

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 30, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 2913 12th St. NW
Engineer's Certification Date: 11/29/23
Engineer's Stamp Date: 04/24/23
Hydrology File: H13D118

Dear Mr. Soule:

Based upon the information provided in your submittal received 11/29/2023, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 2913 12th St. NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2913 12TH STREET **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 7-A COLEMAN ADDITION
City Address: 2913 12TH STREET

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____







Weighted E Method													
Basin	Area (sf)	Area (acres)	100-Year, 6-Hr.				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	100 yr 24-HOUR 100 yr 10-DAY			
			Treatment A %	Treatment B %	Treatment C %	Treatment D %				Treatment A %	Treatment B %	Treatment C %	Treatment D %
Historical	14863.00	0.344	100%	0.3435	0%	0.000	0%	0.000	0%	0.000	0%	0.000	0%
PROPOSED	14862.00	0.343	0%	0	50%	0.172	28%	0.100	21%	0.072	1.111	0.032	1.02
												0.034	0.042

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

First flush requirement

89 cubic feet

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.62
Eb= 0.73
Ec= 0.95
Ed= 2.24

Qa= 1.71
Qb= 2.56
Qc= 3.05
Qd= 4.34

Developed Conditions

TOTAL VOLUME

HISTORICAL DISCHARGE	773 CF	
PROPOSED GENERATION	24 HOUR 1492 CF	10 DAY 1822 CF
PROPOSED PONDING	2930 CF	2330 CF

This site is an development of a previously developed lot larger lot, yet the area of development has never been developed. The site will conform to the valley flat area drainage scheme. The site will retain the 100-year 10-day volume. The ponds will overlow to the adjacent lots and ultimately to the street in the event of a storm exceeding the 100-year event. The surrounding are is flat, existing walls and proposed berms do n allow offsite flows enter the site. The pad is proposed to be 1' higher than the maximum water surface elevation.

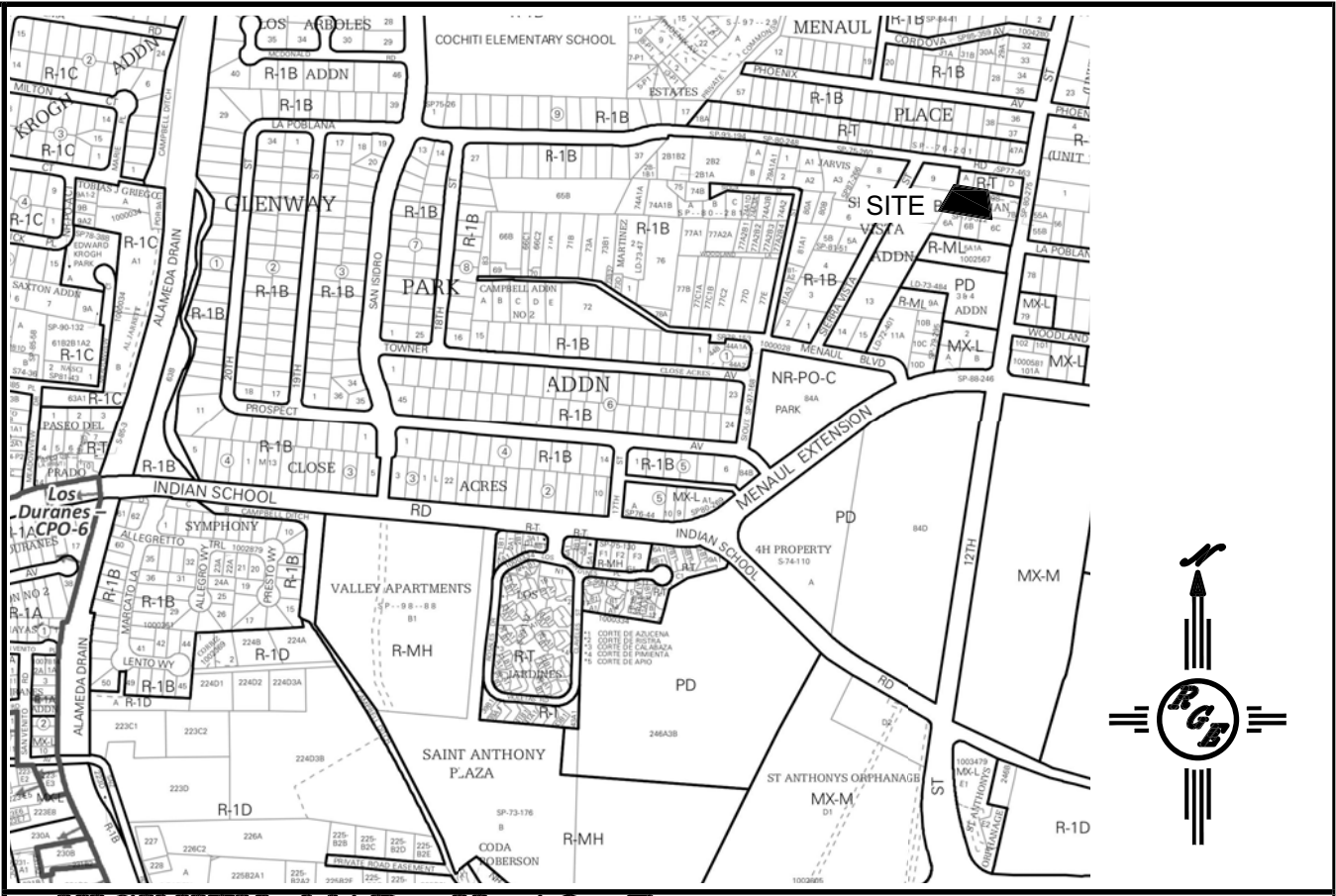
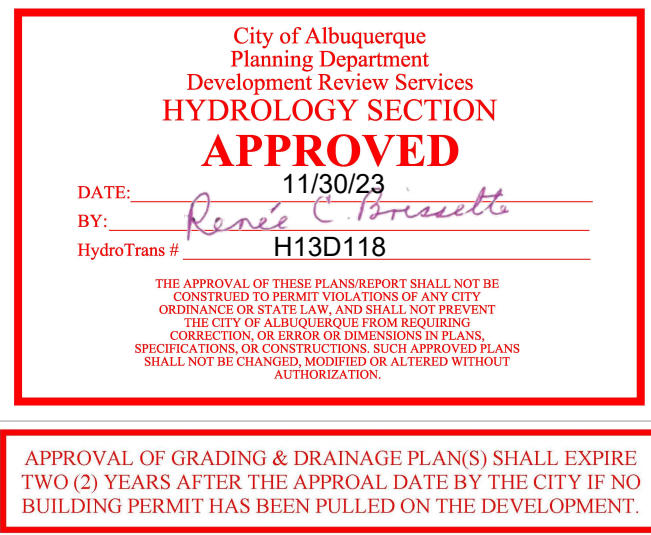
I, DAVID SOULE HAVE PERSONALLY INFECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 4/24/23



