

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

February 11, 2021

Phillip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**RE: 2454 Rose Ave. NW**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date: 01/26/21**  
**Hydrology File: H13D116**

Dear Mr. Clark:

Based upon the information provided in your resubmittal received 01/29/2021, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house) and for action by the DRB for Preliminary Plat/Final Plat.

Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required prior to release from Hydrology during the Building Permit process. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: **I GALLEGOS** Building Permit #: \_\_\_\_\_ Hydrology File #: **H13/D**  
DRB#: **2019-002609** EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: **LOT 14, FLORAL GARDENS**  
City Address: **2454 ROSE AVE NW**

Applicant: **CLARK CONSULTING ENGINEERS** Contact: **PHIL**  
Address: \_\_\_\_\_  
Phone#: **281-2444** Fax#: **xxxx cell / txt 264.6042** E-mail: **CCEalbq@aol.com**

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT ☒ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

DEPARTMENT:  
☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:  
\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:  
☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY

☒ PRELIMINARY PLAT APPROVAL **minor, no infra.**  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☒ FINAL PLAT APPROVAL

\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: **1/29/21** By: **PHILIP W. CLARK**

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



**FIRM MAP** REF: PANEL # C0331 H

Title: (505) 281-2444			CELL: (505) 264-604		
DATE		REVISION		LOTS 14A AND 14B, FLORAL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 2454 ROSE AVE. NW <b>GRADING &amp; DRAINAGE PLAN</b>	
DESIGNED BY: PWC		DRAWN BY: COE		JOB #: Gallegos_Jrzy	
CHECKED BY: PWC		DATE: JAN. 2021		FILE #: G/D	
					GD-1

GD-1