

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 25, 2022

Daniel Solares  
Studio SW Architects  
2101 Mountain Rd. NW Suite B  
Albuquerque, NM 87104

**Re: AVANYU RETAIL/ for building D, E, and F**  
**2400 12<sup>TH</sup> ST. NW**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 3-14-22 (H13-D113)  
Certification dated 3-2-22

Dear Mr. Daniel,

Based upon the information provided in your submittal received 03-21-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Provide adequate Bicycle Racks per the approved site plan.
- Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
- Key note23: At the northeast side of the site, ADA Ramp needs to be scraped to be flush with the ground.
- Key note4: sidewalk at the east side of building H has not been built per the approved site plan. Please address this concern.
- Provide 8 on-street parking spaces per approved site plan. Please remove the first on-street parking space that close to the driveway entrance for clear sight issue.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

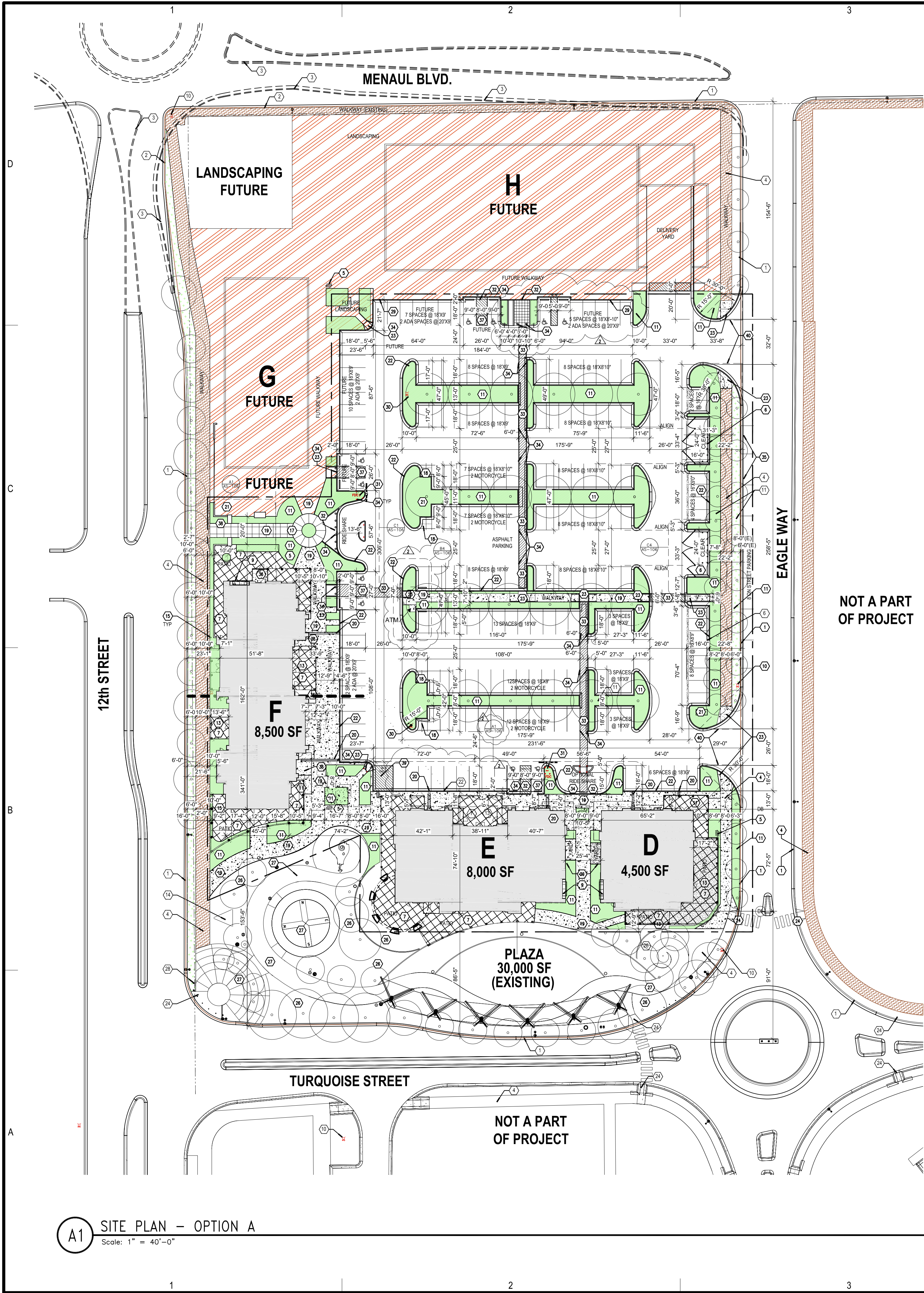
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\_\_\_\_\_

\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE





PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**PARKING SPACE TABULATIONS**

10	ACCESSIBLE SPACES AT 20' X 9'-0"
114	SPACES AT 18' X 9'-0"
59	SPACES AT 18' X 8'-10"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING
205	TOTAL PARKING SPACES

ACCESSIBLE SPACES  
6 SPACES REQ. UNDER 200  
(151-200) IBC TABLE 1106.1  
150 REQUIRED SPACES  
REQUIRED: 6 SPACES  
ACTUAL: 10 SPACES

