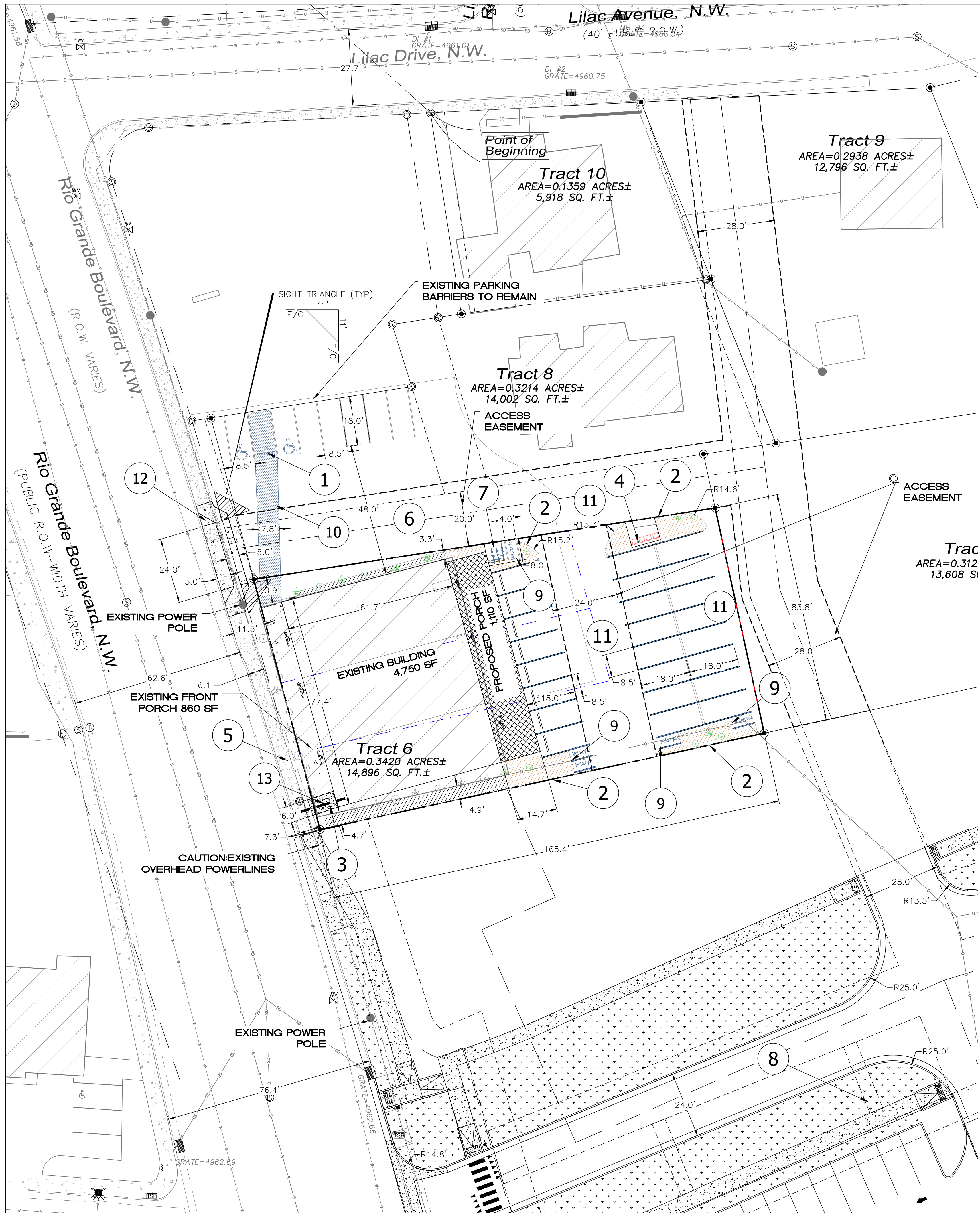
TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