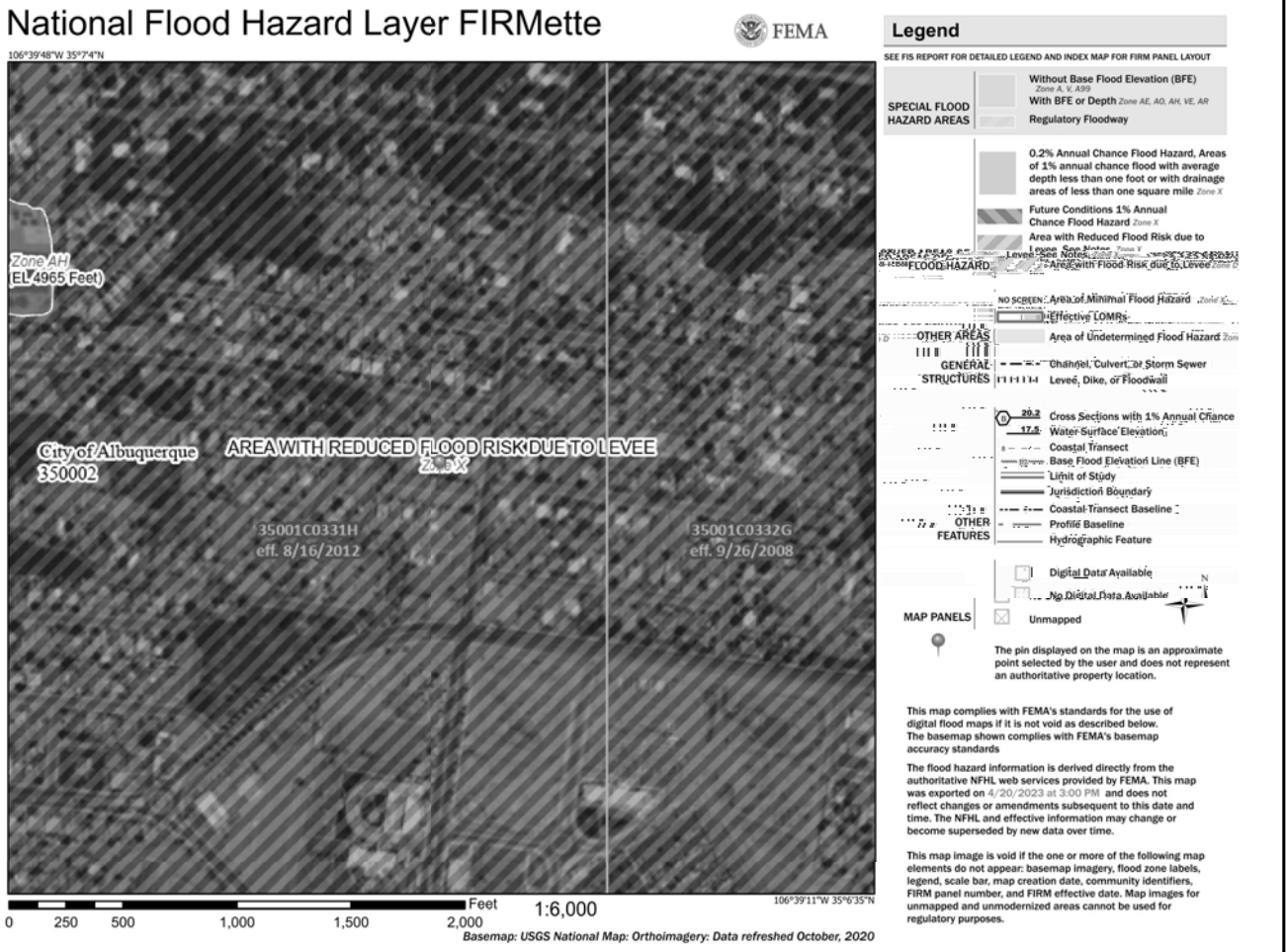
11/29/23

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: H-13-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 7-A COLEMAN ADDITION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

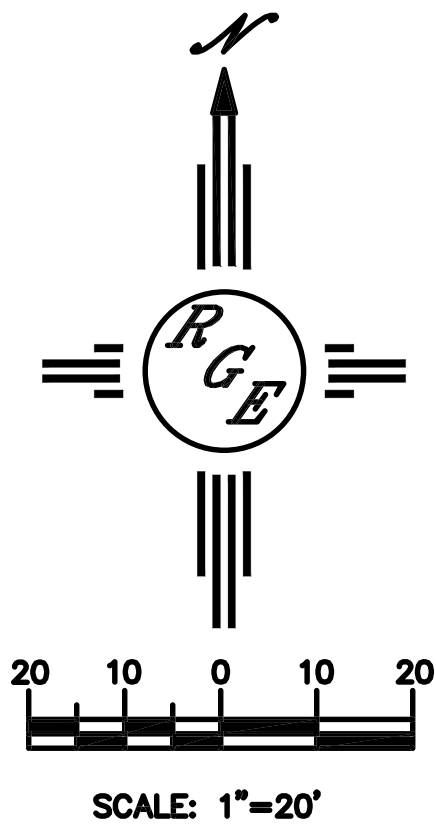
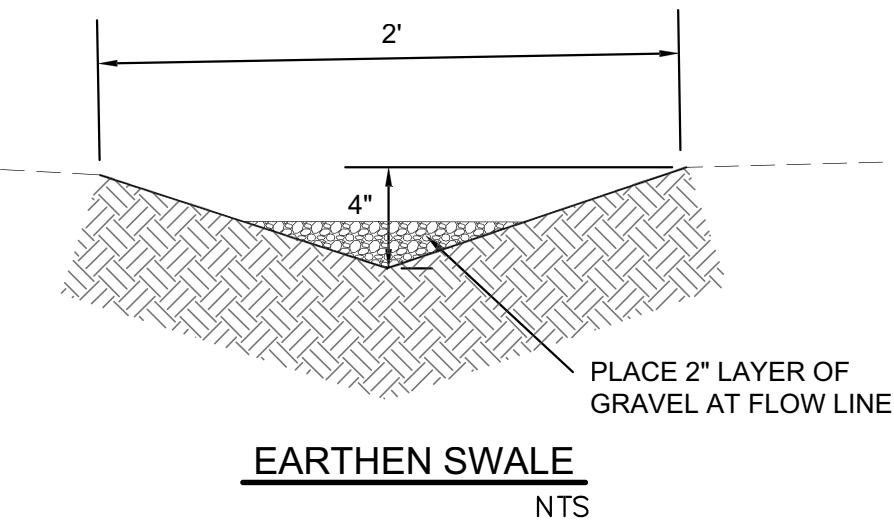
LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----<-----	PROPOSED EARTHEN SWALE
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED PONDING

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



ENGINEER'S SEAL DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER 4/24/23 DAVID SOULE P.E. #14522	LOT 7-A COLEMAN ADD. 2913 12TH STREET	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 4-22-23
	 Rio Grande Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	SHEET # C1 JOB #