MOTORCYCLE  
5 SPACES REQ. (151-300) IDO 5-5 D  
REQUIRED: 5 SPACES  
ACTUAL: 8 SPACES

BICYCLE SPACES  
12TH & MENAUL ORDINANCE:  
1 SPACE PER 20 SPACES  
REQUIRED: 10 SPACES  
ACTUAL: 16 SPACES

**IDO REQUIRED PARKING**

BUILDING D - 4,500SF	PROPOSED SF: 21,000 SF (BLDGS D, E, F)
E - 8,000SF	
F - 8,500SF	

FUTURE H - 20,000SF	
FUTURE G - 8,000SF	

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:

RETAIL: 4 SPACES/1000SF	PHASE 2 (PROPOSED)
RESTAURANT: 8 SPACES/1000SF	10,000 GSF: 40 SPACES
	11,000 GSF : 80 SPACES

RETAIL: 4 SPACES/1000SF	PHASE 3 (FUTURE)
RESTAURANT: 8 SPACES/1000SF	24,000 GSF: 96 SPACES
	4,000 GSF : 32 SPACES

TOTAL 256 SPACES

**ORDINANCE 0-16-22: (PARKING REDUCTION)**

0-16-22:	25% PARKING (256 SPACES X 25% REDUCTION)
	REDUCTION - 64 SPACES

REQUIRED: 192 TOTAL  
ACTUAL : 197 PARKING SPACES (OFF STREET)

**SITE TABULATIONS:**

TOTAL ACREAGE OF PAD: 5.9 ACRES  
EXISTING PLAZA : .7 ACRES  
FUTURE STAGE OF WORK: 2.4 ACRES

**TOTAL AREA OF PROPOSED WORK: 3.5 ACRES**

LANDSCAPING: SEE LANDSCAPE DRAWINGS

**LEGEND**

	FUTURE BUILDING PAD
	NEW CONCRETE WALKWAY
	NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
	NEW LANDSCAPE
	EXISTING CONCRETE WALKWAY
	EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS

0 20' 40' 80'

PLAN NORTH TRUE NORTH

**PROJECT LOCATION**

**GENERAL NOTES**

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- 2) SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- 7) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- 8) CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

**SHEET KEYED NOTES**

1. EXISTING EDGE OF CURB.
2. EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
3. FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAUL BLVD STREET IMPROVEMENT DRAWINGS.
4. EXISTING CONCRETE WALKWAY.
5. FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
6. TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
7. COLORED PATTERNED CONCRETE.
8. PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
9. PROPOSED BUILDING UTILITY LOCATION.
10. EXISTING FIRE HYDRANT LOCATION.
11. NEW LANDSCAPING.
12. FUTURE 6' CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
13. WOOD TRELLIS SHADE STRUCTURE.SEE DASHED OUTLINE FOR EXTENTS.
14. PROPOSED ENTRY MONUMENT @ 12TH STREET.
15. 5'-6" MINIMUM CAFE SPACE.
16. NEW PATIO CONCRETE PAD.
17. PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
18. NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
19. NEW CONCRETE WALKWAY.
20. NEW ROOF DRAIN CULVERT. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
21. NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
22. NEW CONCRETE CURB.
23. NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
24. EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
25. EXISTING BIKE RACK LOCATION.
26. EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
27. EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
28. EXISTING TRAFFIC SIGNAL.
29. TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
30. PROPOSED FIRE HYDRANT LOCATION.
31. REMOTE FDC LOCATION.
32. FLUSH CURB FOR PEDESTRIAN ACCESS.
33. ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
34. BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
35. ON STREET PARKING.
36. OPTIONAL EMPLOYEE YARD T.B.D.
37. ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING" .
38. ENTRY ARCH
39. LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
40. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**STUDIO SW ARCHITECTS**