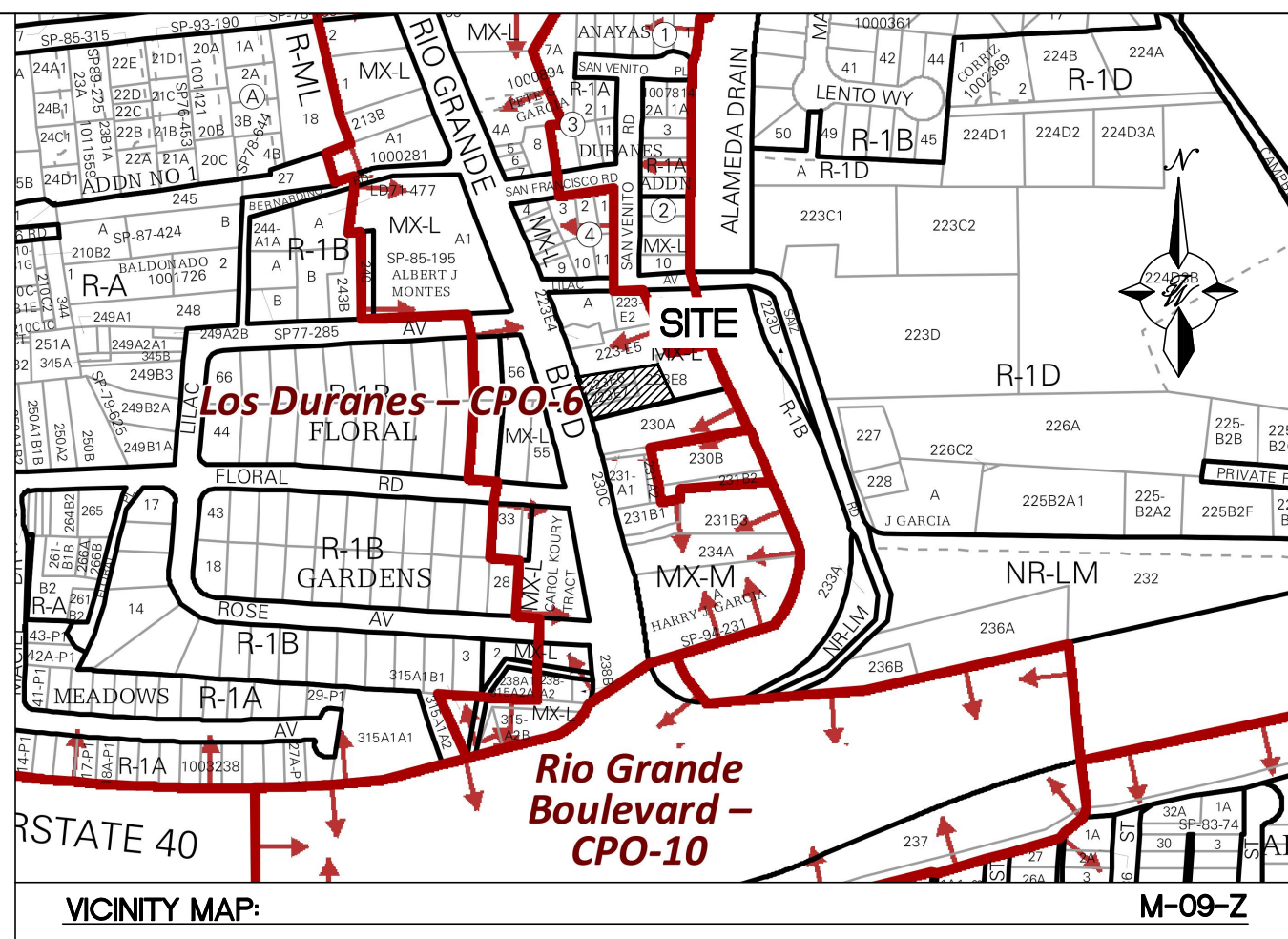


LEGEND

- CURB & GUTTER
- PROPOSED BOUNDARY LINE
- BOUNDARY LINE
- EXISTING PROPERTY LINE
- EASEMENT
- CENTERLINE
- EXISTING STRUCTURE/BUILDING
- PROPOSED PORCH STRUCTURE
- EXISTING SIDEWALK/CONCRETE
- ASPHALT
- EXISTING CURB & GUTTER
- LANDSCAPING
- EXISTING OVERHEAD LINE
- EXISTING HYDRANT
- EXISTING SD INLET
- EXISTING POWER POLE
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING TRAFFIC SIGNAL

KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. TCL-2)
- LANDSCAPE EDGING BORDER
- NEW 6' WIDE CONCRETE SIDEWALK CONNECTION PER COA STD DWG 2430
- WHEELED THRASH CAN DUMPSTER AREA
BOLLARD WILL BE REQUIRED ON BOTH SIDES AND THE REAR SIDE OF THE DUMPSTER AREA
- EXISTING SIDEWALK TO REMAIN
- EXISTING ASPHALT TO REMAIN
- BICYCLE PARKING SEE DETAIL SHEET TCL-2 (2 RACKS, 4 FEET APART, 1 FEET CLEAR ALL AROUND)
- EXISTING FIRE HYDRANT
- MOTORCYCLE PARKING WITH SIGN SEE DETAIL SHEET TCL-2 (TYP ONE FOR EACH SPACE)
- STRIPED CROSSWALK SEE DETAIL SHEET TCL-2
- NEW BASE COURSE SURFACE SEE DETAIL, SHEET TCL-2 SAWCUT, REMOVE AND DISPOSE EXISTING ASPHALT EAST OF EXISTING BUILDING
- RE-CONSTRUCT EXISTING 24' WIDE DRIVEWAY PER COA STD DWG 2425A MUST COMPLY WITH ADA STANDARDS
- PUBLIC ADA PATHWAY