2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

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CONSULTANTS

**DRB SUBMITTAL**

Architect Engineer

STATE OF NEW MEXICO  
DEL LEROY DIXON  
No. 2503  
REGISTERED ARCHITECT

**AVANYU RETAIL**

2400 12TH STREET  
ALBUQUERQUE, NM 87104

**Key Plan**

NTS

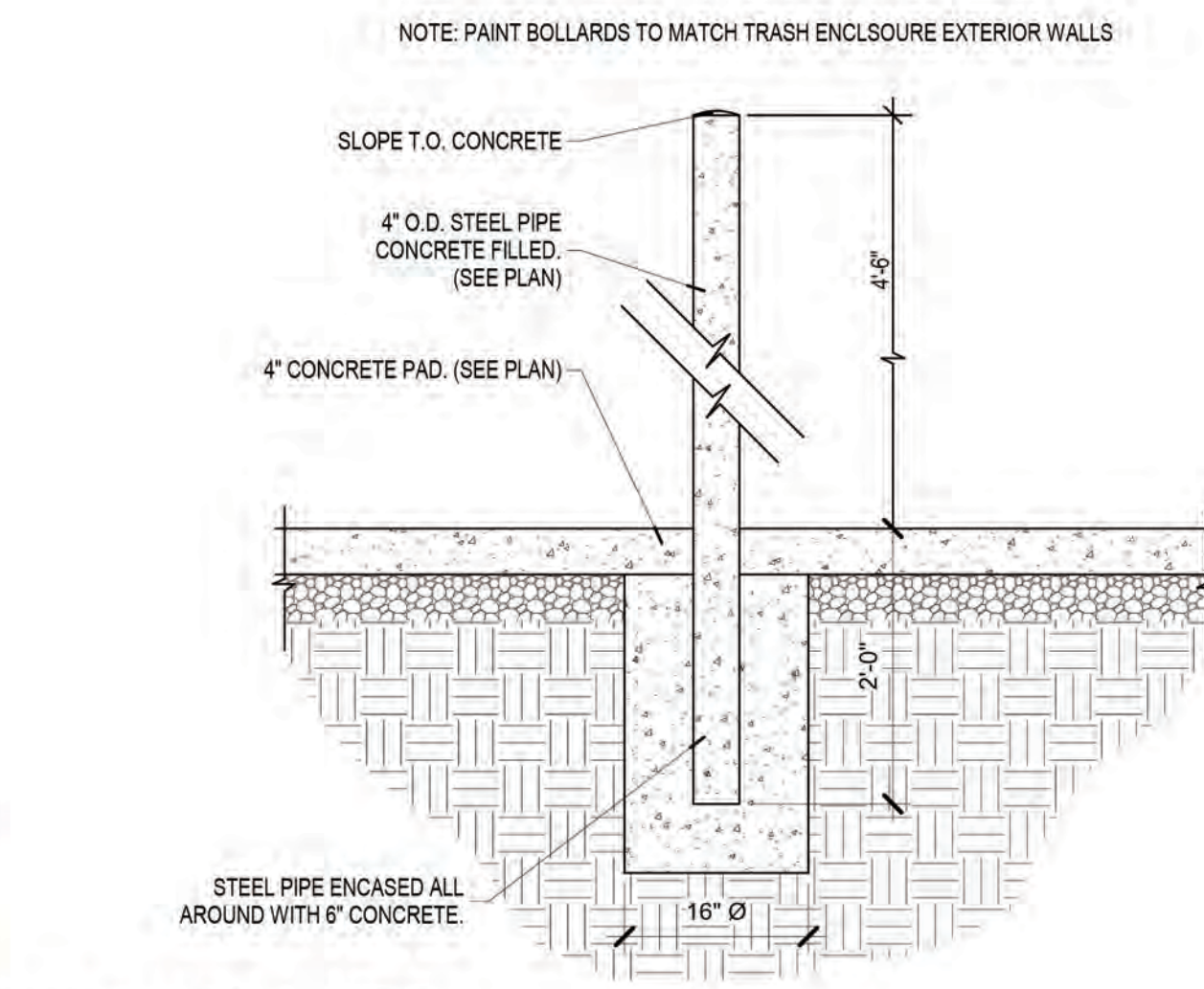
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FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