SITE DATA

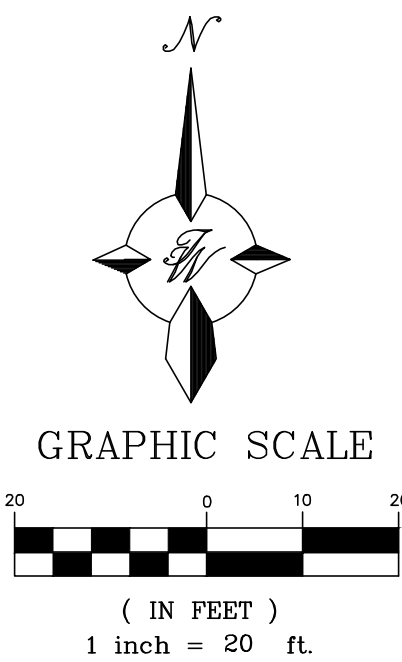
USAGE:	EXISTING COFFEE SHOP/RESTAURANT (NEW PORCH)
ZONE:	MX-L
LOT AREA:	14,896 SF (0.3420 ACRES)
ADDRESS:	1212 RIO GRANDE BLVD NW ALBUQUERQUE NM 87104
PROPOSED PORCH AREA:	1,110 SF
EXISTING RESTAURANT AREA:	4,750 SF
PARKING REQUIRED:	27 SPACES
RESTAURANT - 4750 SF X 5.6 SPACES/1,000 SQ FT (IDO TABLE 5-5-1)	
PARKING PROVIDED:	30 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	5 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES
BICYCLE PARKING PROVIDED:	3 SPACES

NOTES

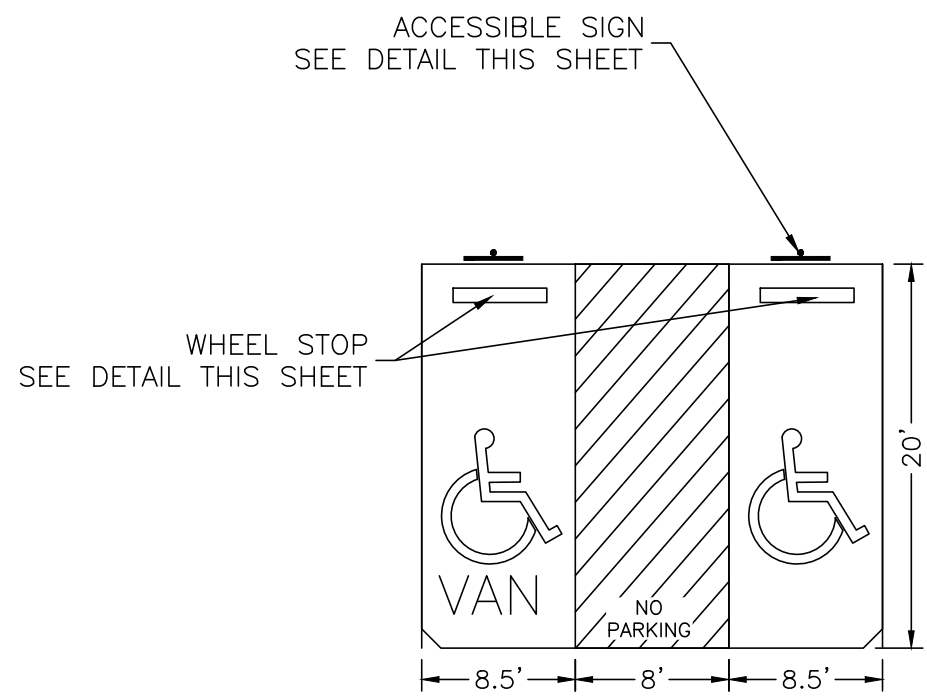
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
- ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
- ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arroyo 10/8/2024
Signed Date

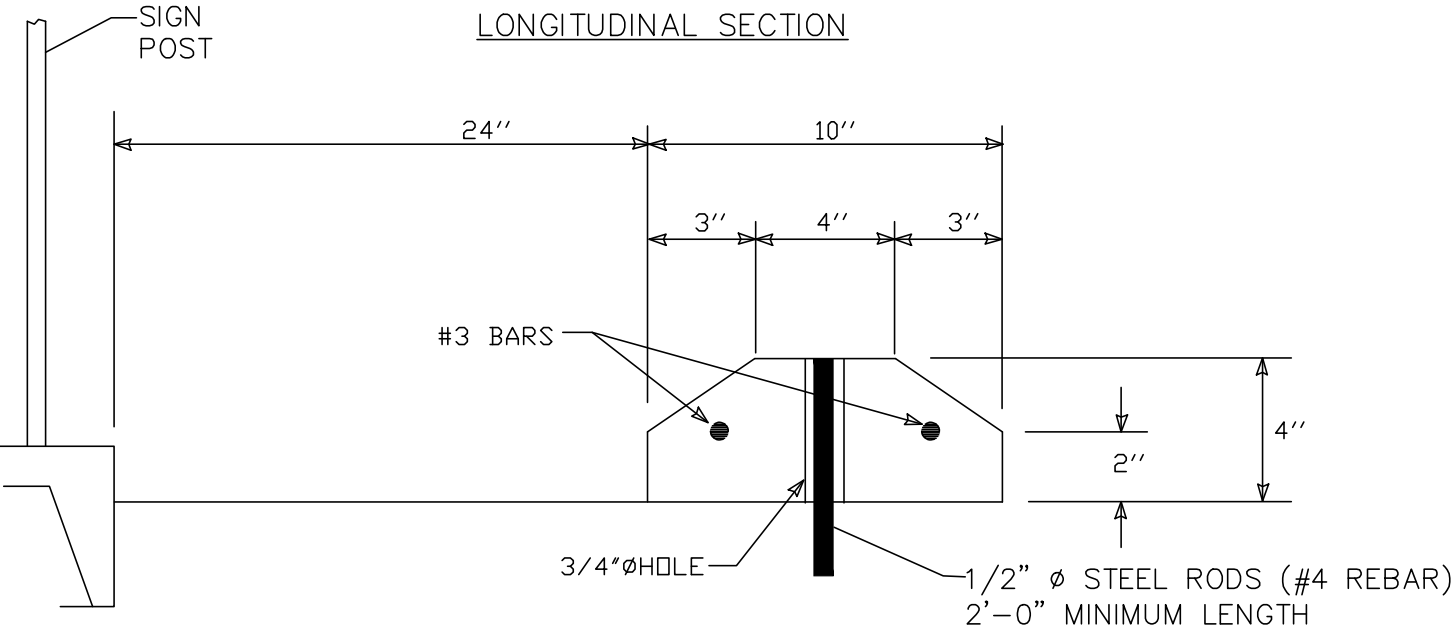
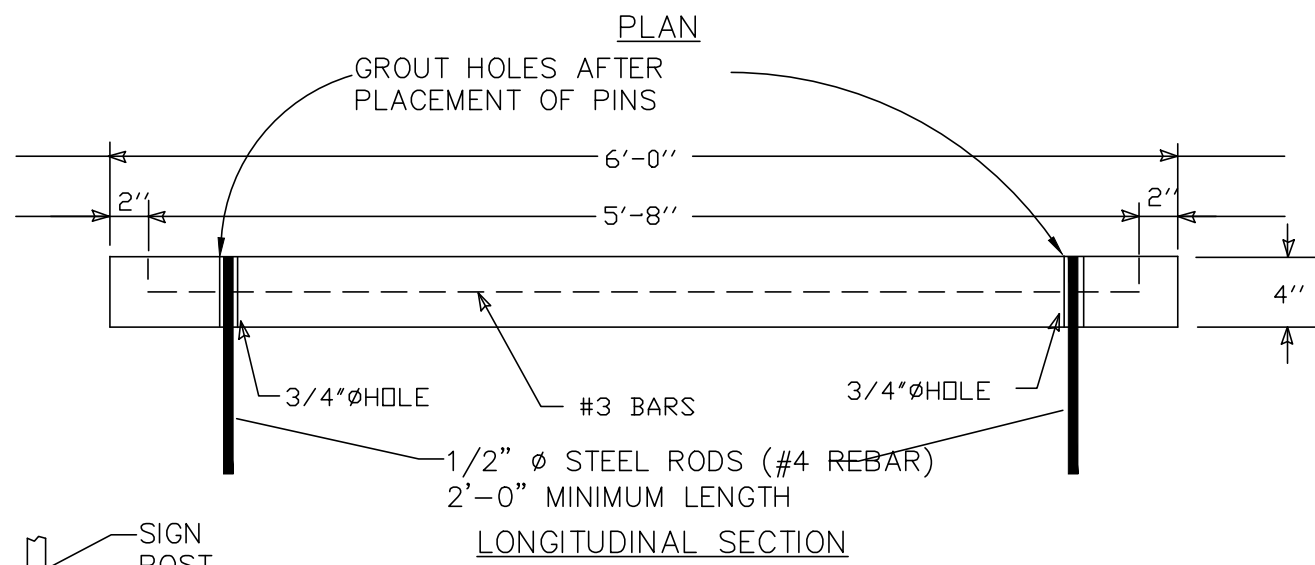
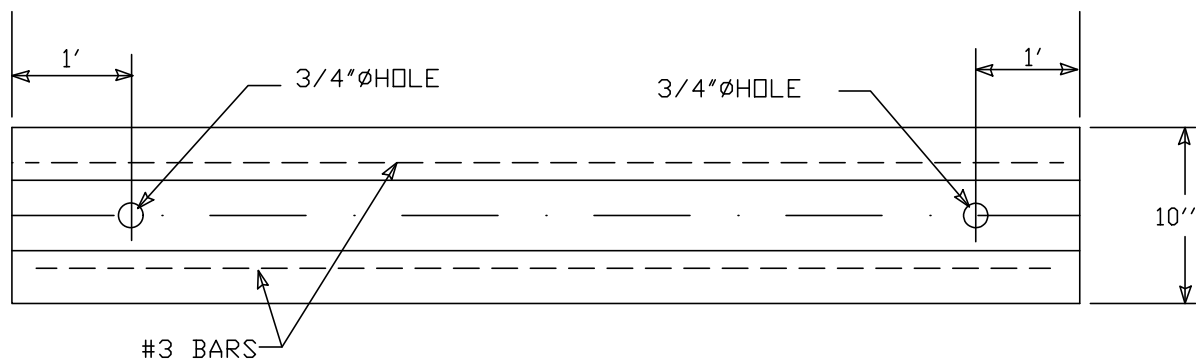