SHEET TITLE

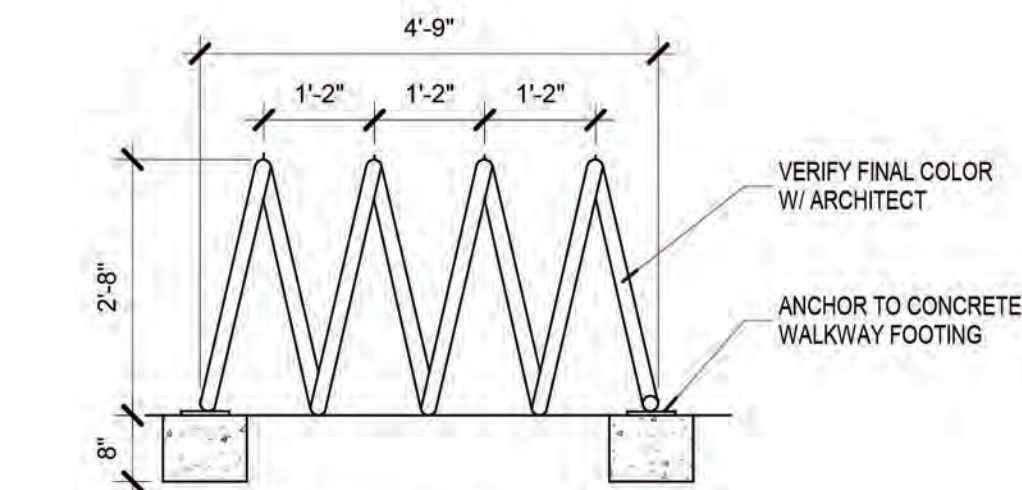
**SITE PLAN FOR BUILDING PERMIT**

**AS-101**

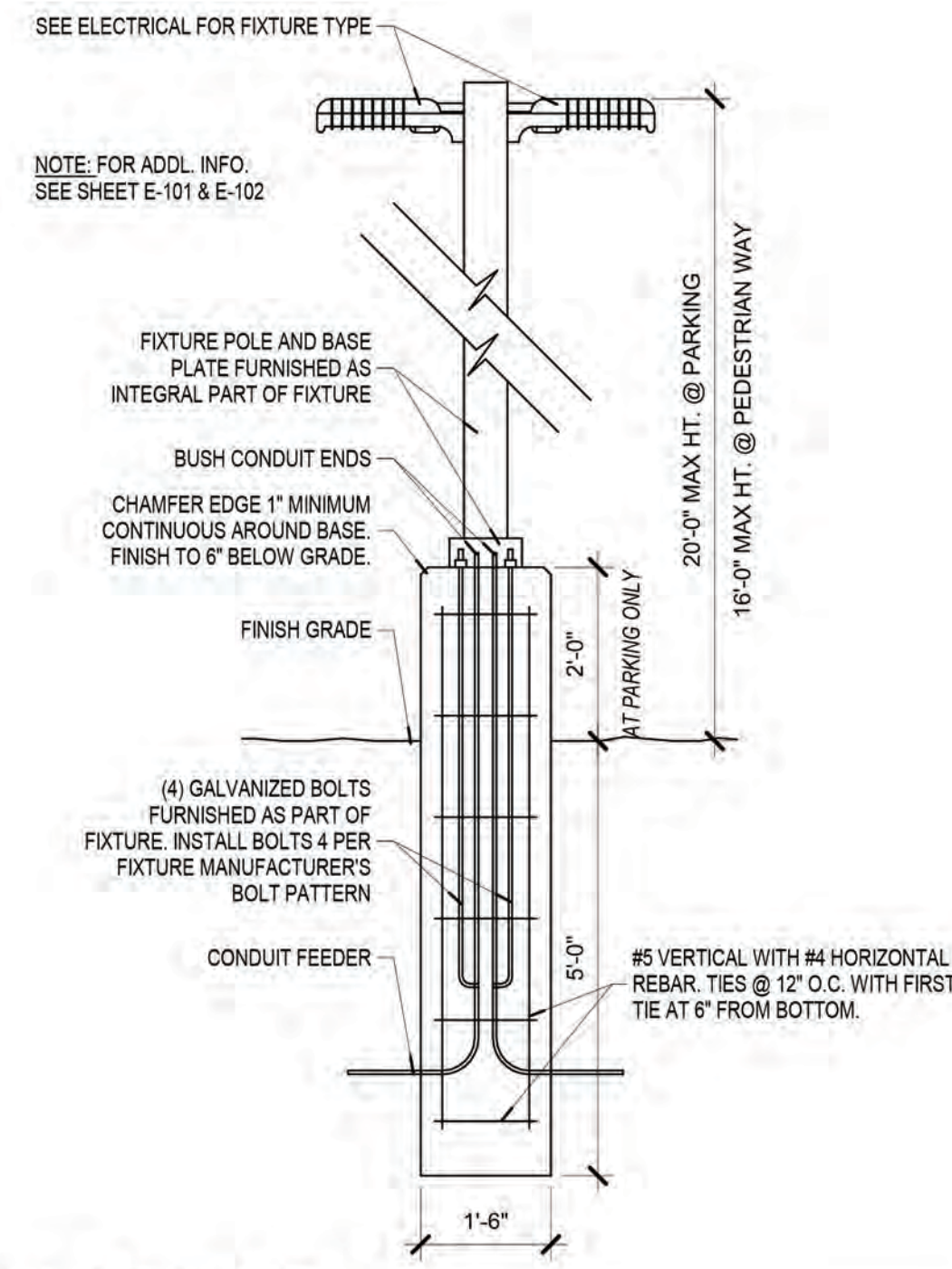




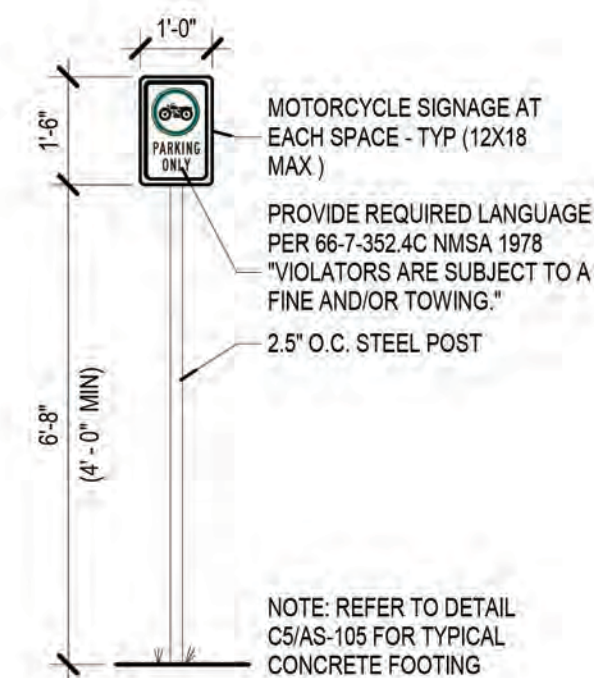
**C1 BOLLARD**  
3/4" = 1'-0"