<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	BACK PORCH RIO GRANDE + I-40	DRAWN BY LN
	TRAFFIC CIRCULATION LAYOUT	DATE 10/02/2024
	Tierra West, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2012100-TCL
		SHEET # TCL-1
		JOB # 2012100

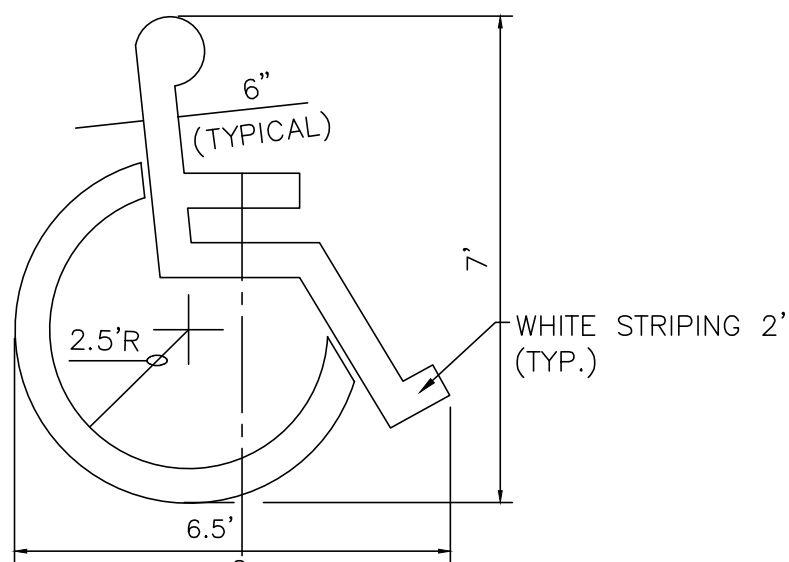


NOTES:
1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) 4" Parking space lines and diagonal striping to be painted blue.
3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4) ADA parking areas - not to exceed a slope greater than 1.8% in any direction

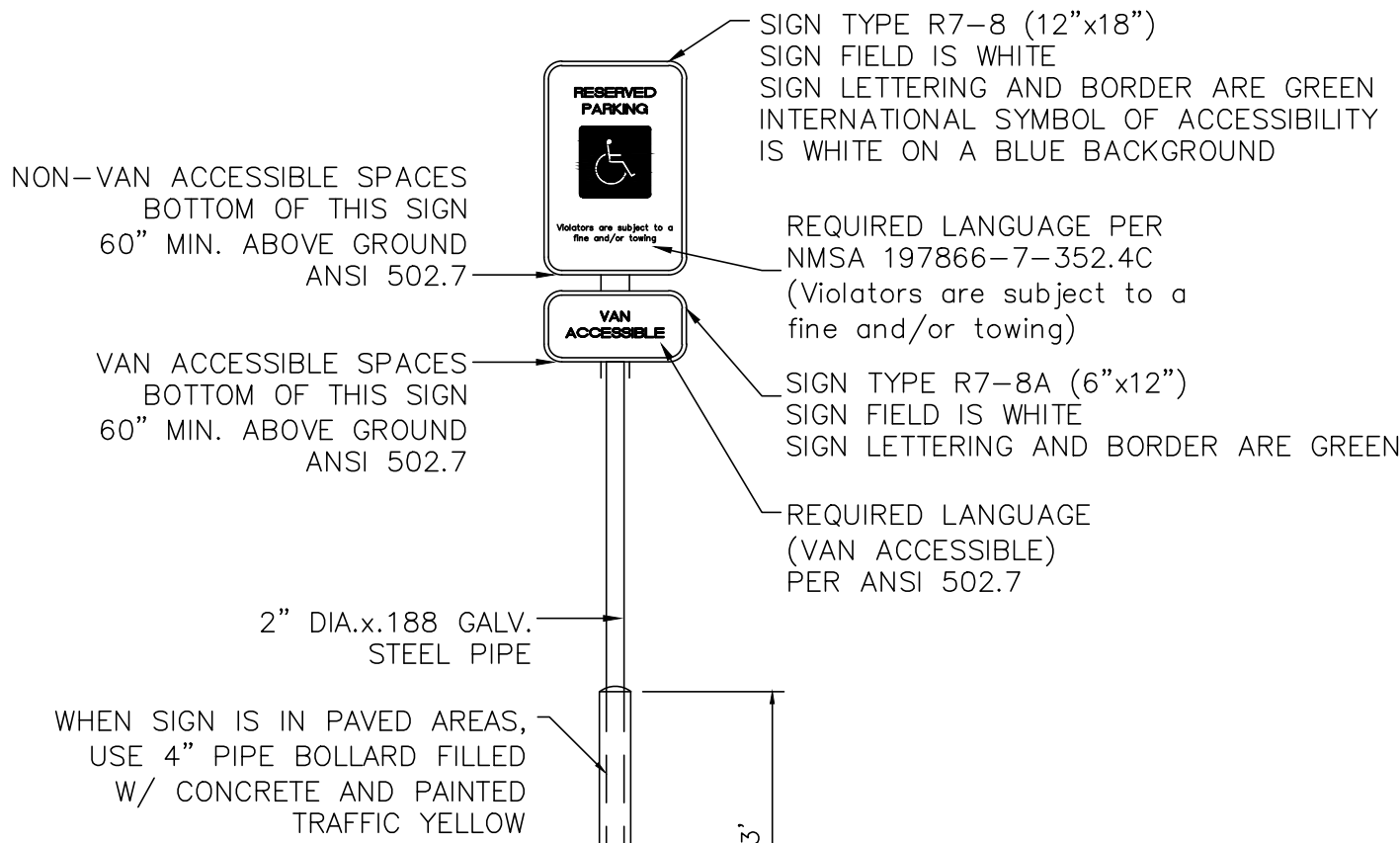
HC PARKING DETAIL
SCALE: NTS



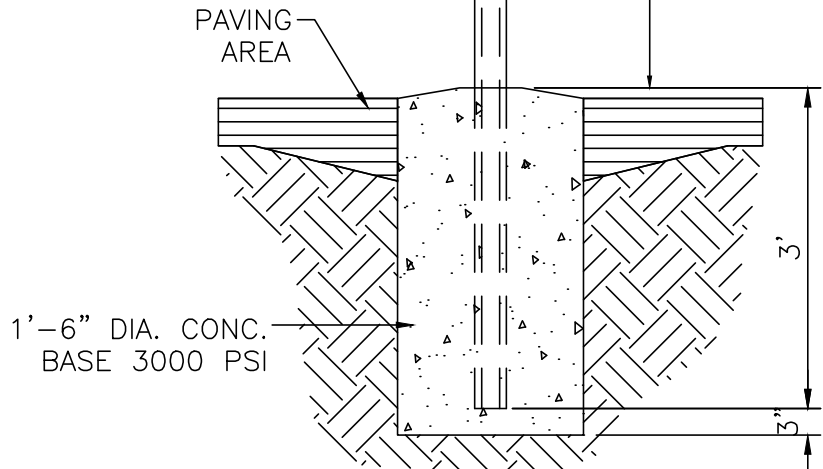
WHEEL STOP
NTS



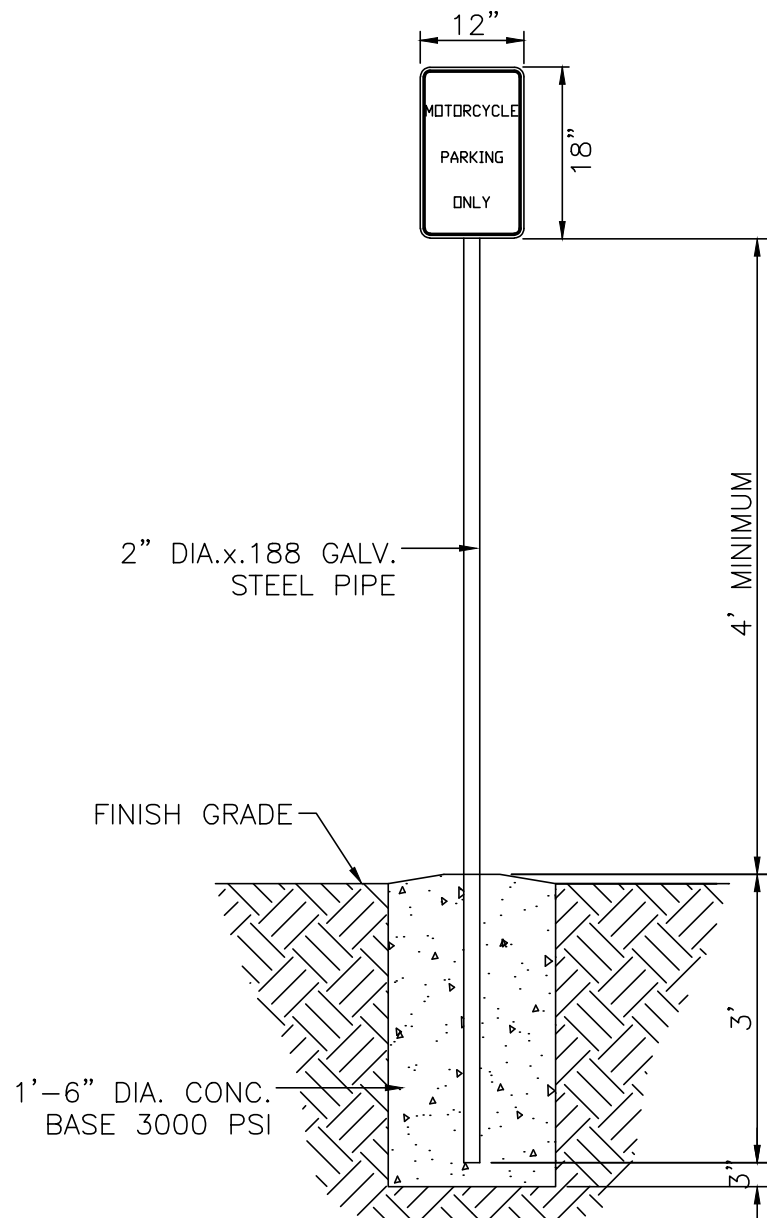
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING
ACCESSIBLE PARKING SYMBOL
NTS