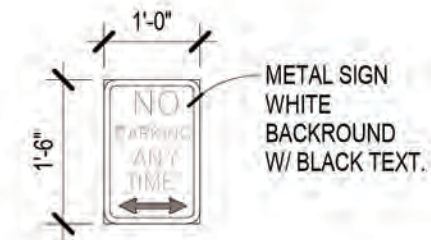
## C2 COIL BIKE RACK



**C3 LIGHTING**  
1/2" = 1'-0"

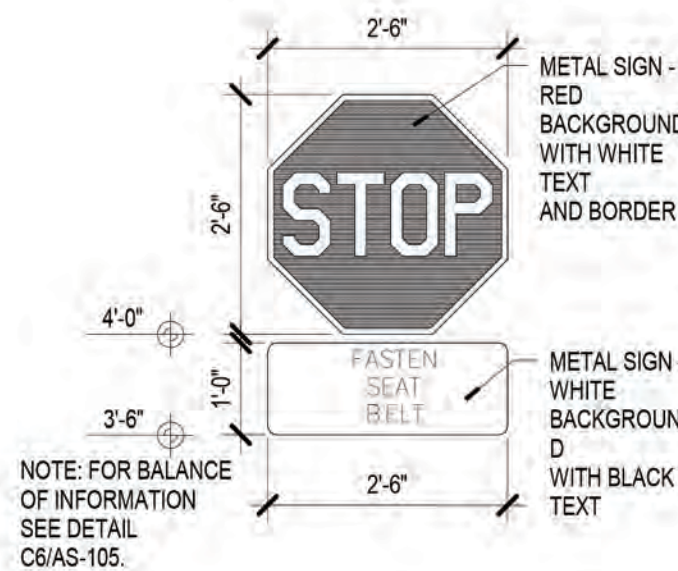


**B1** MOTO SIGN  
3/8" = 1'-0"

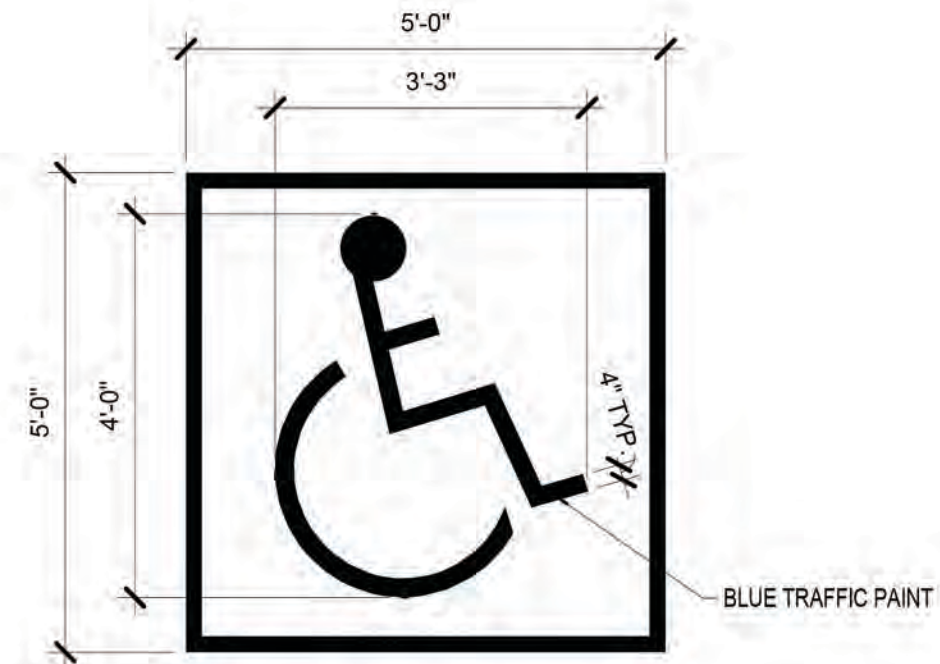


NOTE: FOR BALANCE OF  
INFORMATION SEE  
DETAIL C6/AS-105

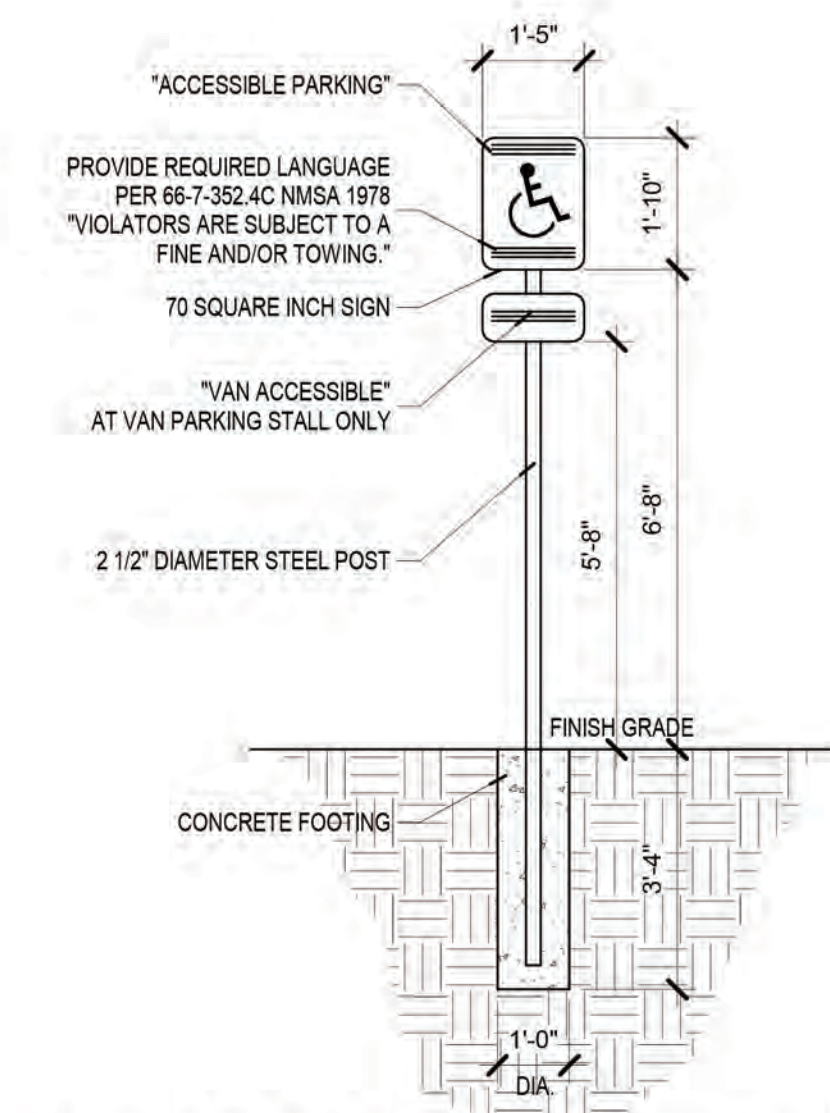
**(B2) NO PARKING SIGN 1**  
1/2" = 1'-0"



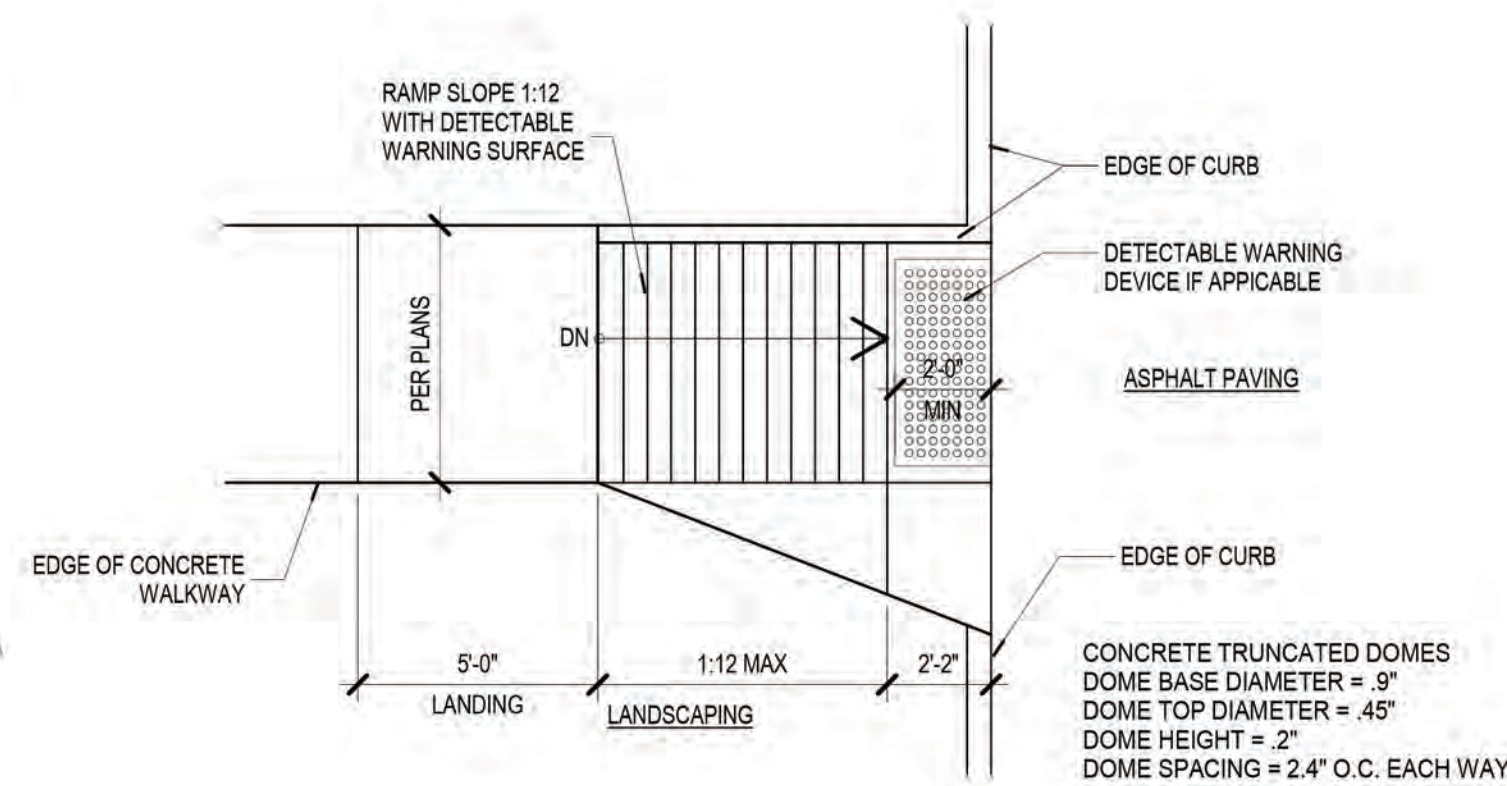
**B3 STOP SIGN 1**  
1/2" = 1'-0"