WHEN SIGN IS IN PAVED AREAS, USE 4" PIPE BOLLARD FILLED W/ CONCRETE AND PAINTED TRAFFIC YELLOW

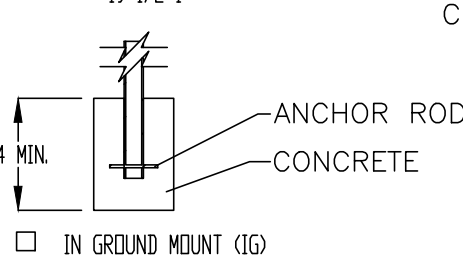
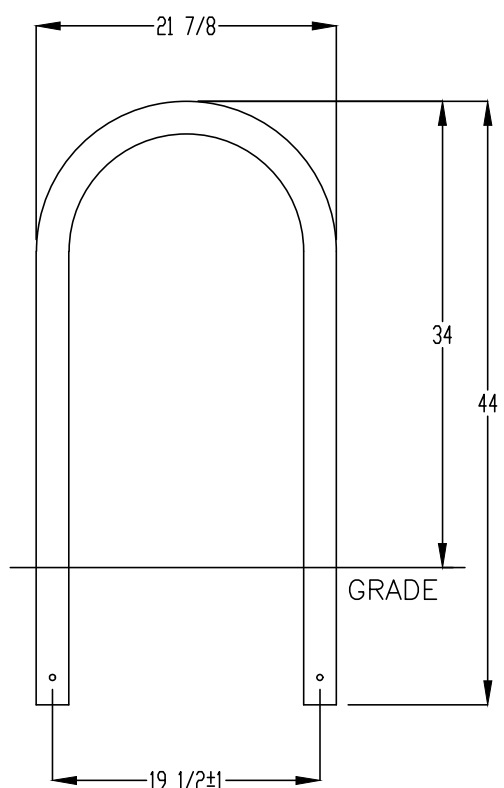


ACCESSIBLE PARKING SIGN
NTS



NOTE:
1) Motorcycle parking stall shall have "MC" Striping in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the front of the parking space.