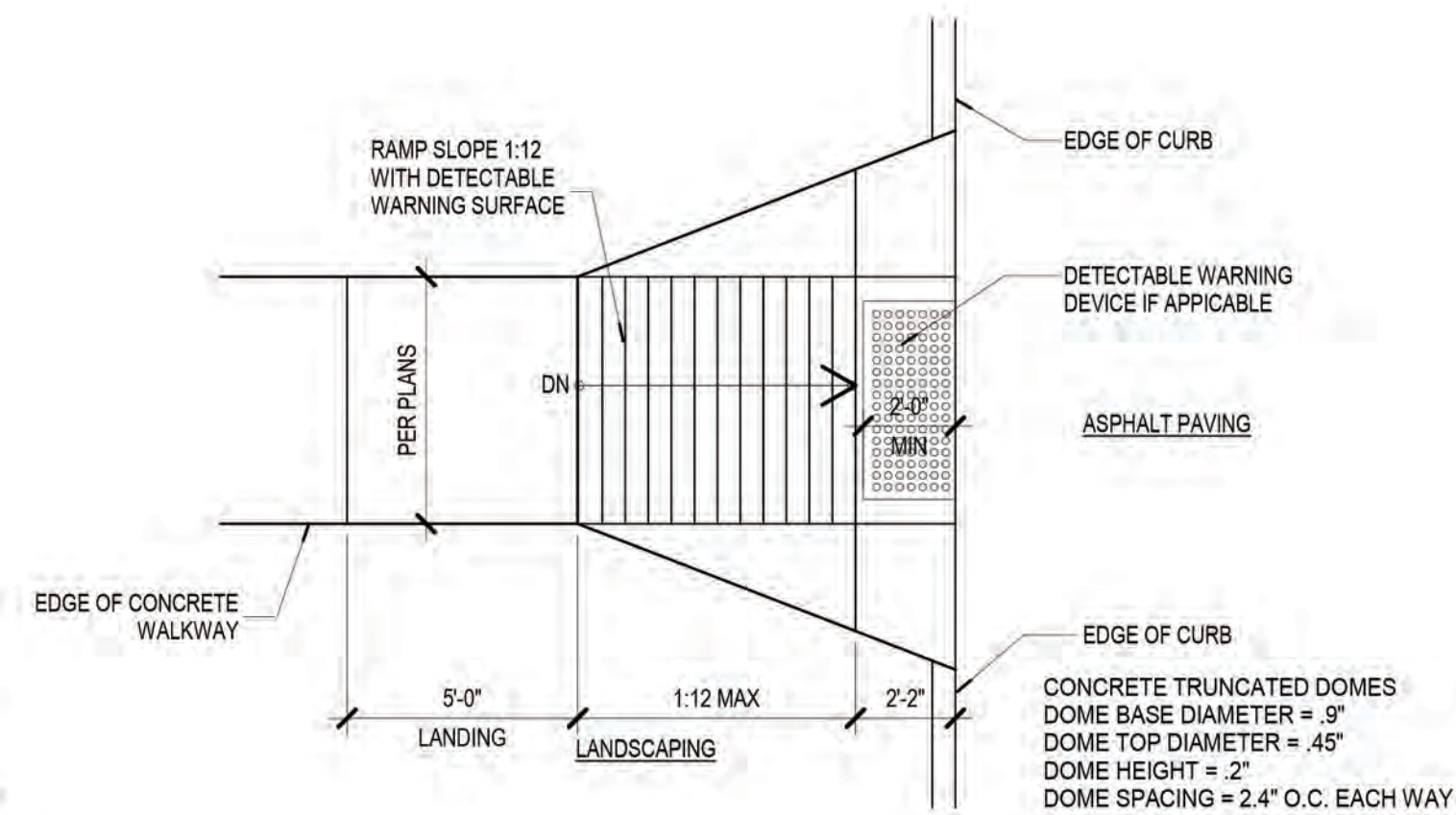
**B4** ADA SIGNAGE AT STALL  
1/2" = 1'-0"



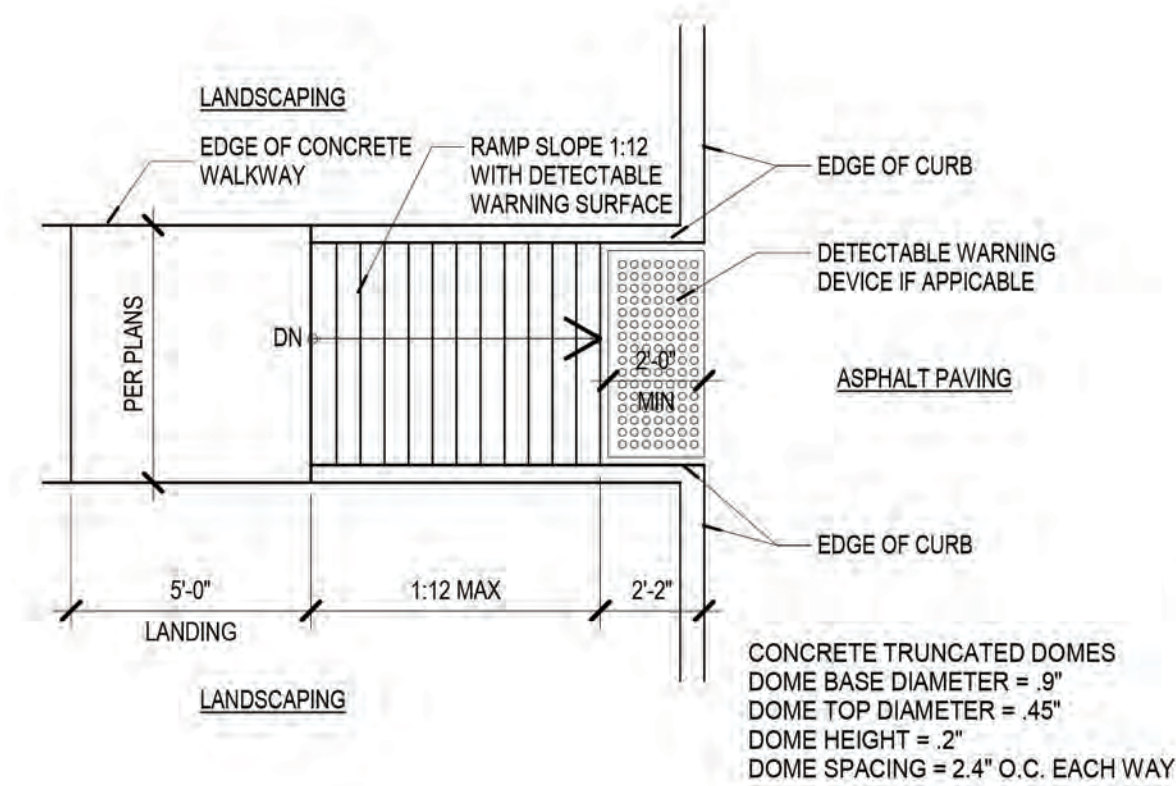
**B5** **ADA PARKING SIGNAGE**  
3/8" = 1'-0"



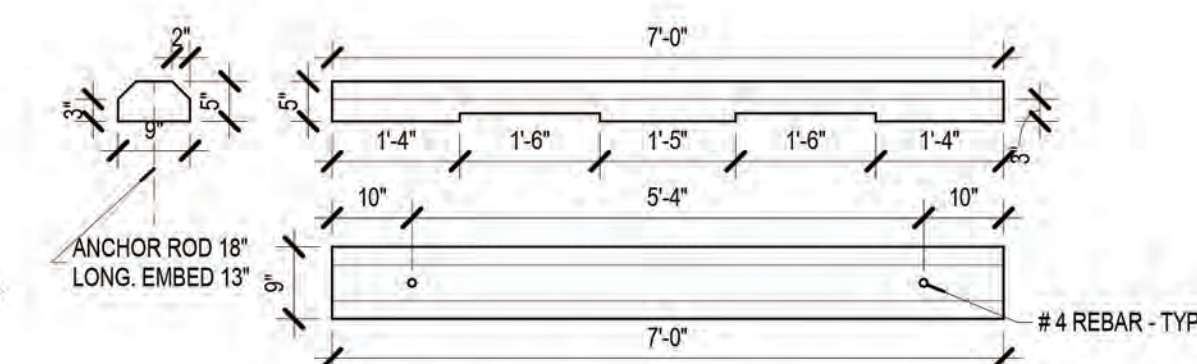
**A1 CURB RAMP - 1**  
1/4" = 1'-0"



**A2 CURB RAMP - 2**  
1/4" = 1'-0"



**A3 CURB RAMP - 3**  
1/4" = 1'-0"



**A4 CONCRETE WHEEL STOP**  
1/2" = 1'-0"

CONSULTANTS

**DRB SUBMITTAL**

Architect	Engineer
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AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

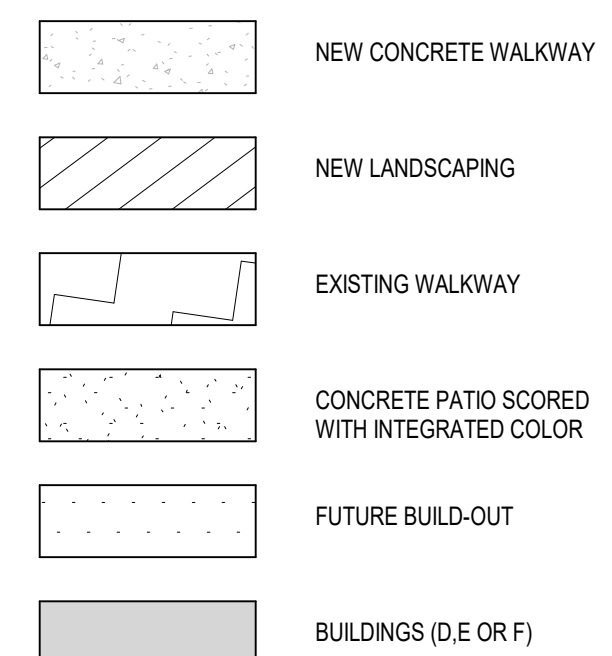
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PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

SHEET TITLE

## SITE DETAILS

# AS-105





SHEET TITLE
<b>SITE DETAILS</b>