MOTORCYCLE PARKING SIGN
NTS



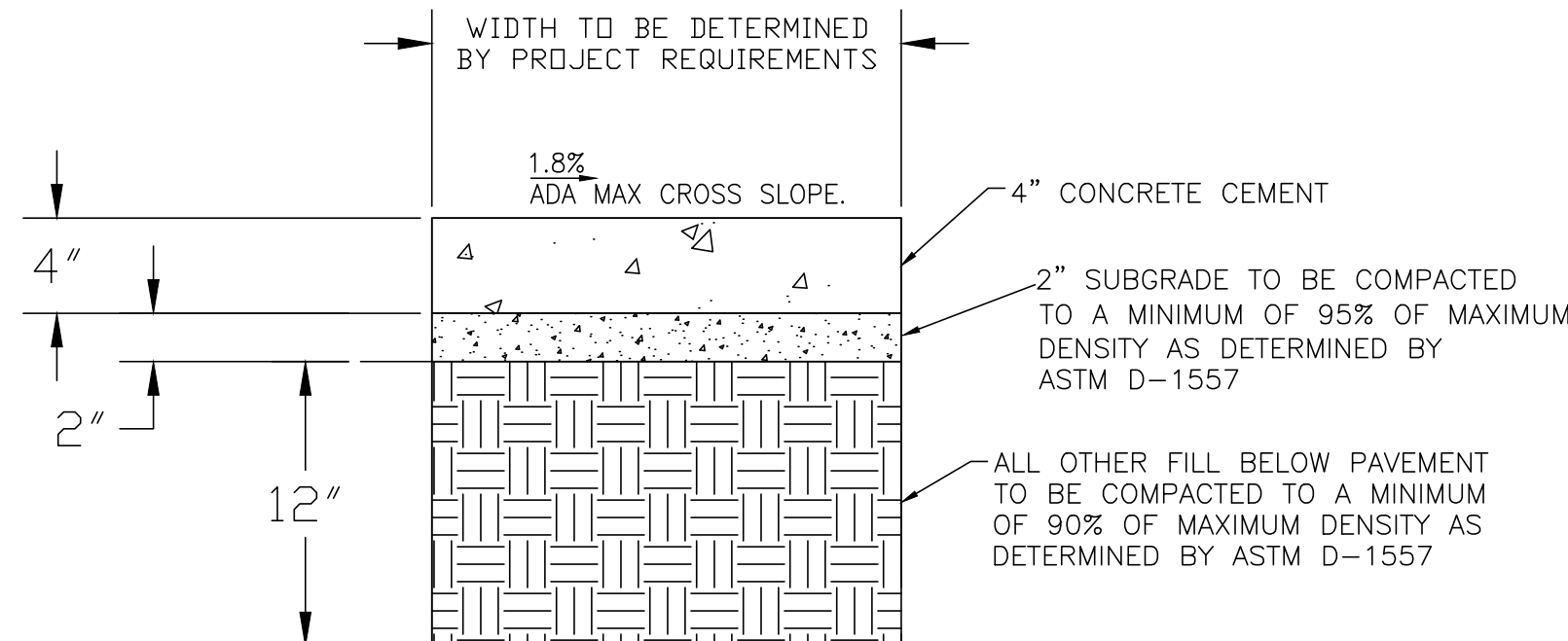
PRODUCT: U238-1G(SF)
DESCRIPTION: U BIKE RACK
DATE: 10-4-18
ENG: SMC

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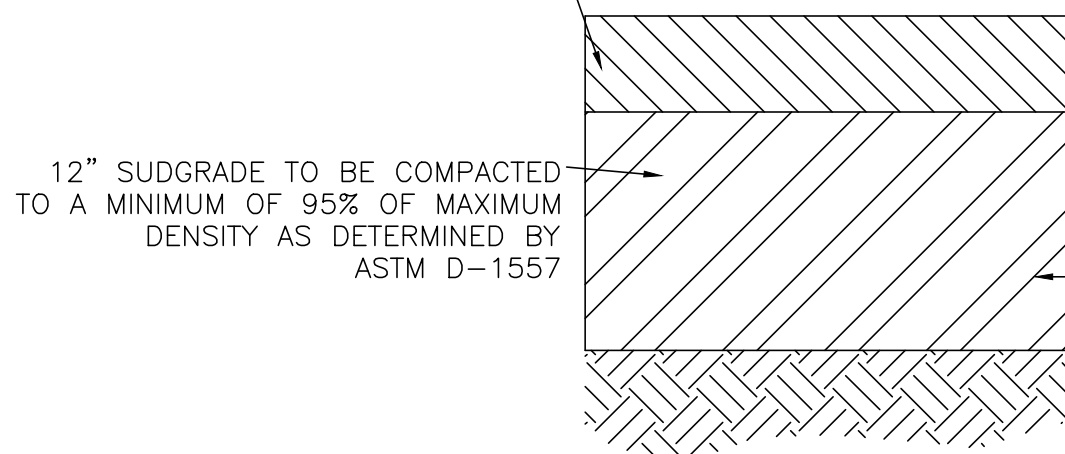
NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK
SCALE: NONE



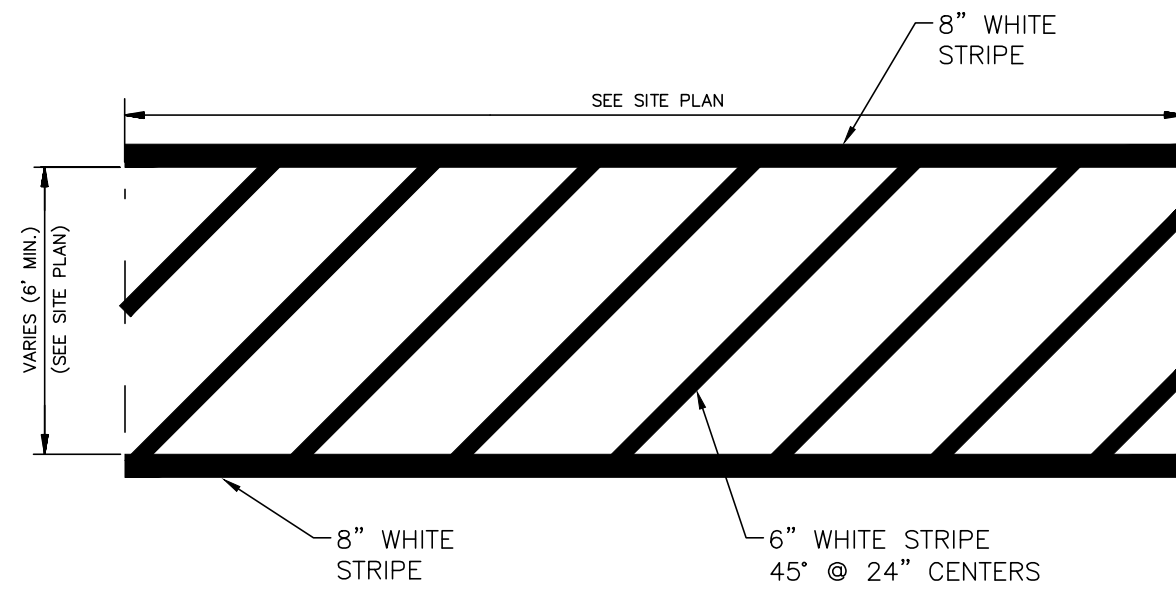
CONCRETE SIDEWALK/DECK SECTION
NTS

4" AGGREGATE BASE COURSE (MIN) TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557



SITE BASE COURSE PAVEMENT SECTION
NTS

NOTE: CONTRACTOR TO VERIFY PAVEMENT MINIMUMS WITH SOILS REPORT PROVIDED BY THE DEVELOPER/OWNER.



NOTE:
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK/PED. CROSSING
NTS

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>10/02/2024</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	BACK PORCH RIO GRANDE + I-40	DRAWN BY LN
		DATE 10/02/2024
	CONSTRUCTION DETAILS	DRAWING 2012100_DTE
	<div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	SHEET # TCL-2 JOB # 2012100